

THE BUILDING IS NOT LISTED OR WITHIN A CONSERVATION AREA.
NO ALTERATIONS / NEW ROOF TO BE HIGHER THAN THE HIGHEST PART OF THE EXISTING ROOF.
NEW ROOF AND WALLS ARE TO BE CONSTRUCTED FROM MATERIALS TO MATCH EXISTING.
ALL NEW WINDOWS AND DOORS ARE TO BE DOUBLE GLAZED UPVC & SIDE FACING WINDOW TO BE OBSCURE GLASS NON-OPENING BELOW 1.7M
ALL WORKS TO BE TO CLIENTS AND LOCAL AUTHORITY APPROVAL.

THE CONTRACTOR IS TO INSURE THAT ALL WORKING RESTRICTIONS AND CONDITIONS LAID DOWN BY THE PLANNING APPROVAL NOTICE, ARE COMPLIED WITH.

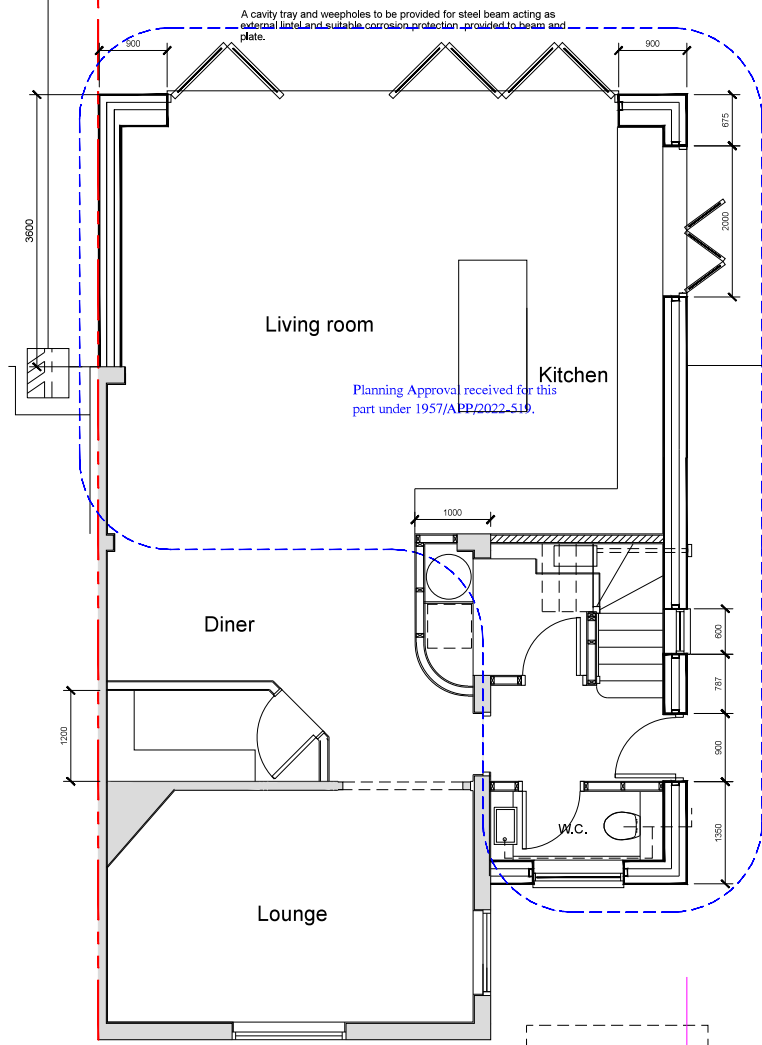
GENERAL - New materials used in exterior work to match existing.

WALLS - Facing brickwork to match existing.

WINDOWS - All new windows to be double glazed & match existing.

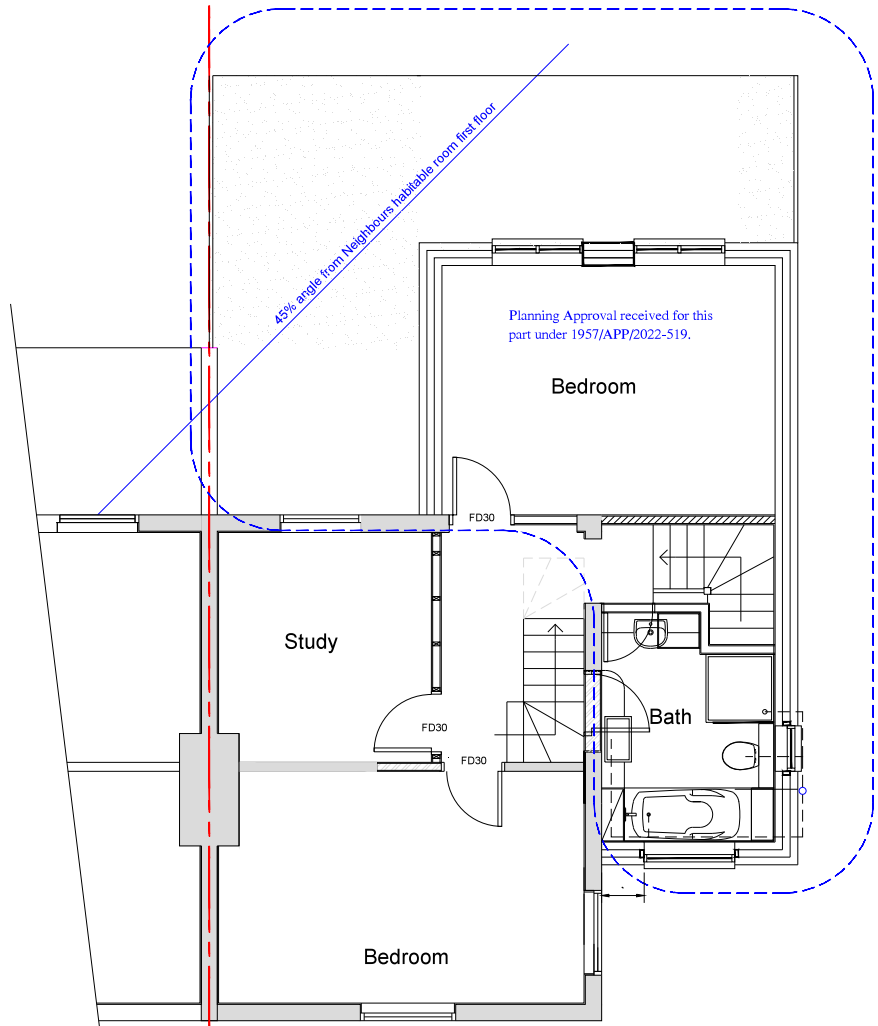
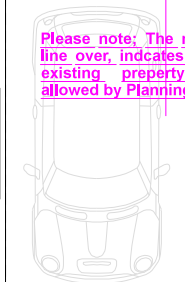
DOORS - New UPVC double glazed doors.

ROOF - Tile type, size & colour to match existing



Ground Floor Plan

Please note: The magenta line over, indicates 50% of existing property width allowed by Planning Policy.



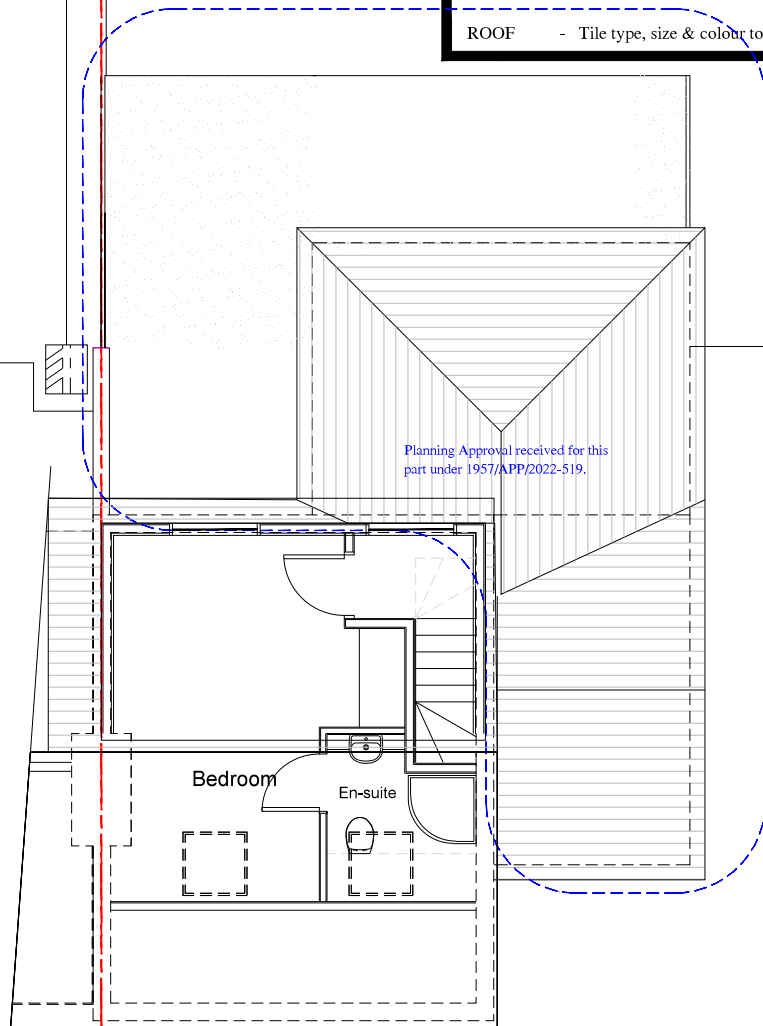
First Floor Plan

Proposed roof conversion with-in Permitted Development of 50m3.

New Dormer;
Width 5.100 x Ht 2.480 x Depth 3.15 / 2 = 19.92m3

Total New Area of Loft Proposed Roofs = 19.92m3

With the proposed roof development, the new dormer is within the Permitted developments allowance of 50m3



Loft Plan

Client:	Ms L Mouldsley & Mr L Herbert 7 West Common Road UB8 1NZ	Scale:	1:100 A3
Date:	June'22	Drawn:	
Job:	PROPOSED LOFT LAYOUT	Drawing No:	0622-09

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