

1

01 PROP ELEV SIDE

Scale: 1:100

GENERAL -

New materials used in exterior work to match existing.

- WALLS
- To be facing brickwork
- WINDOWS
- All new windows to be double glazed, profile to match existing + set within opening to match existing.
- Side windows to be obscure glazing, top opening to be 1.7m from FFL.
- ROOFLIGHTS
- 'Velux' or similar.
- Projection to be max. 150mm beyond the plane of the roof-slope & flat roof.

- DOORS
- All new doors to be double glazed , profile to match existing + set within opening to match existing.
- RWP & GUTTERS
- to be UPVc black to match existing.
- EAVES
- Detail to match existing, ie height of fascia & soffit width + colour of soffit and fascia
- ROOF
- Pitch roof - Plain red/brown roof tiles to match existing. Tile type, size & colour to match existing.
- Flat roof - to be GRP grey/green colour

PROPOSED WORK TO MATCH EXISTING

Loft Volume calculations:

1) Roof Volume :
Base of gable wall= 7.86m
Width of gable wall=4.32m
Height of gable wall=3.66m

Increase in roof volume
=(7.86x4.32x3.66)/6
=20.71 cu.m. x 2
= 41.42 cu.m

2)Dormer Volume:
Length of dormer= 3m
Height of dormer=2.08m
Projection of dormer=2.5m

Volume of Dormer
=(3x2.08x2.5)/2
=7.8 cu.m.

TOTAL VOLUME
=41.42+7.8
=49.22cu.m. < 50.0cu.m.



Slim line frame for pitched roof. Reset within roof tiles. Can be fixed to roof pitch as low as 12 deg. & as high as 90 deg.

ROOF LIGHTS on pitch roof
Rooflights to be double glazed + to meet 'U' value of min. 2.0 W/m sq.K. All roof lights to be A-A fire rated.

Double up rafters on the side of opening, supporting double trimmers above & below opening. Bolt together with M12 bolts at 450 c/s. Must be 450mm minimum clear opening with non opening fasteners.



02

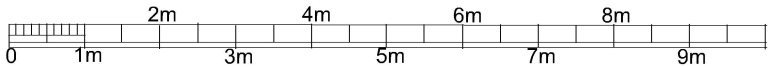
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REV A - 08/12/2023
Dormer window moved to the rear to be in line with permitted development guidelines.



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scale - 1 : 100 @ A3

Purpose - Permitted development application

All dimensions to be checked on site. All omissions & discrepancies to be reported to the designer.	PROJECT: 39 Hillside Road, HA6 1PY	DATE: 25/10/2023
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PROPOSED