



1

## 01 PROP ELEV SIDE

Scale: 1:100

### GENERAL -

**New materials used in exterior work to match existing.**

#### WALLS

- To be facing brickwork

#### WINDOWS

- All new windows to be double glazed, profile to match existing + set within opening to match existing.  
- Side windows to be obscure glazing, top opening to be 1.7m from FFL.

#### ROOFLIGHTS

'Velux' or similar.  
Projection to be max. 150mm beyond the plane of the roof-slope & flat roof.

#### DOORS

All new doors to be double glazed, profile to match existing + set within opening to match existing.

#### RWP & GUTTERS

- to be UPVC black to match existing.

#### EAVES

Detail to match existing, ie height of fascia & soffit width + colour of soffit and fascia

#### ROOF

**Pitch roof** - Plain red/brown roof tiles to match existing.  
Tile type, size & colour to match existing.  
**Flat roof** - to be GRP grey/green colour

#### Loft Volume calculations:

1) Roof Volume :  
Base of gable wall= 7.86m  
Width of gable wall=4.32m  
Height of gable wall=3.66m

Increase in roof volume  
=(7.86x4.32x3.66)/6  
=20.71 cu.m. x 2  
= **41.42 cu.m**

2)Dormer Volume:  
Length of dormer= 3m  
Height of dormer=2.08m  
Projection of dormer=2.5m

Volume of Dormer  
=(3x2.08x2.5)/2  
= **7.8 cu.m.**

TOTAL VOLUME  
=41.42+7.8  
= **49.22cu.m.** < 50.0cu.m.

#### PROPOSED WORK TO MATCH EXISTING



**ROOF LIGHTS on pitch roof**  
Rooflights to be double glazed + to meet 'U' value of min. 2.0 W/m sq.K.  
All roof lights to be A-A fire rated.

Double up rafters on the side of opening, supporting double trimmers above & below opening. Bolt together with M12 bolts at 450 c/s.  
Must be 450mm minimum clear opening with non opening fasteners.

Slim line frame for pitched roof.  
Reset within roof tiles.  
Can be fixed to roof pitch as low as 12 deg. & as high as 90 deg.



02

## 02 PROP ELEV SIDE

Scale: 1:100

**REV A - 08/12/2023**

Dormer window moved to the rear to be in line with permitted development guidelines.

#### Purpose - Permitted development application

All dimensions to be checked on site.  
All omissions & discrepancies to be reported to the designer.

PROJECT: 39 Hillside Road,  
HA6 1PY

DATE: 25/10/2023

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DWG NO:

PROP ELEV

REVISION:

**16**

**PROPOSED**



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2m 4m 6m 8m  
0 1m 3m 5m 7m 9m  
scale - 1 : 100 @ A3

**A**