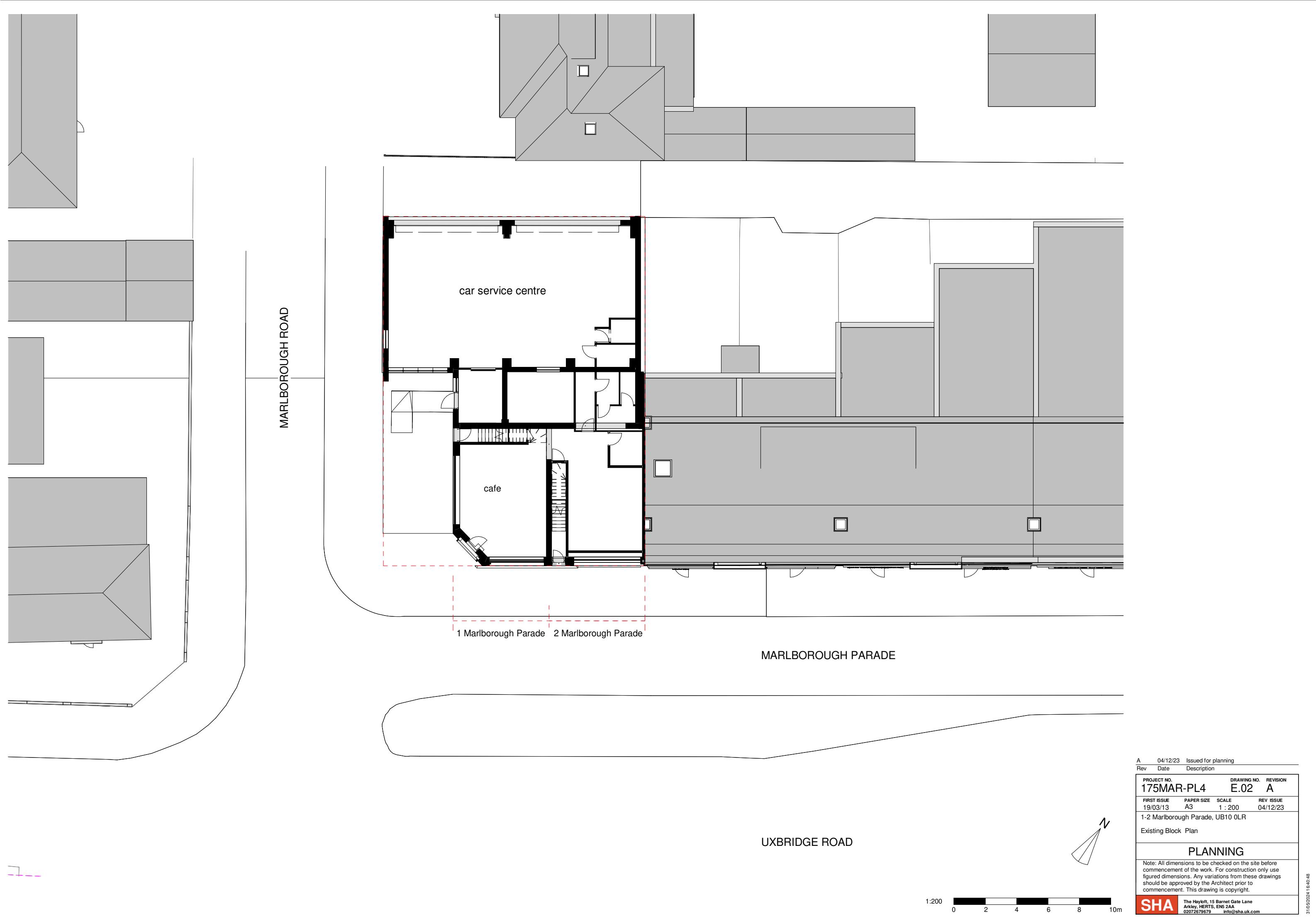


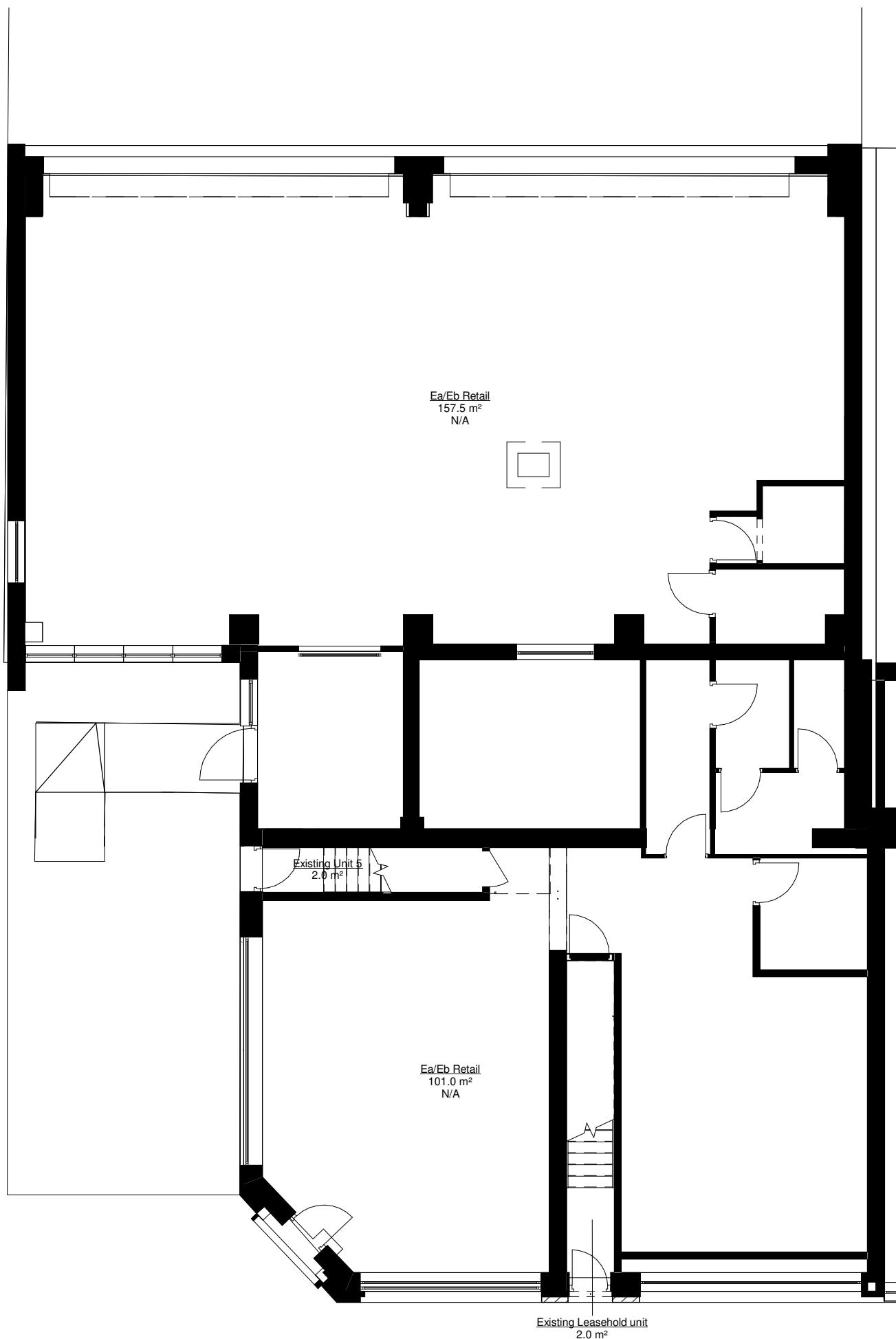


A 04/12/23 Issued for planning
Rev Date Description

PROJECT NO.		DRAWING NO.	REVISION
175MAR-PL4		E.01	A
FIRST ISSUE 19/03/13 PAPER SIZE A3 SCALE 1 : 1250 REV ISSUE 04/12/23			
1-2 Marlborough Parade, UB10 0LR			
Site Location Plan			
PLANNING			
<p>Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.</p>			
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1:1250 0 10 20 30 40 50m





Area Schedule (GIA Existing)	
Name	Area
Ea/Eb Retail	258.65 m ²
Existing Leasehold unit	85.55 m ²
Existing Unit 5	89.41 m ²
Grand total: 8	433.61 m ²

1:100 0 1 2 3 4 5m

A 04/12/23 Issued for planning
Rev Date Description

PROJECT NO.		DRAWING NO.	REVISION
175MAR-PL4		E.03	A
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE
19/03/13	A3	1 : 100	04/12/23
1-2 Marlborough Parade, UB10 0LR			
Existing Ground Floor			
PLANNING			
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.			

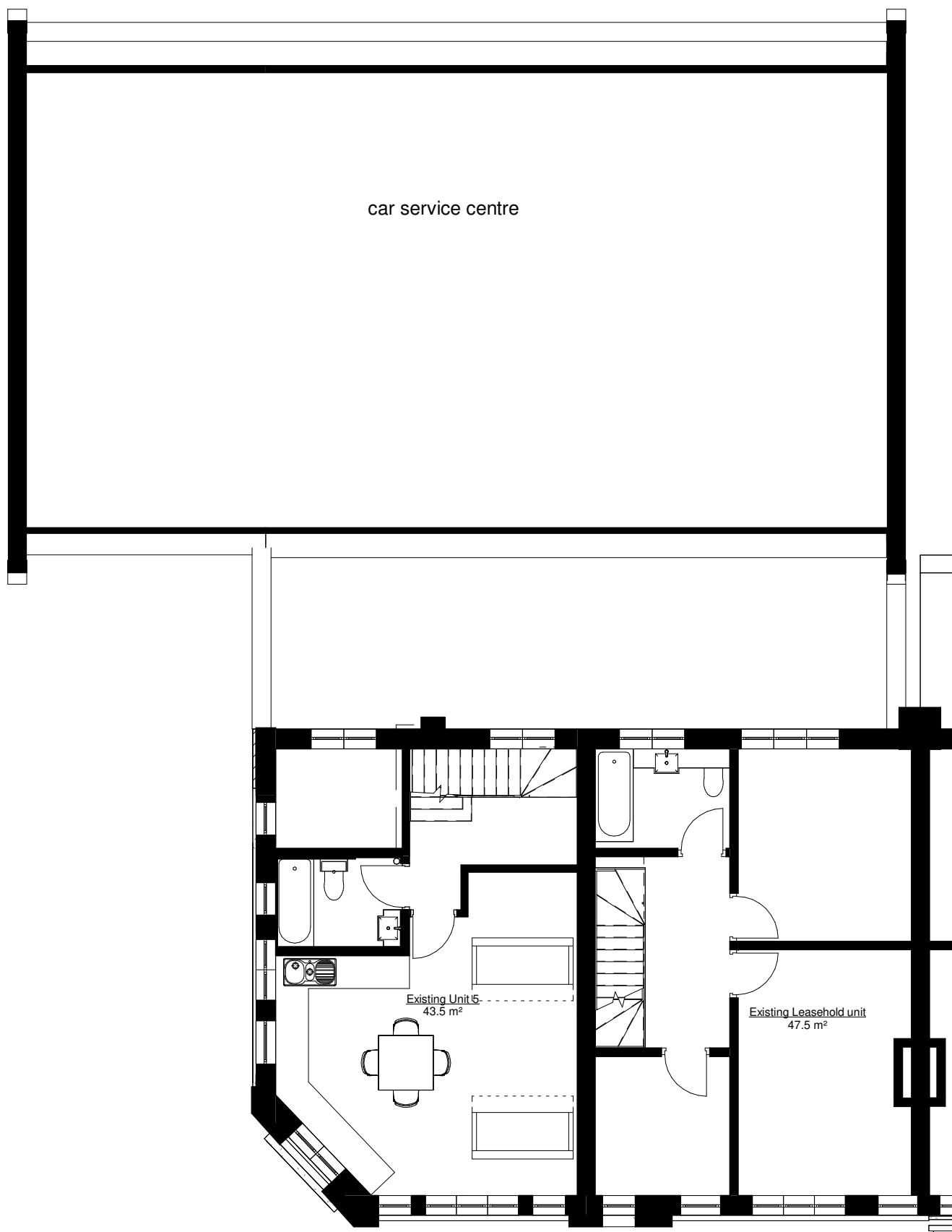
SHA The Hayloft, 15 Barnet Gate Lane
Arkley, HERTS, EN5 2AA
02072679679 info@sha.uk.com

31/05/2024 16:40:49

Area Schedule (GIA Existing)

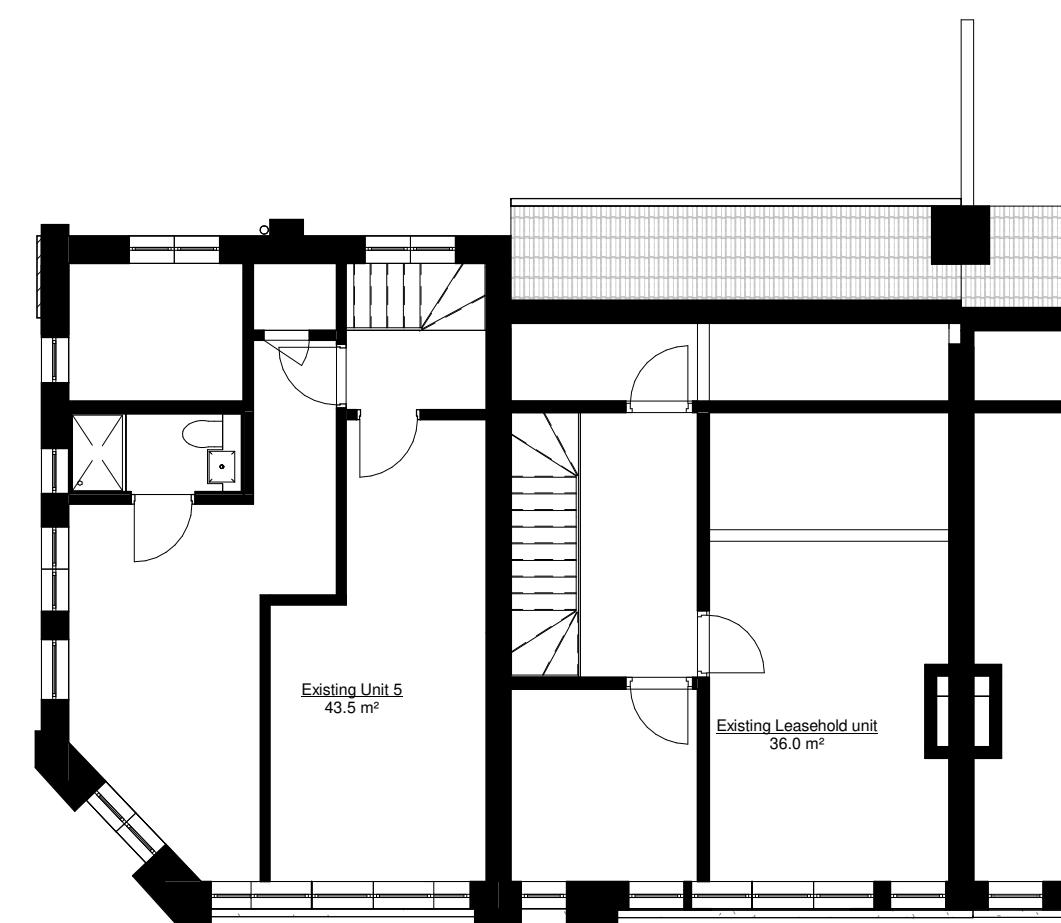
Name	Area
Ea/Eb Retail	258.65 m ²
Existing Leasehold unit	85.55 m ²
Existing Unit 5	89.41 m ²
Grand total: 8	433.61 m ²

car service centre



1/E.04 Existing 1st Floor Plan

1 : 100



2/E.04 Existing 2nd Floor plan

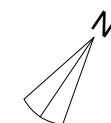
1 : 100

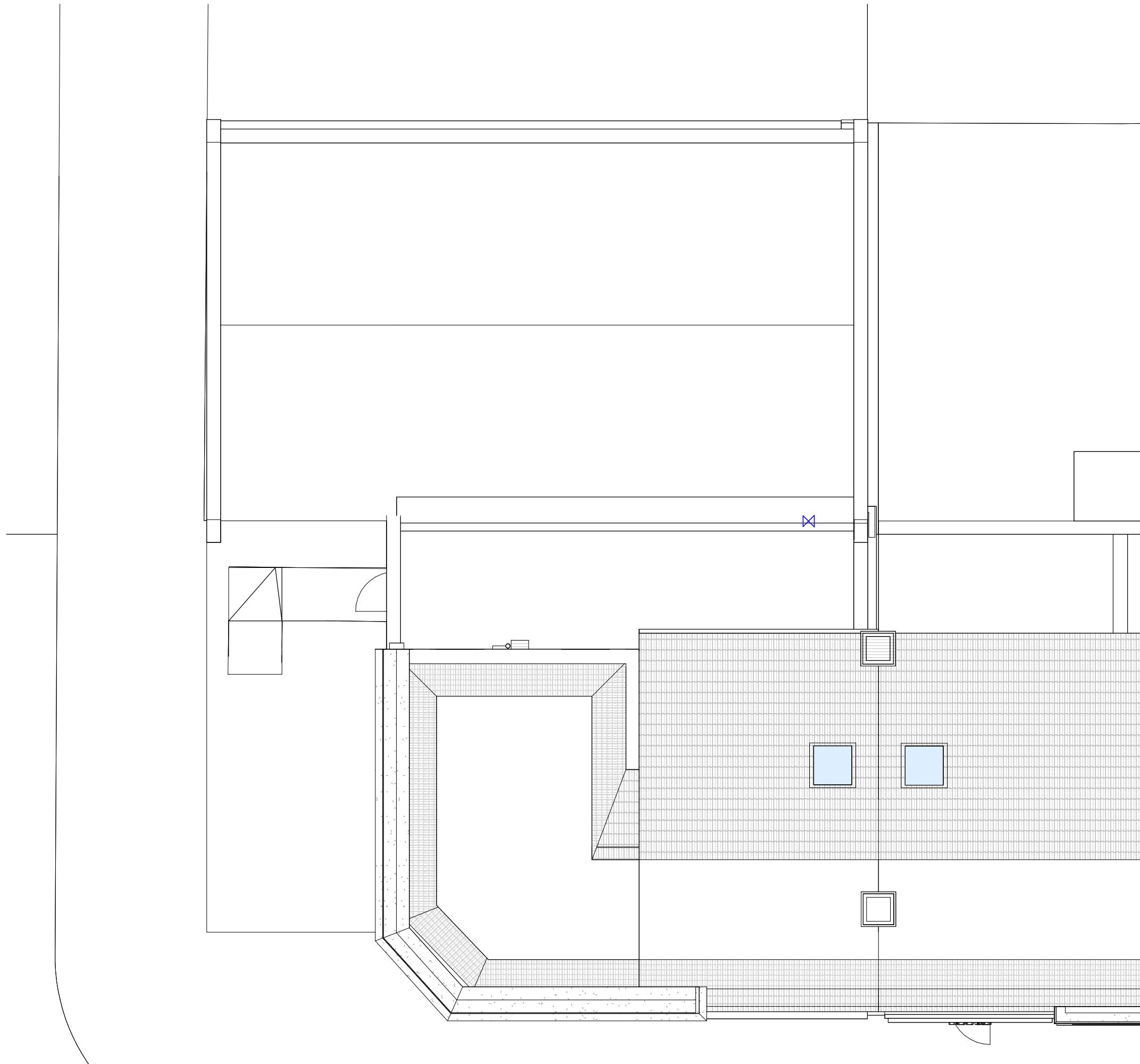
A 04/12/23 Issued for planning
Rev Date Description

PROJECT NO.		DRAWING NO.	REVISION
175MAR-PL4		E.04	A
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE
19/03/13	A3	1 : 100	04/12/23
1-2 Marlborough Parade, UB10 0LR			
Existing Upper Floors			
PLANNING			
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.			
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1:100 0 1 2 3 4 5m

SHA

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Rev Date Description

PROJECT NO.		DRAWING NO.	REVISION
175MAR-PL4		E.05	A
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE
19/03/13	A3	1 : 100	04/12/23
1-2 Marlborough Parade, UB10 0LR			
Existing Roof Plan			
PLANNING			
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.			
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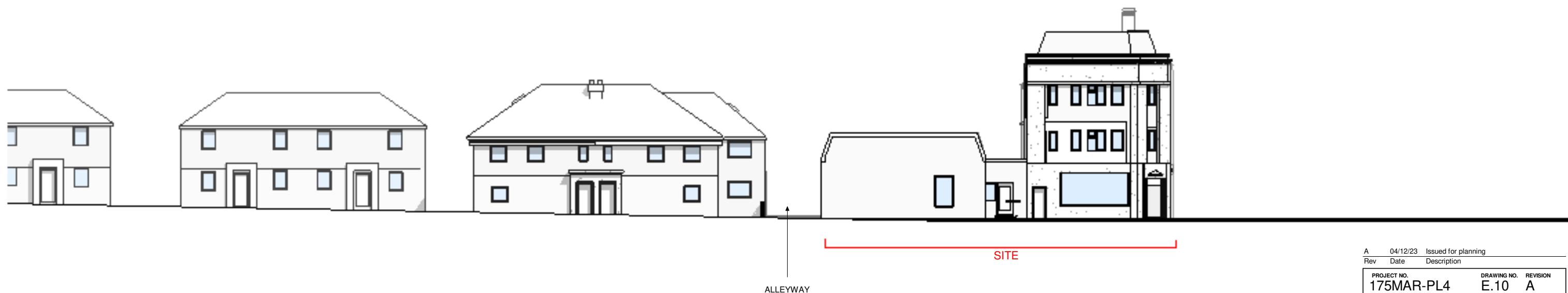
1:100 0 1 2 3 4 5m

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31/05/2024 16:40:50



1/E.10 Existing Marlborough Parade Streetscape
1:250



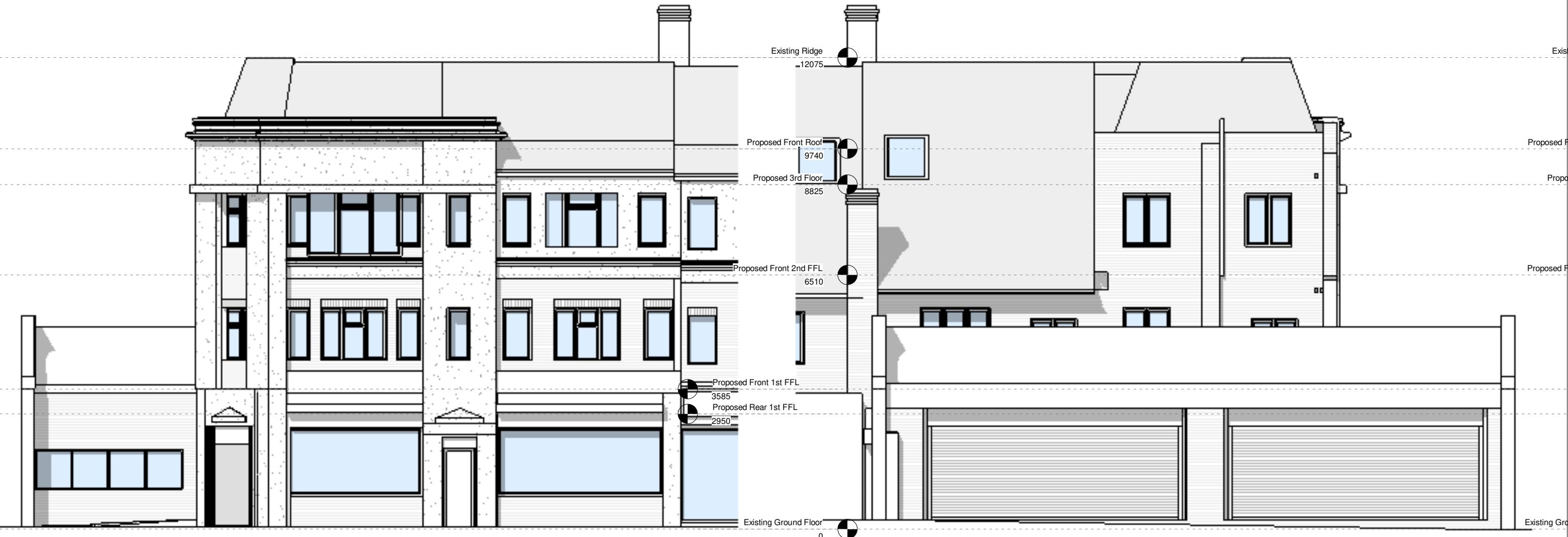
3/E.10 Existing Marlborough Road Streetscape
1:250

A 04/12/23 Issued for planning			
Rev	Date	Description	
PROJECT NO.	DRAWING NO.	REVISION	
175MAR-PL4	E.10	A	
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE
19/03/13	A3	1:250	04/12/23
1-2 Marlborough Parade, UB10 0LR			
Existing Streetscape Elevations			
PLANNING			
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.			
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1:1250 0 10 20 30 40 50m

SHA

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1/E.11 Existing Marlborough Parade Elevation

1 : 100

2/E.11 Existing Rear Elevation

1 : 100

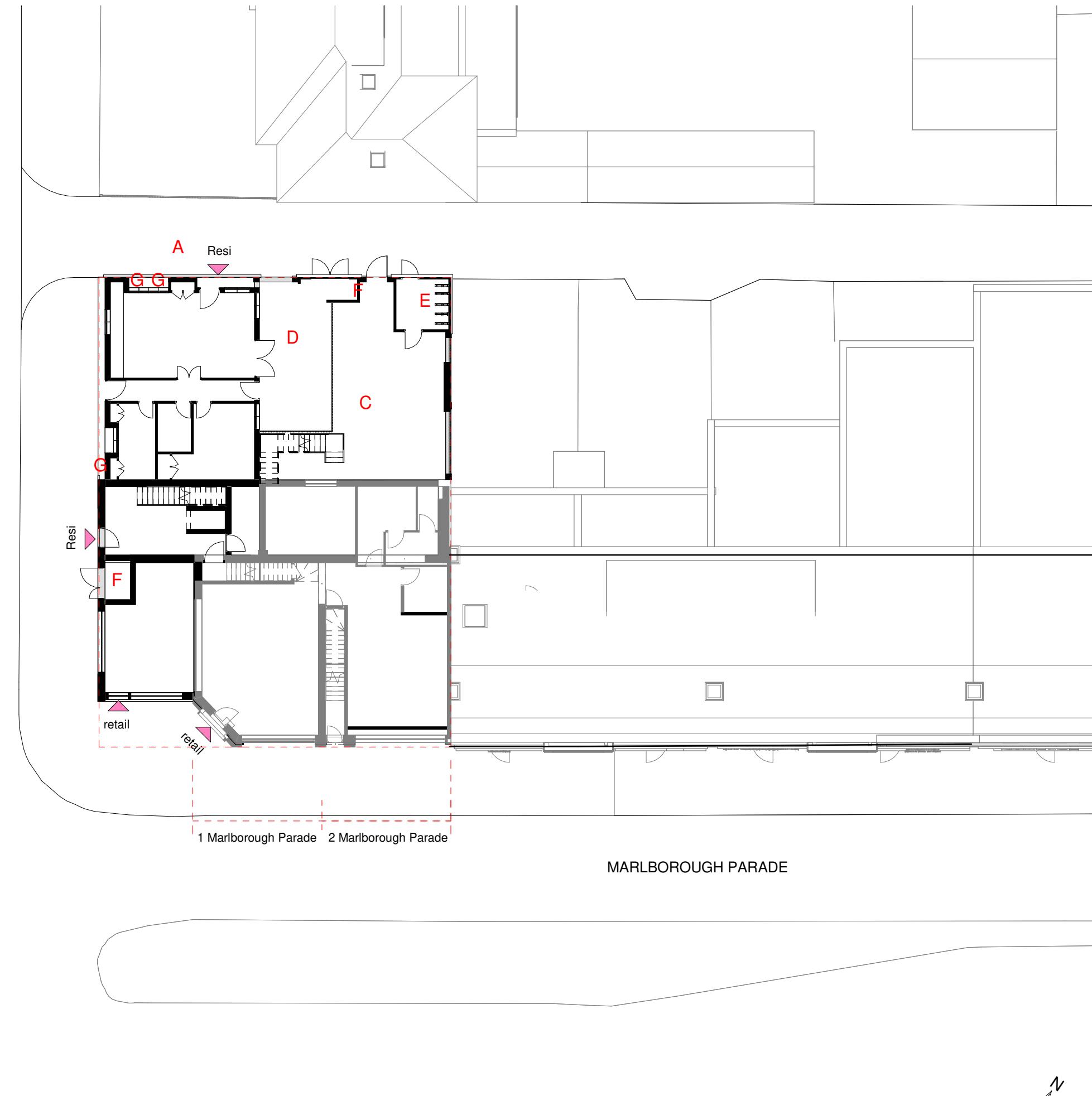
A 04/12/23 Issued for planning
Rev Date Description

PROJECT NO.		DRAWING NO.	REVISION
175MAR-PL4		E.11	A
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE
19/03/13	A3	1 : 100	04/12/23
1-2 Marlborough Parade, UB10 0LR			
Existing Front and Back Building Elevations			
PLANNING			
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.			
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1:100 0 1 2 3 4 5m

31/05/2024 16:40:51

- A** Rear access
- C** Shared Amenity space
- D** Private Amenity space
- E** Cycle storage
- F** Refuse and recycling storage
- G** Defensible space



PROJECT NO.		DRAWING NO.	REVISION
175MAR-PL4		P.02	A
FIRST ISSUE 19/03/13 PAPER SIZE A3 SCALE 1 : 200 REV ISSUE 04/12/23			
1-2 Marlborough Parade, UB10 0LR			
Proposed Block Plan			
PLANNING			
<p>Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.</p> <p>SHA The Hayloft, 15 Barnet Gate Lane Arkley, HERTS, EN5 2AA 02072679679 info@sha.uk.com</p>			



Area Schedule (GIA Proposed)

Name	Unit Occupancy (xBxP)	Area	Amenity Required
Flat 1	2B3P	61 m ²	25
Flat 2	1B1P	37 m ²	20
Flat 3	1B1P	38 m ²	20
Flat 4	1B1P	38 m ²	20

Amenities Schedule (GIA Proposed)

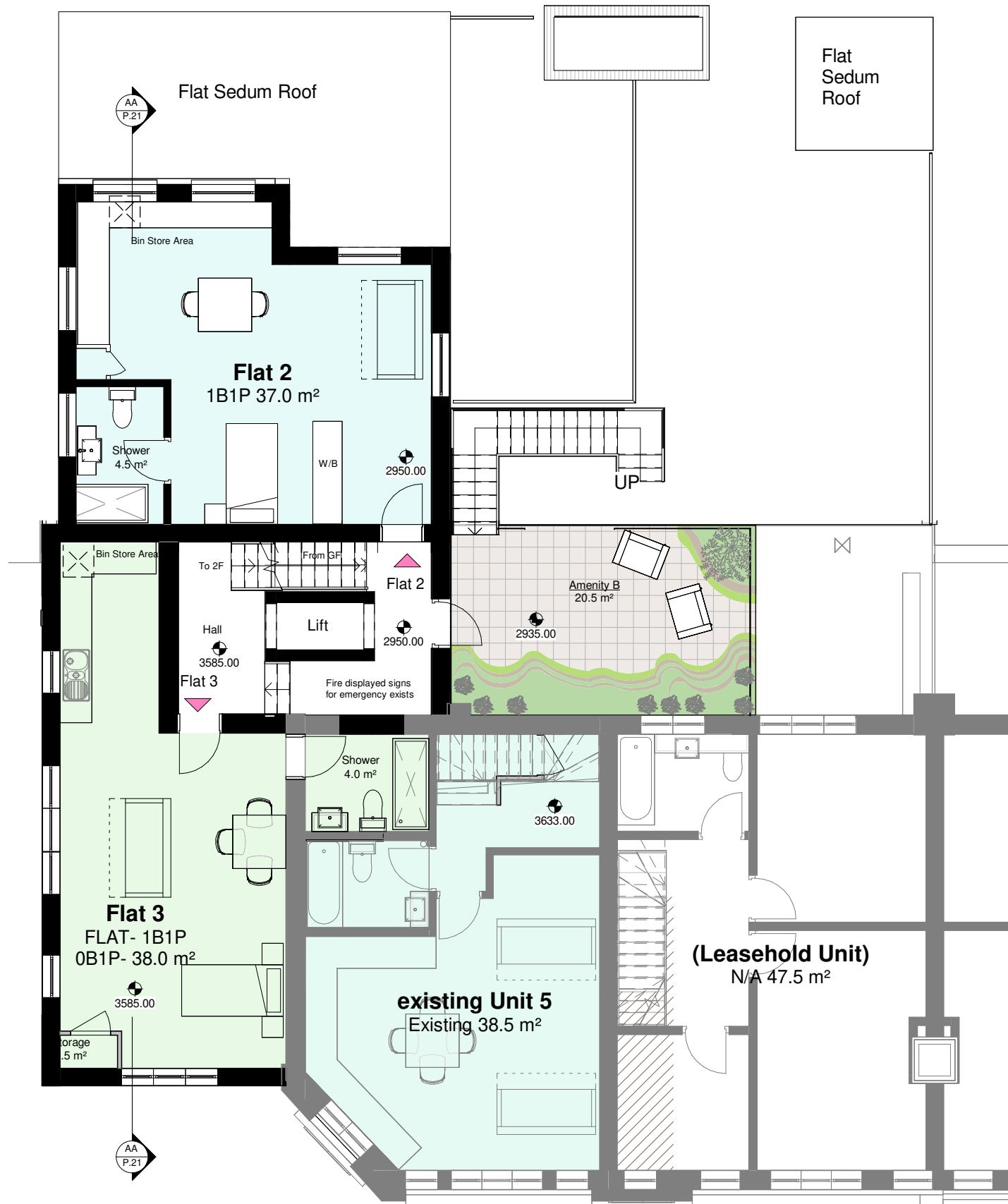
Name	Area
Amenity A	49 m ²
Amenity B	20 m ²
Amenity Unit 1	23 m ²
	92 m ²

Bicycle storage

Name	Bikes
Flat 1	2
Flat 2	1
Flat 3	1
Flat 4	1

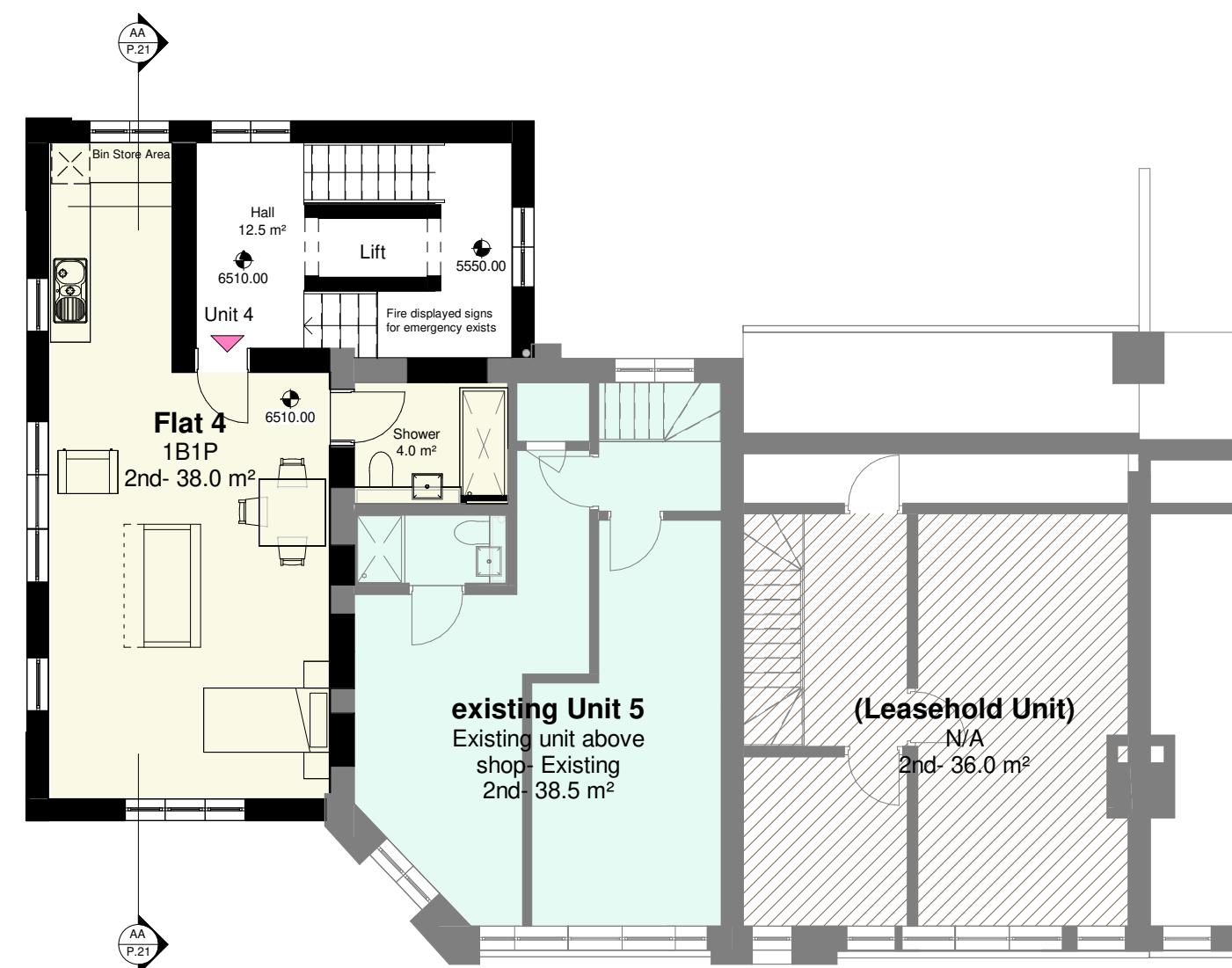
A 04/12/23 Issued for planning
Rev Date Description

PROJECT NO.	175MAR-PL4	DRAWING NO.	P.03	REVISION	A
FIRST ISSUE	19/03/13	PAPER SIZE	A3	SCALE	1 : 100
REV ISSUE 04/12/23					
1-2 Marlborough Parade, UB10 0LR					
Proposed Ground Floor					
PLANNING					
<p>Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.</p>					



Area Schedule (GIA Proposed)

Name	Unit Occupancy (xBxP)	Area	Amenity Required
Flat 1	2B3P	61 m ²	25
Flat 2	1B1P	37 m ²	20
Flat 3	1B1P	38 m ²	20
Flat 4	1B1P	38 m ²	20



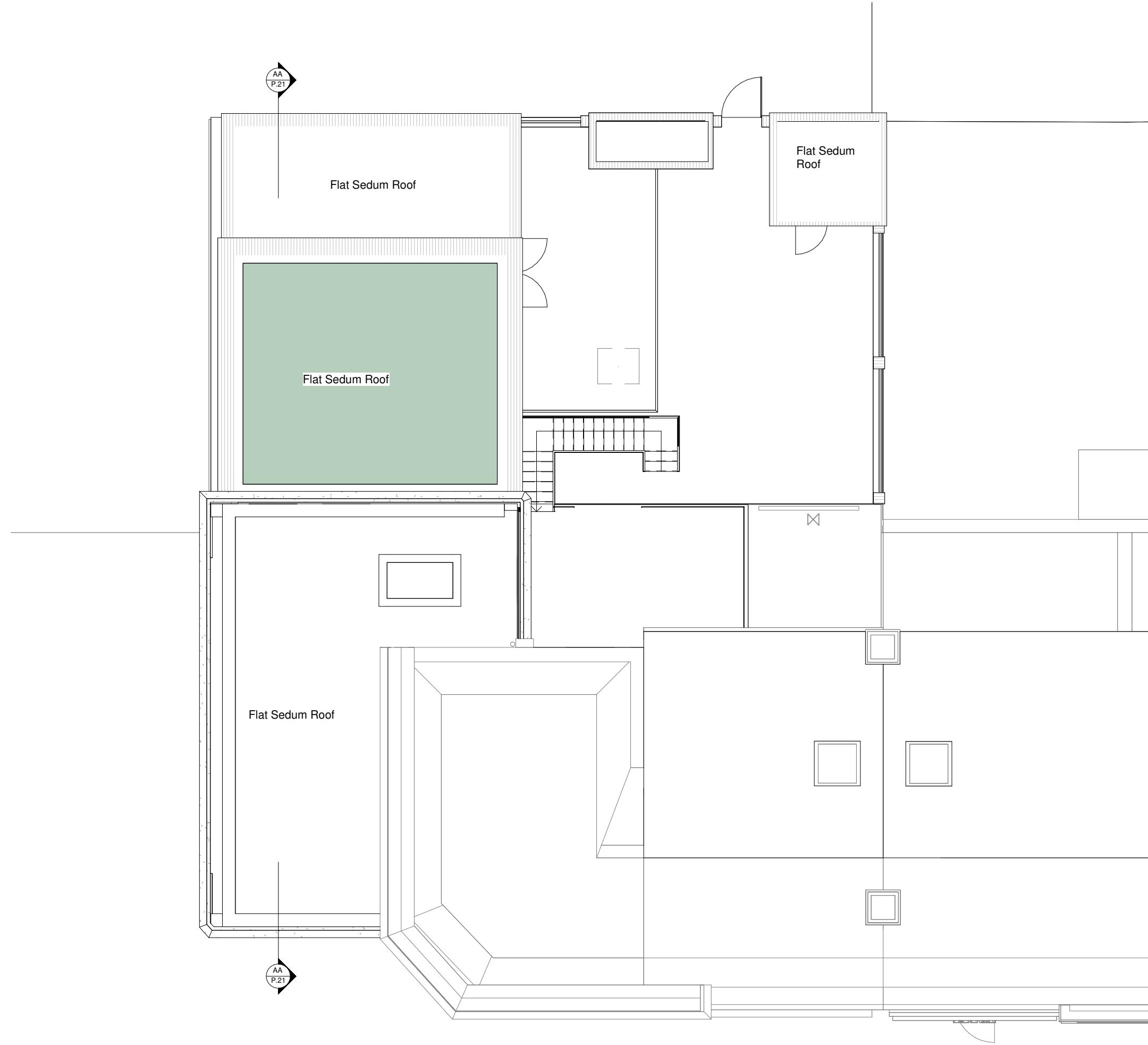
3/ P.04 Proposed 1st FFL
1 : 100

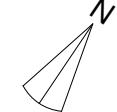
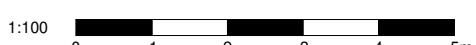
4/ P.04 Proposed Front 2nd FFL
1 : 100

A 04/12/23 Issued for planning
Rev Date Description

PROJECT NO.	DRAWING NO.	REVISION	
175MAR-PL4	P.04	A	
FIRST ISSUE 19/03/13	PAPER SIZE A3	SCALE 1 : 100	REV ISSUE 04/12/23
1-2 Marlborough Parade, UB10 0LR			
Proposed Upper Floors			
PLANNING			
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.			
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1:100 0 1 2 3 4 5m



A 04/12/23 Issued for planning			
Rev	Date	Description	
PROJECT NO. 175MAR-PL4 DRAWING NO. P.05 A FIRST ISSUE 19/03/13 PAPER SIZE A3 SCALE 1 : 100 REV ISSUE 04/12/23 1-2 Marlborough Parade, UB10 0LR Proposed Roof			
PLANNING Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.			
			
			
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1/P.10 Proposed Marlborough Parade Streetscape
1 : 250



2/P.10 Proposed Marlborough Road Streetscape
1 : 250

- A New windows
- B Dotted line represents outline of existing building
- C 3-storey side extension
- D Brick to match existing or similar approved
- E Doors - Timber doors
- F Entrance
- G Refuse store
- H Retail unit
- I Cornice details restored / match existing
- J Brick to match existing
- L Render to match existing
- M Windows to match existing
- O Cornice - Fibre Cement panel
- P Cornice - Fibre Cement panel
- Q Railings - Metal railing powder-coated

A 04/12/23 Issued for planning
Rev Date Description

PROJECT NO.		DRAWING NO.	REVISION
175MAR-PL4		P.10	A
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE
19/03/13	A3	1 : 250	04/12/23
1-2 Marlborough Parade, UB10 0LR Proposed Streetscape Elevations			
PLANNING			
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.			
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1:200 0 2 4 6 8 10m



- A New windows
- B Dotted line represents outline of existing building
- C 3-storey side extension
- D Brick to match existing or similar approved
- E Doors - Timber doors
- F Entrance
- G Refuse store
- H Retail unit
- I Brick to match existing
- J Render to match existing
- K Windows to match existing
- L Cornice details restored / match existing
- M Cornice - Fibre Cement panel
- N Railings - Metal railing powder-coated

A	04/12/23	Issued for planning	
Rev	Date	Description	
PROJECT NO. 175MAR-PL4 DRAWING NO. P.11 A REVISION A			
FIRST ISSUE 19/03/13	PAPER SIZE A3	SCALE 1:100	REV ISSUE 04/12/23
1-2 Marlborough Parade, UB10 0LR			
Proposed Rear Elevation			
PLANNING			
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.			
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Brick to match existing or similar approved
 Cornice - fibre cement panel
 Windows - aluminium frame powder-coated
 Doors - Timber doors
 Railings - Metal railing powder-coated

- A New windows
- B Dotted line represents outline of existing building
- D 3-storey side extension
- E Brick to match existing or similar approved
- F Doors - Timber doors
- H Entrance
- I Refuse store
- J Retail unit
- L Brick to match existing
- M Render to match existing
- N Windows to match existing
- O Cornice details restored / match existing
- P Cornice - Fibre Cement panel
- Q Railings - Metal railing powder-coated



AA/P.21
Proposed Section
1:100

A		04/12/23	Issued for planning
Rev	Date	Description	
PROJECT NO.		DRAWING NO.	REVISION
175MAR-PL4		P.21	A
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE
19/03/13	A3	As indicated	04/12/23
1-2 Marlborough Parade, UB10 0LR			
Proposed Sections			
PLANNING			
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.			
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