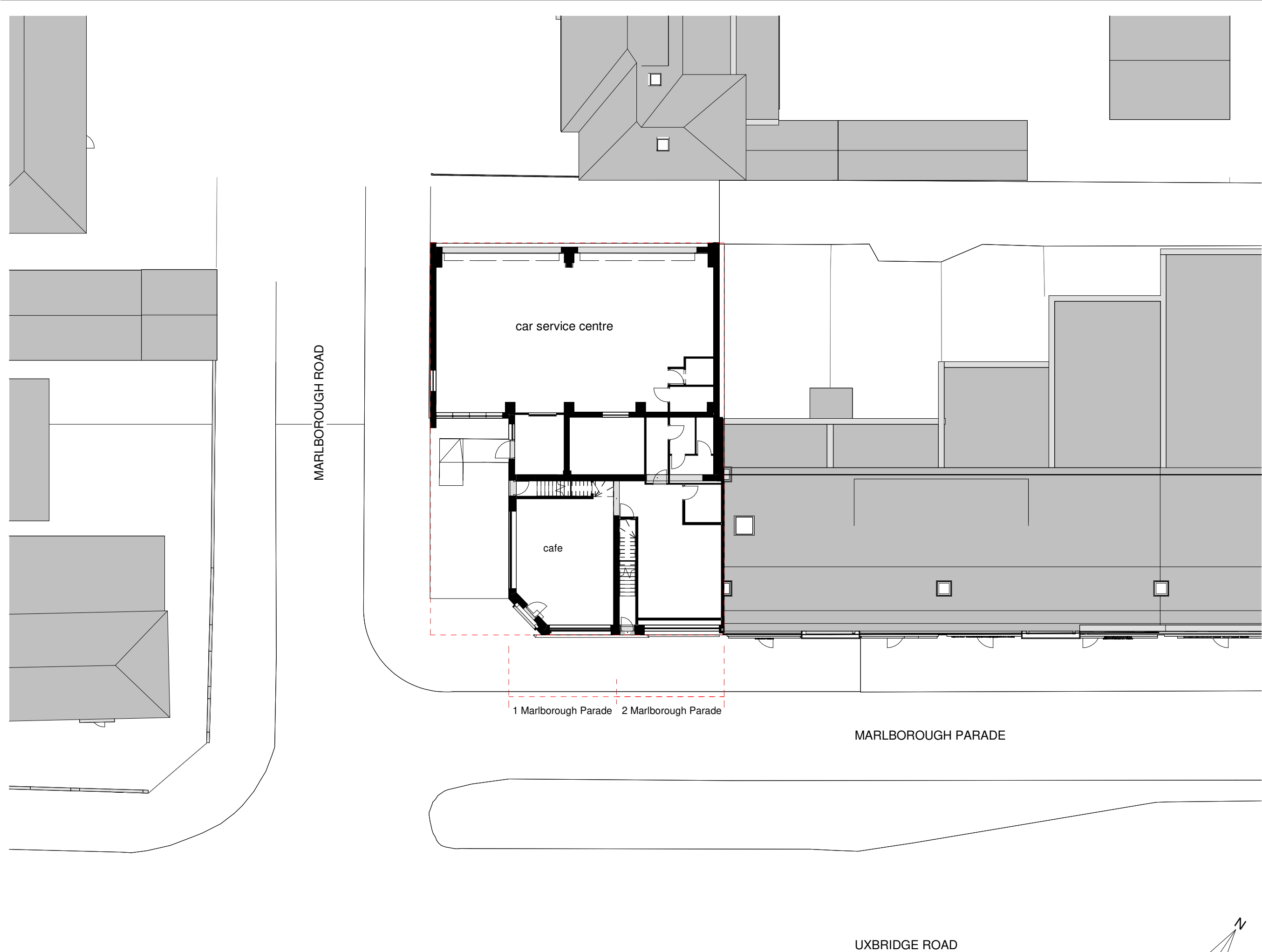
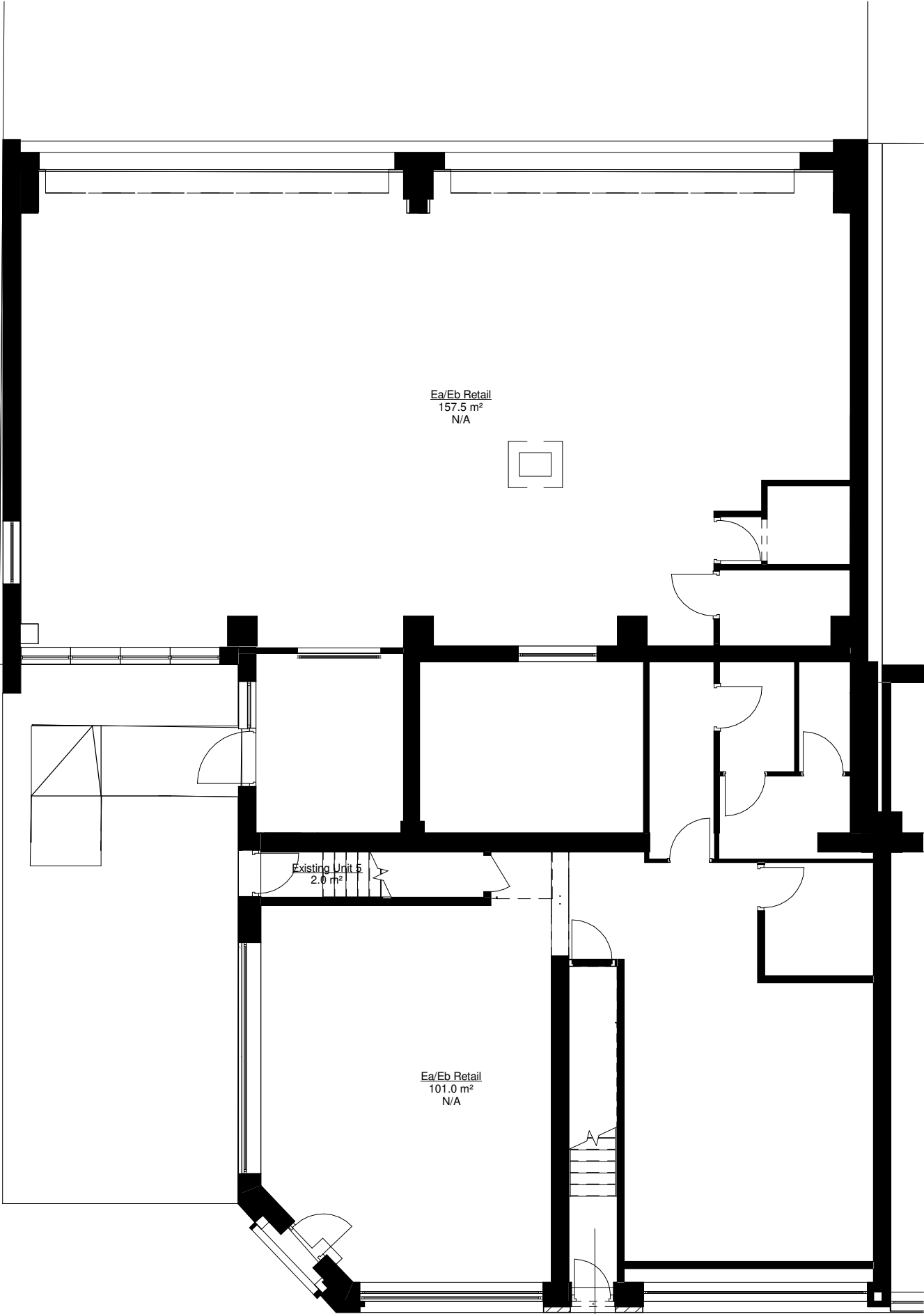




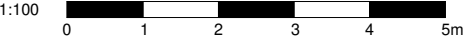
A		04/12/23		Issued for planning	
Rev	Date	Description			
PROJECT NO.		DRAWING NO.		REVISION	
175MAR-PL4		E.01		A	
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE		
19/03/13	A3	1 : 1250	04/12/23		
1-2 Marlborough Parade, UB10 0LR					
Site Location Plan					
PLANNING					
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.					
SHA		The Hayloft, 15 Barnet Gate Lane Arkley, HERTS, EN5 2AA 02072679679 info@sha.uk.com			



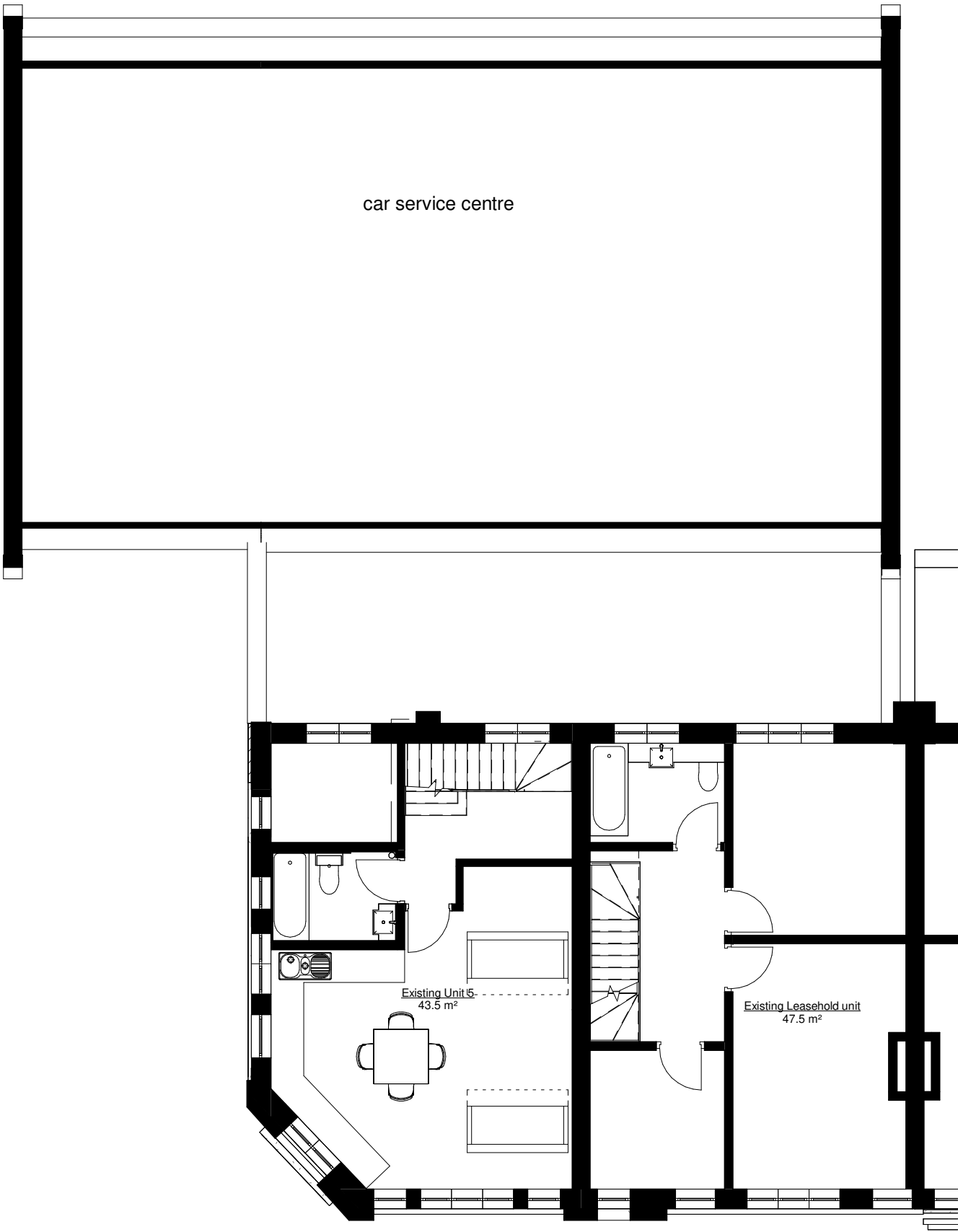
A	04/12/23	Issued for planning	
Rev	Date	Description	
PROJECT NO.		DRAWING NO.	REVISION
175MAR-PL4		E.02	A
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE
19/03/13	A3	1 : 200	04/12/23
1-2 Marlborough Parade, UB10 0LR			
Existing Block Plan			
PLANNING			
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.			
SHA		The Hayloft, 15 Barnet Gate Lane Arkley, HERTS, EN5 2AA 02072679679 info@sha.uk.com	



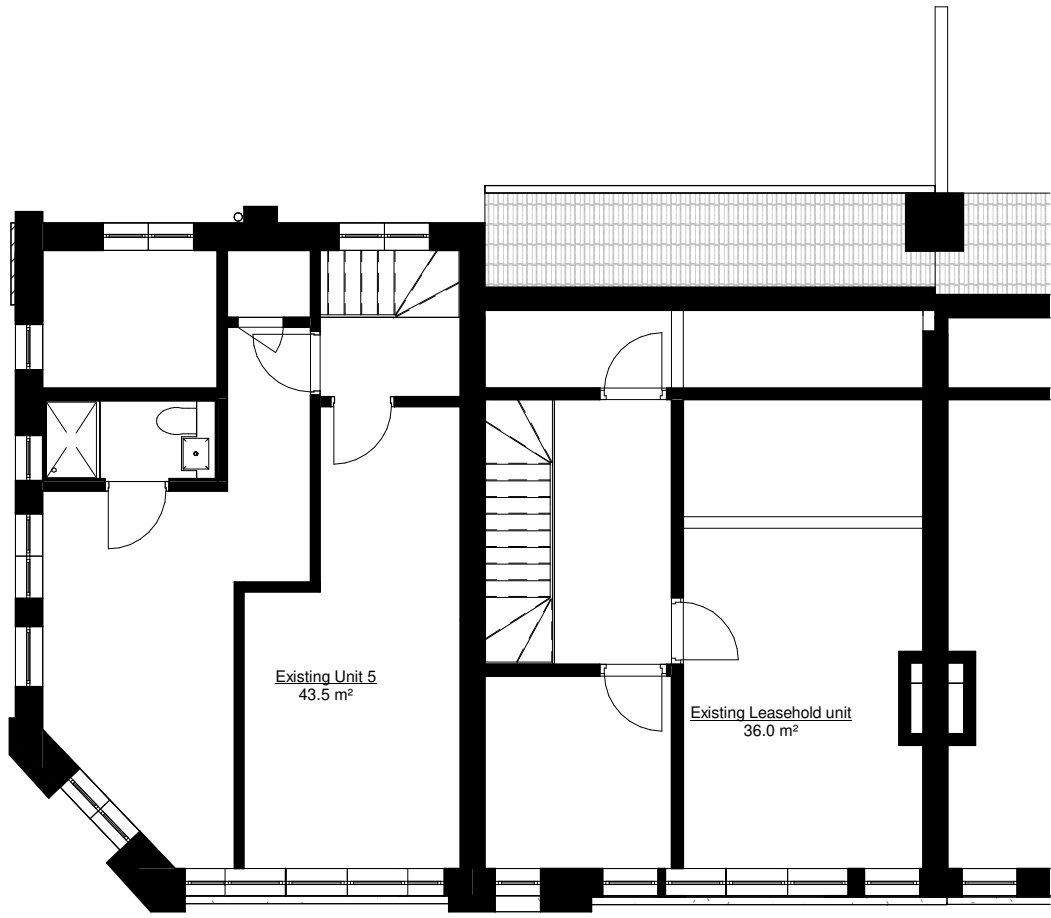
Area Schedule (GIA Existing)	
Name	Area
Ea/Eb Retail	258.65 m²
Existing Leasehold unit	85.55 m²
Existing Unit 5	89.41 m²
Grand total: 8	433.61 m²



A	04/12/23	Issued for planning	
Rev	Date	Description	
PROJECT NO. 175MAR-PL4		DRAWING NO. E.03	REVISION A
FIRST ISSUE 19/03/13	PAPER SIZE A3	SCALE 1 : 100	REV ISSUE 04/12/23
1-2 Marlborough Parade, UB10 0LR			
Existing Ground Floor			
PLANNING			
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.			
SHA		The Hayloft, 15 Barnet Gate Lane Arkley, HERTS, EN5 2AA 02072679679 info@sha.uk.com	

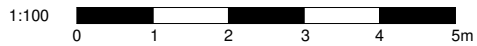
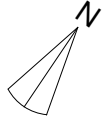


1/ E.04 Existing 1st Floor Plan
1 : 100

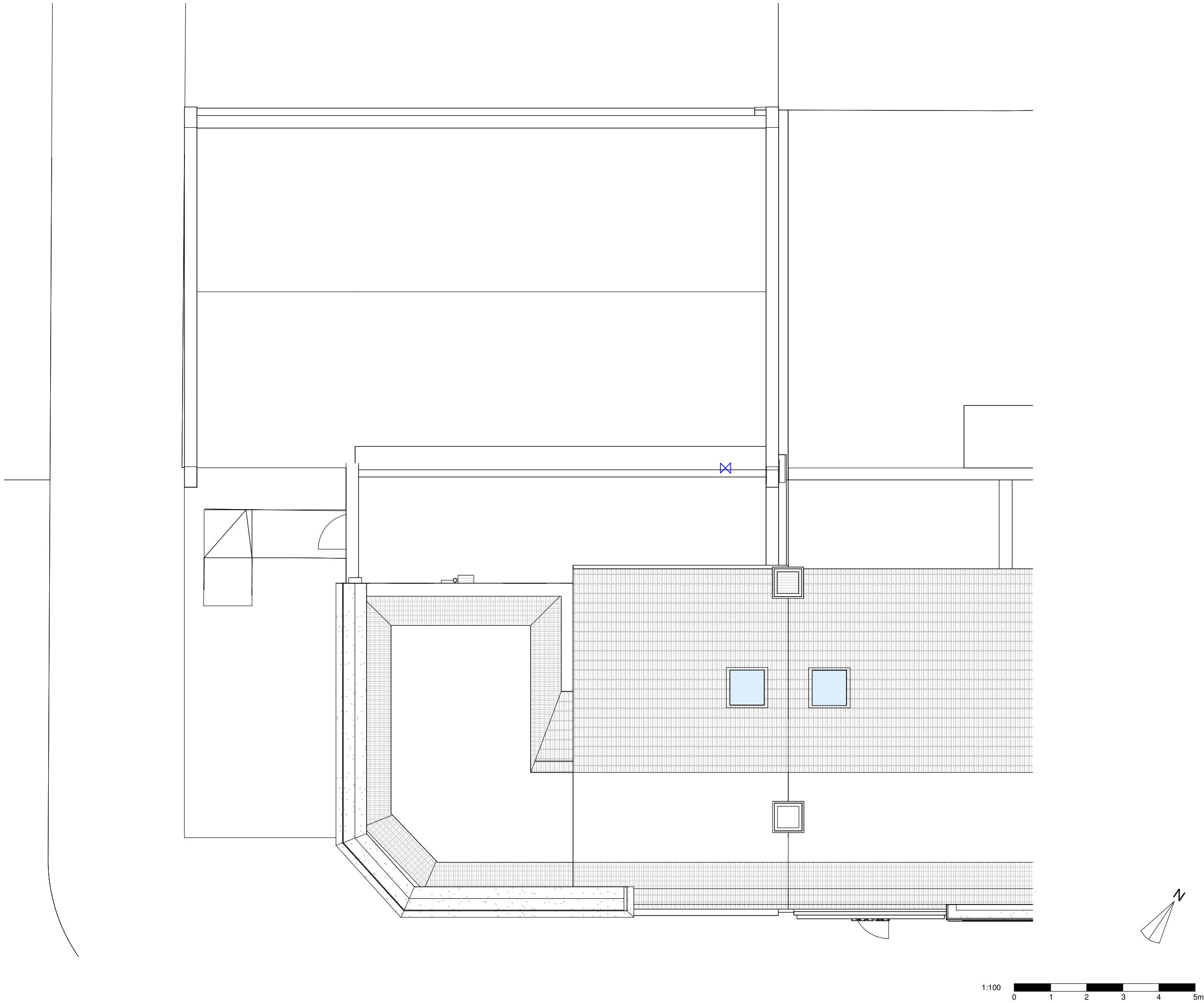


2/ E.04 Existing 2nd Floor plan
1 : 100

Area Schedule (GIA Existing)	
Name	Area
Ea/Eb Retail	258.65 m²
Existing Leasehold unit	85.55 m²
Existing Unit 5	89.41 m²
Grand total: 8	433.61 m²



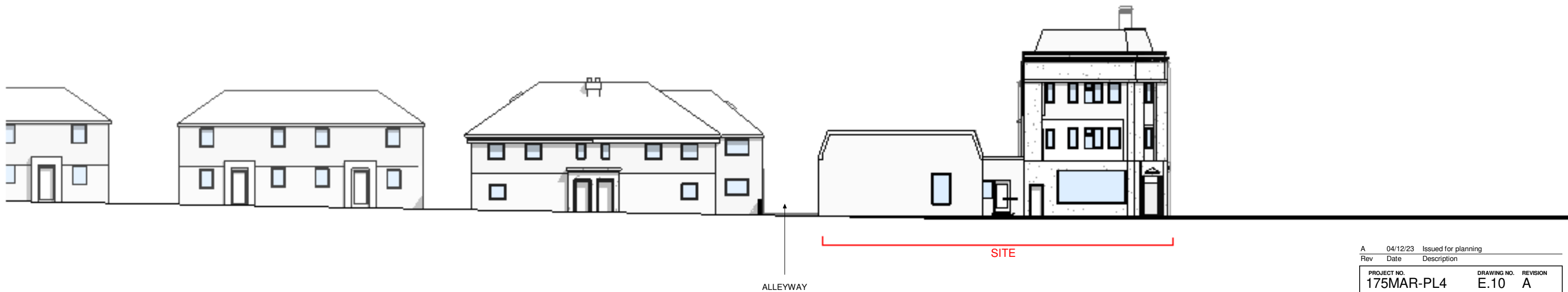
A	04/12/23	Issued for planning
Rev	Date	Description
PROJECT NO. 175MAR-PL4		DRAWING NO. E.04
FIRST ISSUE 19/03/13		REVISION A
PAPER SIZE A3		SCALE 1 : 100
1-2 Marlborough Parade, UB10 0LR		REV ISSUE 04/12/23
Existing Upper Floors		
PLANNING		
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.		
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A		04/12/23		Issued for planning	
Rev	Date	Description			
PROJECT NO.		DRAWING NO.		REVISION	
175MAR-PL4		E.05		A	
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE		
19/03/13	A3	1 : 100	04/12/23		
1-2 Marlborough Parade, UB10 0LR					
Existing Roof Plan					
PLANNING					
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.					
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1/ E.10 Existing Marlborough Parade Streetscape
1 : 250



3/ E.10 Existing Marlborough Road Streetscape
1 : 250

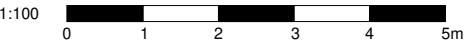
A		04/12/23		Issued for planning	
Rev	Date		Description		
PROJECT NO.			DRAWING NO.		REVISION
175MAR-PL4			E.10		A
FIRST ISSUE		PAPER SIZE	SCALE	REV ISSUE	
19/03/13		A3	1 : 250	04/12/23	
1-2 Marlborough Parade, UB10 0LR					
Existing Streetscape Elevations					
PLANNING					
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.					
SHA		The Hayloft, 15 Barnet Gate Lane Arkley, HERTS, EN5 2AA 02072679679 info@sha.uk.com			



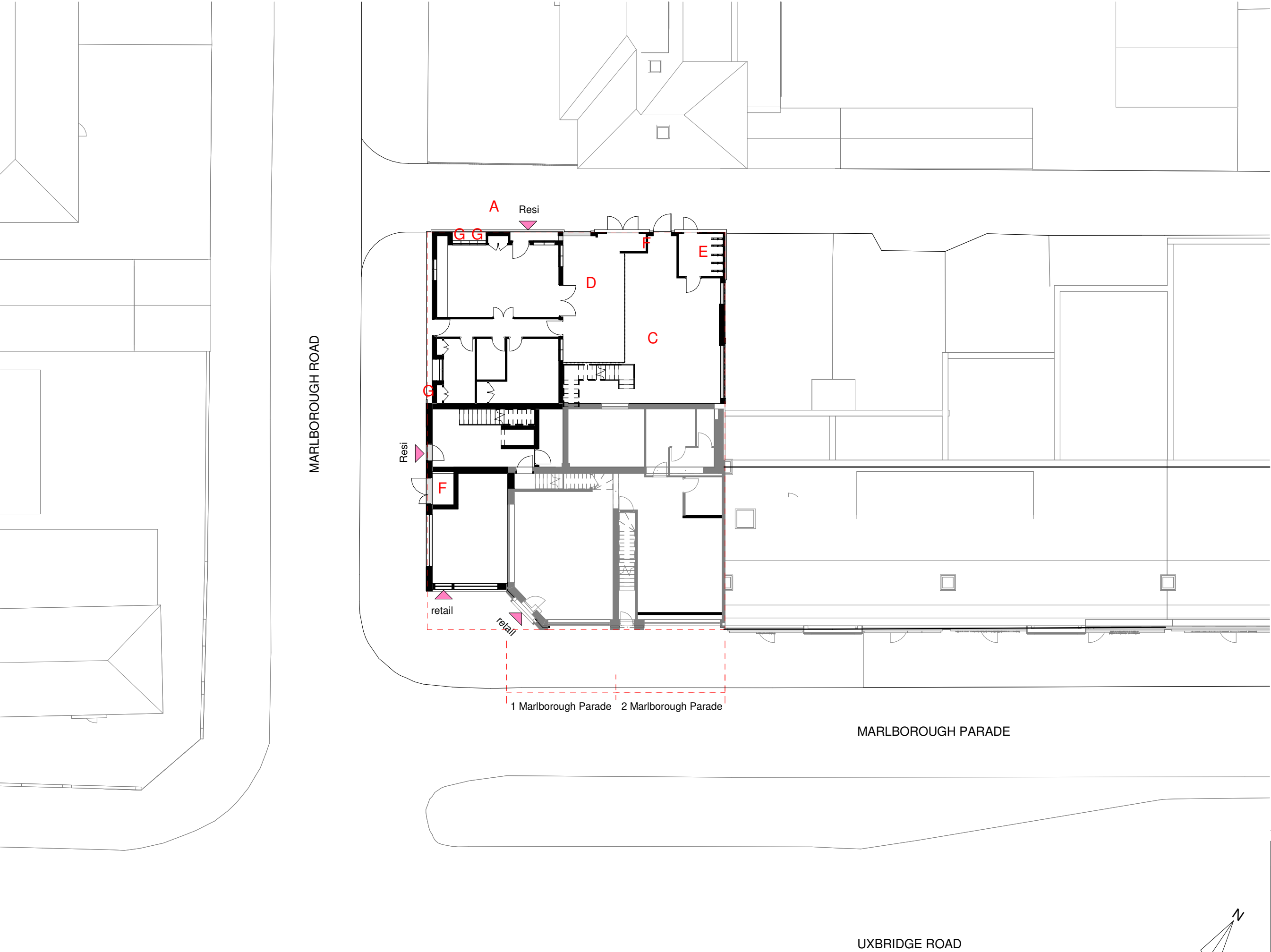
1/E.11 Existing Marlborough Parade Elevation
1 : 100

2/E.11 Existing Rear Elevation
1 : 100

A		04/12/23		Issued for planning	
Rev	Date	Description			
PROJECT NO.		DRAWING NO.		REVISION	
175MAR-PL4		E.11		A	
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE		
19/03/13	A3	1 : 100	04/12/23		
1-2 Marlborough Parade, UB10 0LR					
Existing Front and Back Building Elevations					
PLANNING					
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.					
SHA		The Hayloft, 15 Barnet Gate Lane Arkley, HERTS, EN5 2AA 02072679679 info@sha.uk.com			



- A Rear access
- C Shared Amenity space
- D Private Amenity space
- E Cycle storage
- F Refuse and recycling storage
- G Defensible space



A04/12/23Issued for planning

Rev	Date	Description
1	04/12/23	Issued for planning

PROJECT NO.	DRAWING NO.	REVISION
175MAR-PL4	P.02	A

FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE
19/03/13	A3	1 : 200	04/12/23

1-2 Marlborough Parade, UB10 0LR

Proposed Block Plan

PLANNING

Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.

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02072679679 info@sha.uk.com

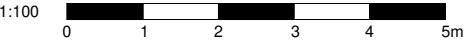


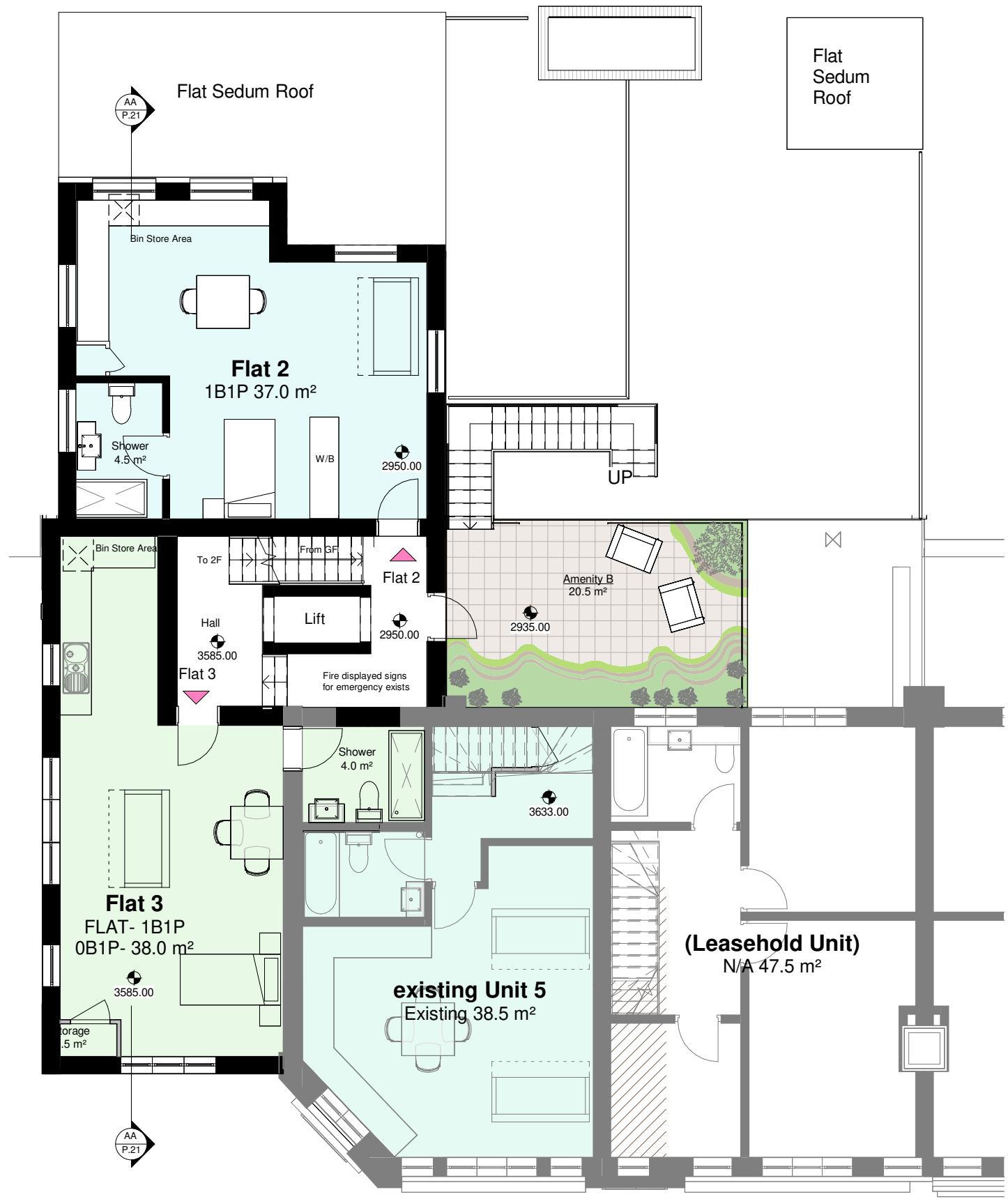
Area Schedule (GIA Proposed)			
Name	Unit Occupancy (xBxP)	Area	Amenity Required
Flat 1	2B3P	61 m²	25
Flat 2	1B1P	37 m²	20
Flat 3	1B1P	38 m²	20
Flat 4	1B1P	38 m²	20

Amenities Schedule (GIA Proposed)	
Name	Area
Amenity A	49 m²
Amenity B	20 m²
Amenity Unit 1	23 m²
	92 m²

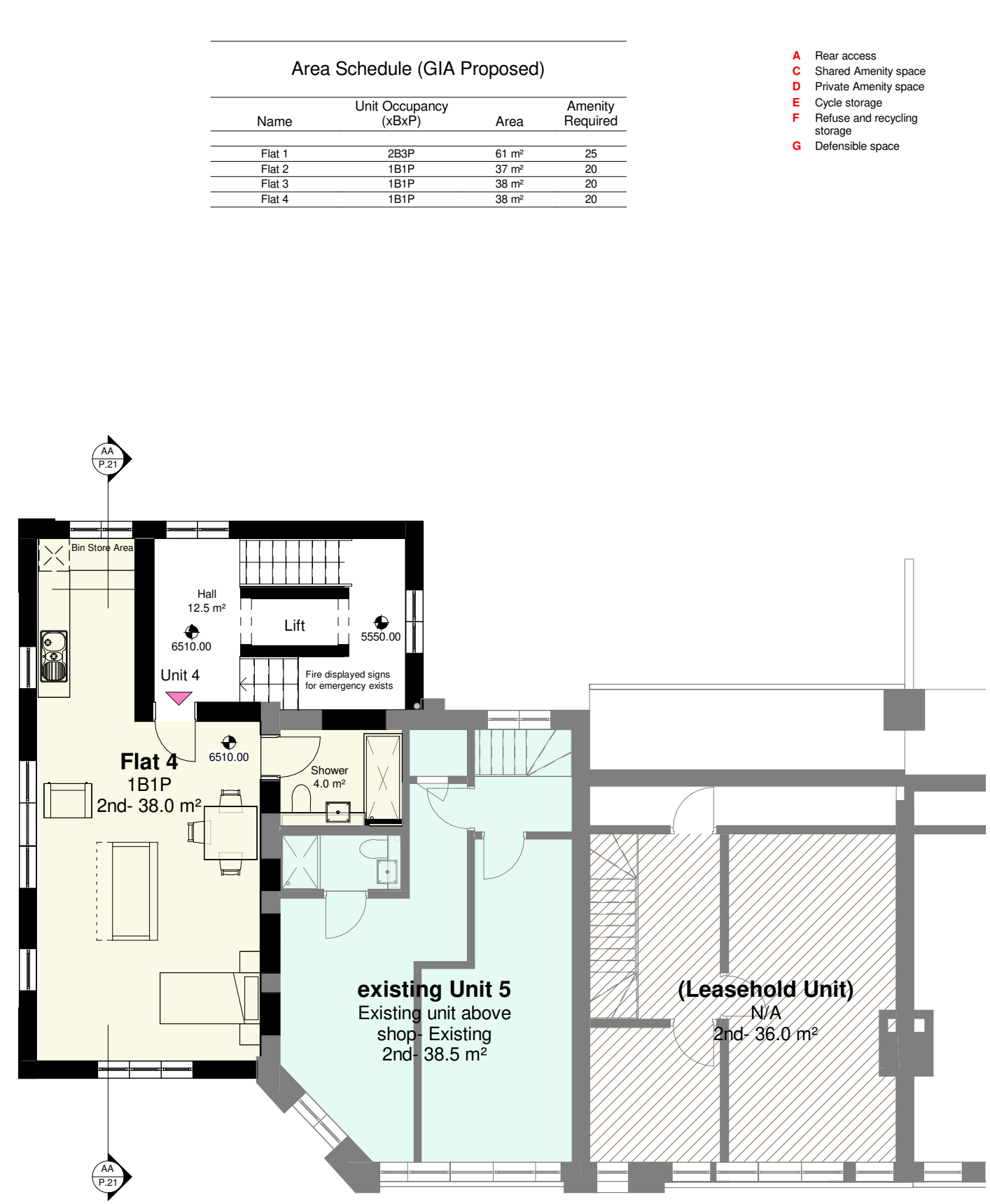
Bicycle storage	
Name	Bikes
Flat 1	2
Flat 2	1
Flat 3	1
Flat 4	1

Rev		04/12/23		Issued for planning	
Date		Description			
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175MAR-PL4		P.03		A	
FIRST ISSUE		PAPER SIZE		SCALE	
19/03/13		A3		1 : 100	
				REV ISSUE	
				04/12/23	
1-2 Marlborough Parade, UB10 0LR					
Proposed Ground Floor					
PLANNING					
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.					
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3/ P.04 Proposed 1st FFL
1 : 100



4/ P.04 Proposed Front 2nd FFL
1 : 100

Area Schedule (GIA Proposed)			
Name	Unit Occupancy (xBxP)	Area	Amenity Required
Flat 1	2B3P	61 m²	25
Flat 2	1B1P	37 m²	20
Flat 3	1B1P	38 m²	20
Flat 4	1B1P	38 m²	20

- A Rear access
- C Shared Amenity space
- D Private Amenity space
- E Cycle storage
- F Refuse and recycling storage
- G Defensible space

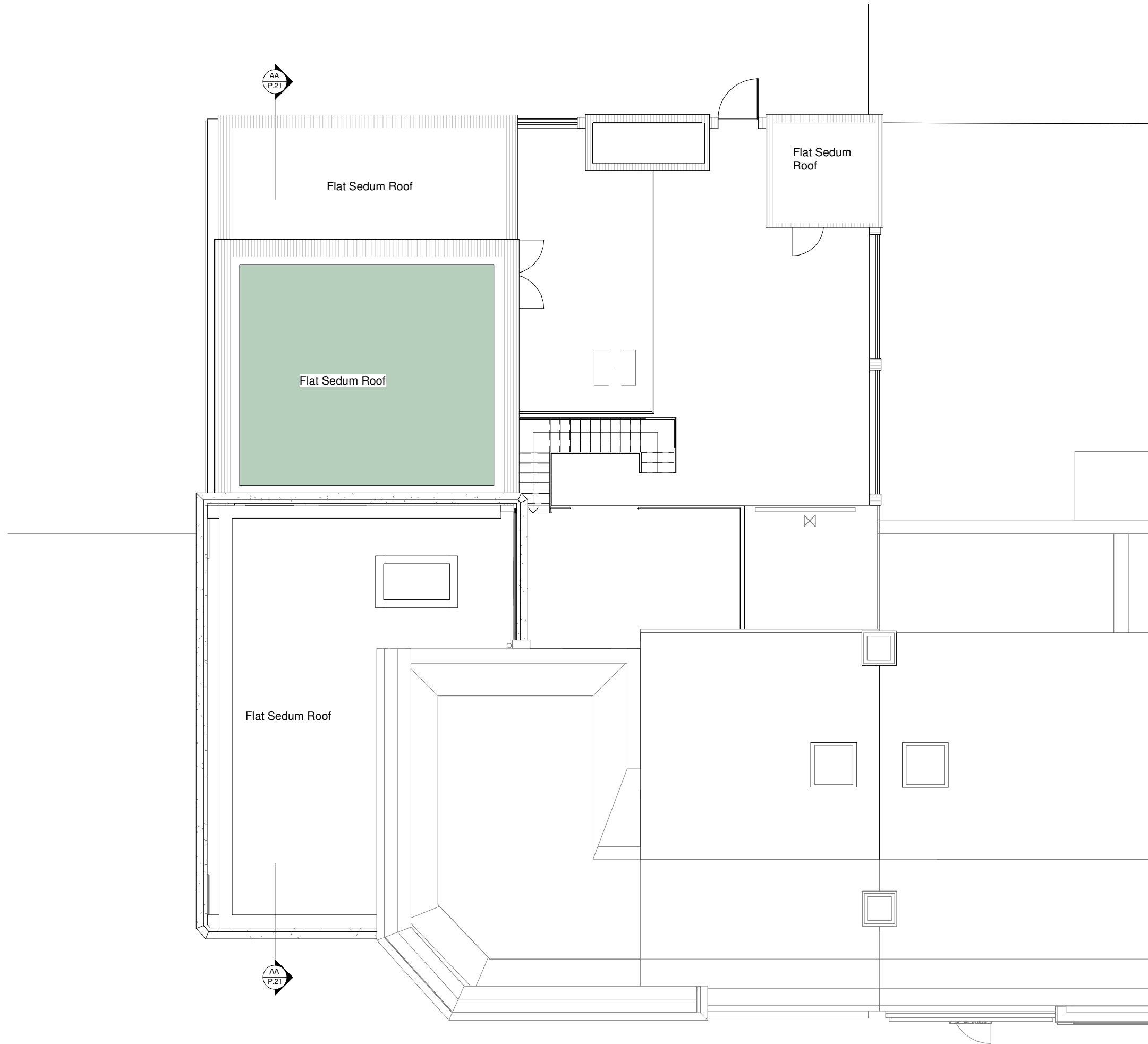
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PROJECT NO.	DRAWING NO.	REVISION
175MAR-PL4	P.04	A
FIRST ISSUE	PAPER SIZE	SCALE
19/03/13	A3	1 : 100
REV ISSUE		04/12/23
1-2 Marlborough Parade, UB10 0LR		
Proposed Upper Floors		
PLANNING		
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.		
SHA		
The Hayloft, 15 Barnet Gate Lane Arkley, HERTS, EN5 2AA 02072679679 info@sha.uk.com		



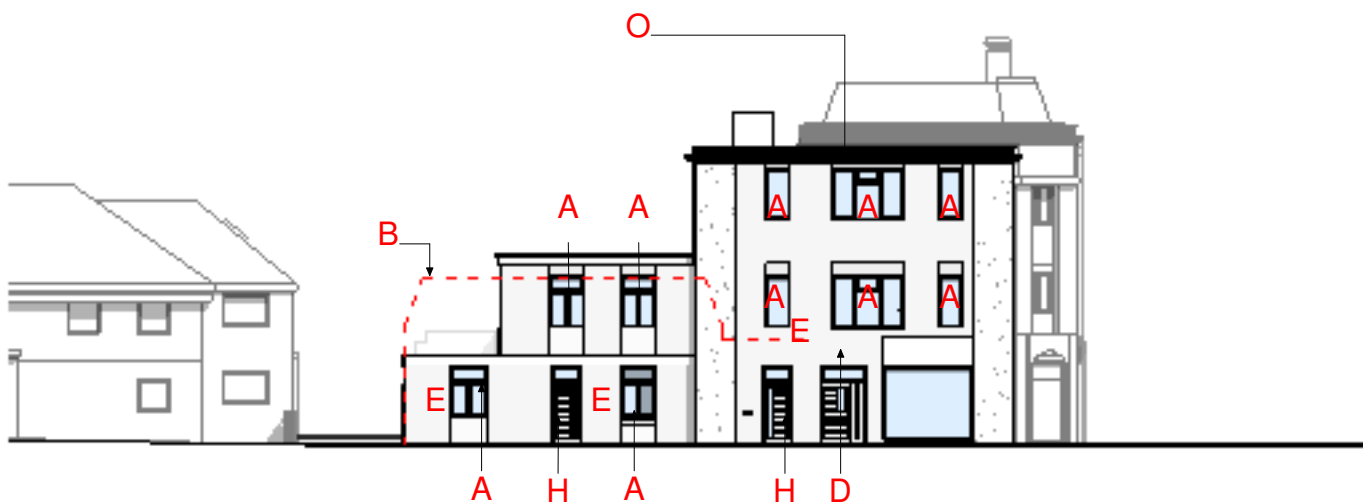
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A		04/12/23		Issued for planning	
Rev	Date		Description		
PROJECT NO.			DRAWING NO.		REVISION
175MAR-PL4			P.05		A
FIRST ISSUE		PAPER SIZE	SCALE	REV ISSUE	
19/03/13		A3	1 : 100	04/12/23	
1-2 Marlborough Parade, UB10 0LR					
Proposed Roof					
PLANNING					
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.					
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1/ P.10 Proposed Marlborough Parade Streetscape
1 : 250



2/ P.10 Proposed Marlborough Road Streetscape
1 : 250

- A New windows
- B Dotted line represents outline of existing building
- D 3-storey side extension
- E Brick to match existing or similar approved
- F Doors - Timber doors
- H Entrance
- I Refuse store
- J Retail unit
- L Brick to match existing
- M Render to match existing
- N Windows to match existing
- O Cornice details restored / match existing
- P Cornice - Fibre Cement panel
- Q Railings - Metal railing powder-coated

A		04/12/23		Issued for planning	
Rev	Date		Description		
PROJECT NO.			DRAWING NO.		REVISION
175MAR-PL4			P.10		A
FIRST ISSUE		PAPER SIZE	SCALE	REV ISSUE	
19/03/13		A3	1 : 250	04/12/23	
1-2 Marlborough Parade, UB10 0LR					
Proposed Streetscape Elevations					
PLANNING					
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.					
SHA		The Hayloft, 15 Barnet Gate Lane Arkley, HERTS, EN5 2AA 02072679679 info@sha.uk.com			



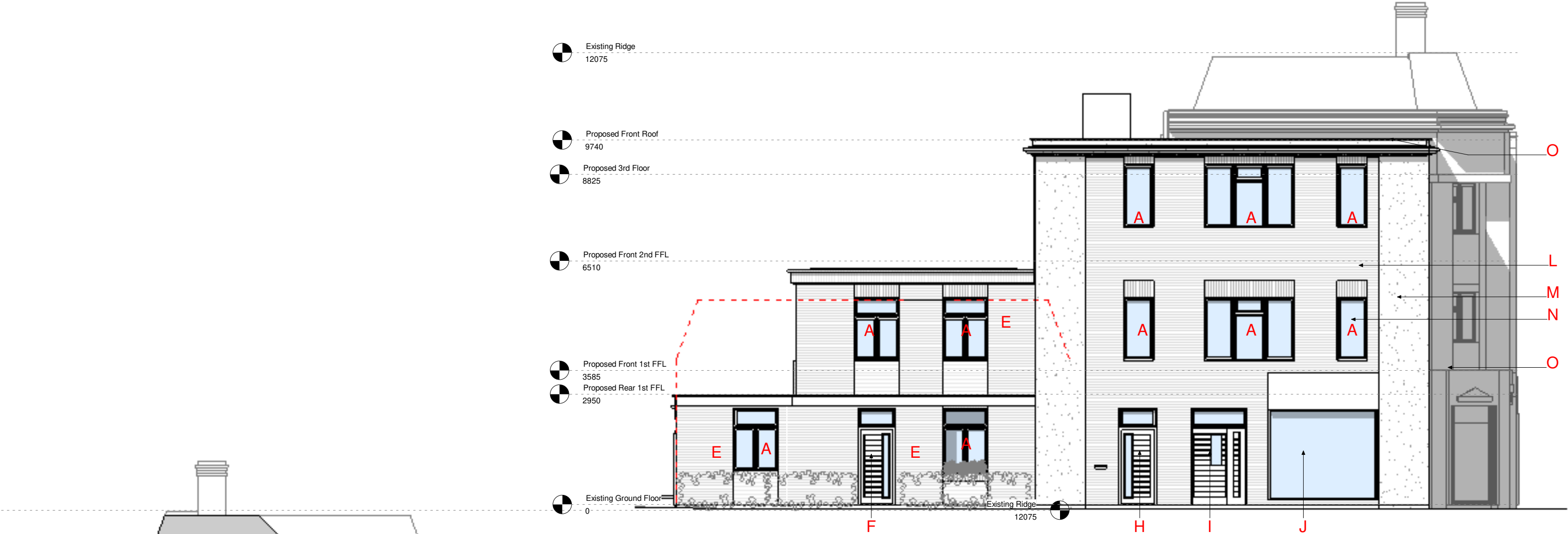
3/ P.11 Proposed Marlborough Parade Elevation
1 : 100



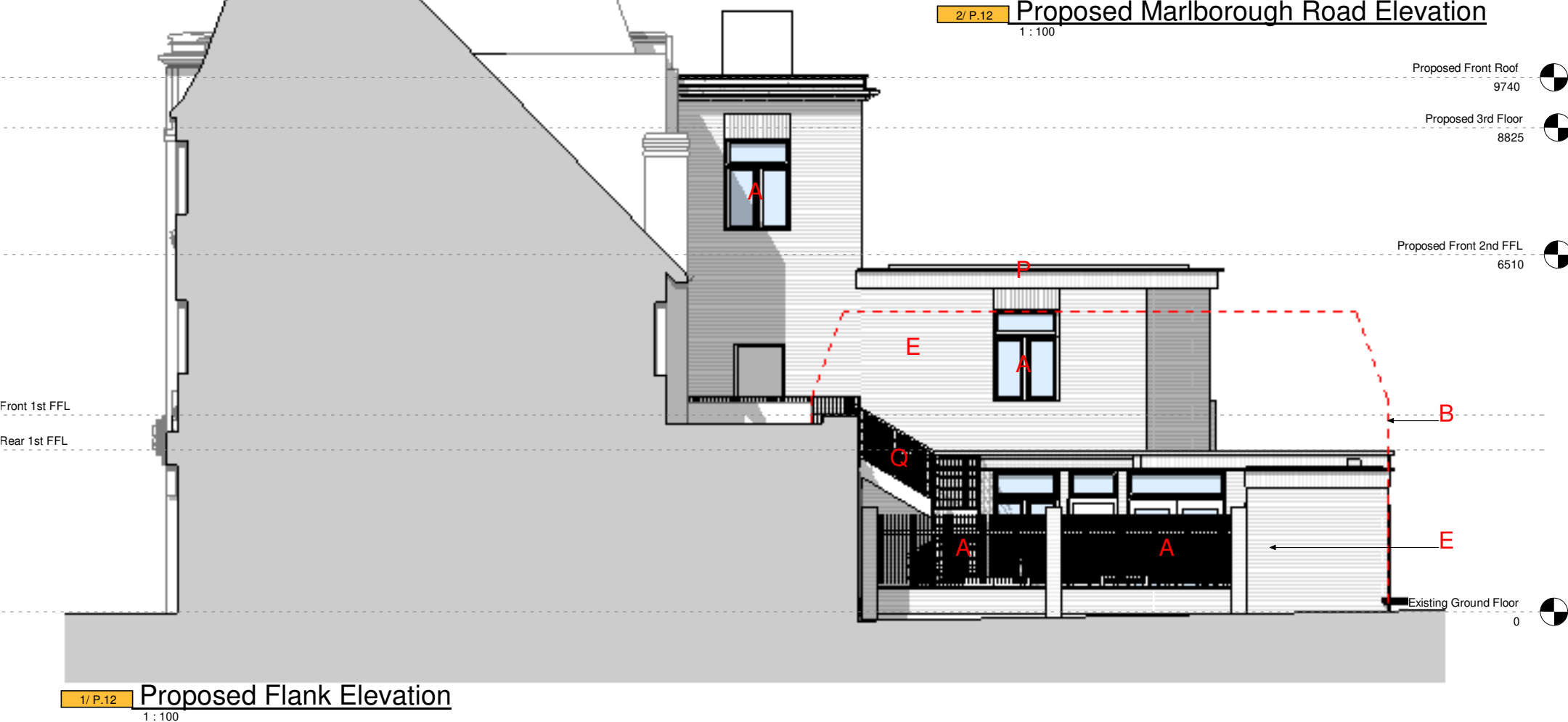
- A New windows
- B Dotted line represents outline of existing building
- D 3-storey side extension
- E Brick to match existing or similar approved
- F Doors - Timber doors
- H Entrance
- I Refuse store
- J Retail unit
- L Brick to match existing
- M Render to match existing
- N Windows to match existing
- O Cornice details restored / match existing
- P Cornice - Fibre Cement panel
- Q Railings - Metal railing powder-coated

A		04/12/23		Issued for planning	
Rev	Date	Description			
PROJECT NO.		DRAWING NO.		REVISION	
175MAR-PL4		P.11		A	
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE		
19/03/13	A3	1 : 100	04/12/23		
1-2 Marlborough Parade, UB10 0LR					
Proposed Rear Elevation					
PLANNING					
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.					
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1/ P.11 Proposed Rear Elevation
1 : 100



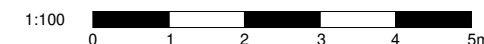
2/ P.12 Proposed Marlborough Road Elevation
1 : 100



1/ P.12 Proposed Flank Elevation
1 : 100

- A New windows
- B Dotted line represents outline of existing building
- D 3-storey side extension
- E Brick to match existing or similar approved
- F Doors - Timber doors
- H Entrance
- I Refuse store
- J Retail unit
- L Brick to match existing
- M Render to match existing
- N Windows to match existing
- O Cornice details restored / match existing
- P Cornice - Fibre Cement panel
- Q Railings - Metal railing powder-coated

A		04/12/23		Issued for planning	
Rev	Date	Description			
PROJECT NO.		DRAWING NO.		REVISION	
175MAR-PL4		P.12		A	
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE		
19/03/13	A3	1 : 100	04/12/23		
1-2 Marlborough Parade, UB10 0LR					
Proposed Side Building Elevations					
PLANNING					
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.					
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AA/ P.21 Proposed Section
1 : 100

- A New windows
- B Dotted line represents outline of existing building
- D 3-storey side extension
- E Brick to match existing or similar approved
- F Doors - Timber doors
- H Entrance
- I Refuse store
- J Retail unit
- L Brick to match existing
- M Render to match existing
- N Windows to match existing
- O Cornice details restored / match existing
- P Cornice - Fibre Cement panel
- Q Railings - Metal railing powder-coated

A	04/12/23	Issued for planning	
Rev	Date	Description	
PROJECT NO.		DRAWING NO.	REVISION
175MAR-PL4		P.21	A
FIRST ISSUE	PAPER SIZE	SCALE	REV ISSUE
19/03/13	A3	As indicated	04/12/23
1-2 Marlborough Parade, UB10 0LR			
Proposed Sections			
PLANNING			
Note: All dimensions to be checked on the site before commencement of the work. For construction only use figured dimensions. Any variations from these drawings should be approved by the Architect prior to commencement. This drawing is copyright.			
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