



DESIGN AND ACCESS STATEMENT

**166 NORTHWOOD WAY
NORTHWOOD
HA6 1RB**

December 2025

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1.0 INTRODUCTION

1.1 SUMMARY

This Design and Access Statement has been prepared by USL Architects in support of a planning application for a rear infill extension and the formation of a new dwelling in the loft floor. Prior approval has already been granted for the change of use of the existing building to residential use. The current application therefore seeks permission for the proposed roof alterations and extension works to facilitate the creation of fifth residential unit, together with associated refuse storage and cycle parking.

The purpose of this document is to provide further information relating to the design and accessibility of the proposed scheme. It also demonstrates the steps taken to appraise the context of the scheme and how the design adheres to the surroundings following the identification of constraints on the site.

This statement should be read in conjunction with other material submitted, as well as:

Planning Application Form
Planning Application Drawings (Existing & Proposed)
Fire Safety Strategy Statement

1.2 DESIGN TEAM

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2.0 ARCHITECTURAL CONTEXT

2.1 SITE LOCATION

The site is located off Northwood Hills Circus in Northwood. The building benefits from prior approval for change of use from offices to residential.

The entrance for the building is on the front facade, off Northwood Way. The boundary edge and the close proximity of the neighbouring properties have been carefully considered in our proposal as demonstrated later in the document.

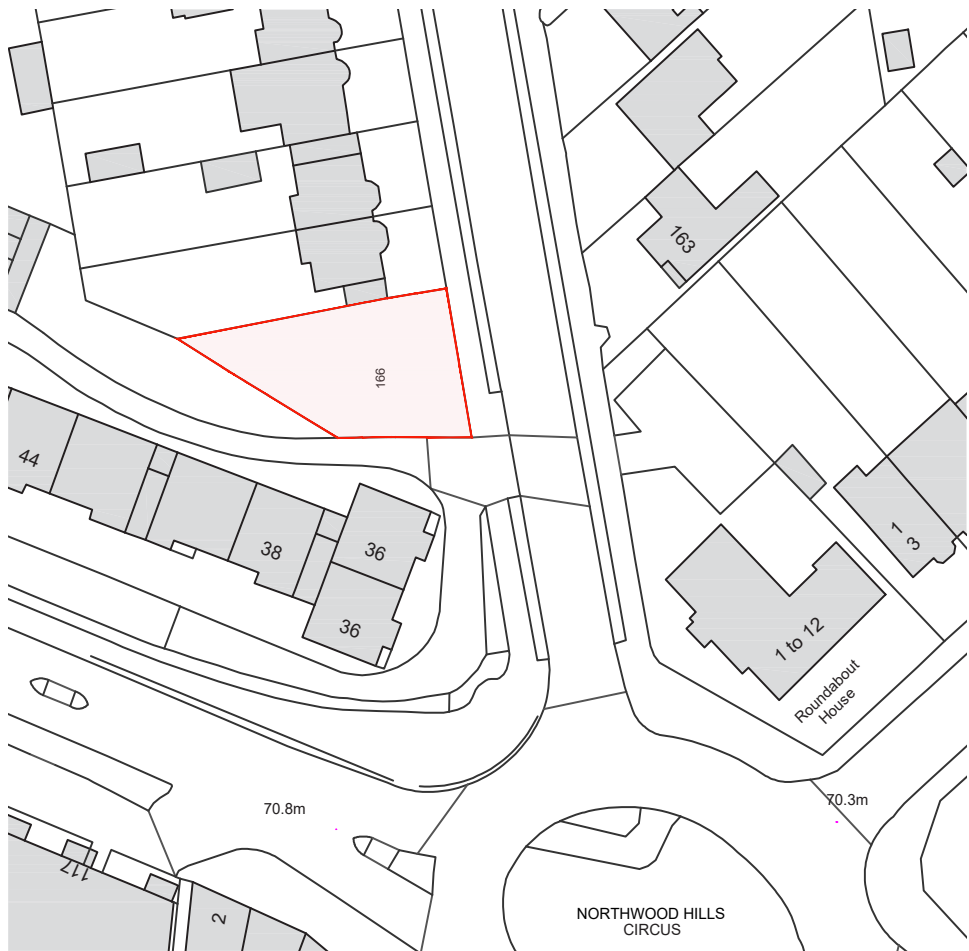


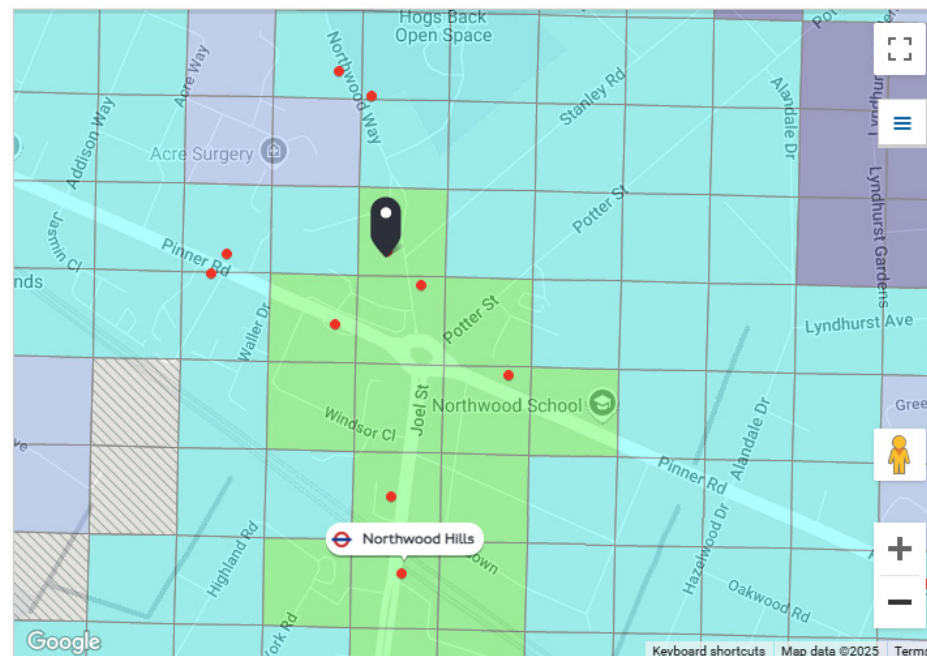
FIG 1. SITE LOCATION PLAN

2.2.1 Planning history

18377/APP/2022/2444	Change of use from offices to four 1-bedroom flats (Application for Prior Approval under Schedule 2, Part 3, Class MA of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)).	Withdrawn (P)
18377/APP/2022/1080	Changes to external appearance of the property including fenestration changes, new entrance doors, removal of chimney stack, removal of external staircase.	Approval
18377/APP/2022/1082	Change of use from offices to 4 x 1-bedroom flats (Prior Notification under Class MA of Part 3, Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 as amended).	Refusal
18377/APP/2021/4187	Change of use from offices to 4 one-bedroom flats with associated external alternations (Prior Notification under Class MA of Part 3, Schedule 2 of the Town and Country Planning (General Permitted Development) (England) Order 2015 as amended).	Refusal
18377/A/84/1319	Extension/Alterations to Office premises (P) of 43 sq.m.	Approval
18377/PRC/2024/211	Demolition of existing two storey office building,erection of four storey block of 8 no. self contained flat, including green roofing, landscaping, parking and bin storage.	
18377/APP/2025/2529	Conversion of commercial (Use Class E) space to residential units comprising 4 self-contained (Use Class C3) (Application for Prior Approval under Schedule 2, Part 3, Class MA of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)).	Approval

2.2 LOCATION AND TRANSPORT

The proposed site has a PTAL rating of 3 demonstrating convenient accessibility of public transport. Northwood Hills station, a metropolitan underground tube line is approximately 300 m to the south which connects the suburbs and central part of London. Various bus stops within radius of 300m and the road network gives an easy connectivity to the nearby areas.



You can click anywhere on the map to change the selected location.

PTAL output for Base Year

3

HA6 IRB

Northwood Way, Northwood HA6 IRB, UK

Easting: 510227, Northing: 190614

FIG 2. TFL PTAL Access Level

2.3 SURROUNDING CONTEXT

There are various architectural styles in the area, such as Edwardian, Art Deco, and Contemporary. The site is located at a juncture where all 3 styles can be seen, which greatly impacts and determines the style of the proposed development.



FIG 3. ART DECO STYLE (NEIGHBOURHOOD)



FIG 4. CONTEMPORARY STYLE (NEIGHBOURHOOD)



FIG 5. EDWARDIAN STYLE (NEIGHBOURHOOD)

3.0 OUTLINE PLANNING APPLICATION

3.1 DESIGN GUIDANCE

The site plan demonstrates that the proposed development, comprising a rear infill extension and a loft conversion, can be accommodated within the existing building footprint without adversely impacting neighbouring properties. The scale, form, and appearance of the extension and loft works have been carefully designed to remain in harmony with the surrounding buildings and the character of the local area.

The proposals respect existing building lines, roof profiles, and massing, ensuring that the development integrates sensitively with the streetscape while providing additional living space for future residents.

3.1.1 Minimum space standards

All flats have been designed in accordance with The London Plan 2021 and Housing Design Standards (June 2023) as demonstrated below. The requirements for a 1b1p single storey dwelling with a shower is 37m², 1b2p single storey dwelling is 50m² with the recommended living space of 23m², all of which are surpassed in our proposal.

Table 3.1 - Minimum internal space standards for new dwellings*

Type of dwelling		Minimum gross internal floor areas* and storage (square metres)			
Number of bedrooms (b)	Number of bed spaces (persons(p))	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) *	N/A	N/A	1
	2p	50	58	N/A	1.5
2b	3p	61	70	N/A	2
	4p	70	79	N/A	2
3b	4p	74	84	90	2.5
	5p	86	93	99	2.5
	6p	95	102	108	2.5
4b	5p	90	97	103	3
	6p	99	106	112	3
	7p	108	115	121	3
	8p	117	124	130	3
5b	6p	103	110	116	3.5
	7p	112	119	125	3.5
	8p	121	128	134	3.5
6b	7p	116	123	129	4
	8p	125	132	138	4

FIG 6. THE LONDON PLAN, Chapter 3 Design

3.1.2 Amentities - Garden space, Green roof, Balconies

The proposal provides ample amenity space for residents. Flats 1–4 will have access to a shared communal garden at the rear of the property, while the loft-floor flat benefits from a private balcony.

Additional trees and soft landscaping are proposed to create a safe, secure, and pleasant outdoor environment for residents, enhancing both visual amenity and opportunities for outdoor recreation.

The total area of the proposed communal rear garden is approximately 91.9 m², providing generous outdoor amenity space for the residents of flats 1–4. The loft-floor flat is also provided with a private balcony, offering additional outdoor space and enhancing the quality of life for its occupants.

Private outside space

9) Where there are no higher local standards in the borough Development Plan Documents, a minimum of 5 sq.m. of private outdoor space should be provided for 1-2 person dwellings and an extra 1 sq.m. should be provided for each additional occupant, and it must achieve a minimum depth and width of 1.5m. This does not count towards the minimum Gross Internal Area space standards required in Table 3.1

FIG 7. THE LONDON PLAN MARCH 2021, CHAPTER 3, POLICY D6 HOUSING QUALITY AND STANDARDS

3.2 PARKING, CYCLE STORAGE AND PUBLIC TRANSPORT

The highly accessible town-centre location means it is close to public transport modes in particular bus and train, with Northwood Hills station only 5 minutes walk away. And as the site comes under PTAL 3, based on the London Plan 2021(which requires a maximum of 6 space), the design proposal provides 3 car parking spaces ,of which one for disable and an electrical charging to encourage the uptake of electric vehicles. We believe that this number would be acceptable for the type of development.

The proposed bike storage encourages a more sustainable mode of transport for the borough.

In line with The London Plan 2021 and London Borough of Hillingdon: Local Plan Part 2 - Development Management Policies, we have provided 6 bicycle parking spaces in the proposal.

Bicycle parking spaces are provided in a safe, secure, and accessible location at the front of the property, allowing easy access for all residents.

C3-C4	dwelling (all)	<ul style="list-style-type: none">• 1 space per studio or 1 person 1 bedroom dwelling• 1.5 spaces per 2 person 1 bedroom dwelling• 2 spaces per all other dwellings	<ul style="list-style-type: none">• 5 to 40 dwellings: 2 spaces• Thereafter: 1 space per 40 dwellings
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FIG 8. THE LONDON PLAN 2021 - CHAPTER 10 TRANSPORT, TABLE 10.2 MINIMUM CYCLE PARKING STANDARDS

Table 10.3 - Maximum residential parking standards		
Location	Number of beds	Maximum parking provision*
Central Activities Zone Inner London Opportunity Areas Metropolitan and Major Town Centres All areas of PTAL 5 – 6 Inner London PTAL 4	All	Car free~
Inner London PTAL 3	All	Up to 0.25 spaces per dwelling
Inner London PTAL 2 Outer London Opportunity Areas	All	Up to 0.5 spaces per dwelling
Inner London PTAL 0 – 1	All	Up to 0.75 spaces per dwelling
Outer London PTAL 4	1 – 2	Up to 0.5 - 0.75 spaces per dwelling+
Outer London PTAL 4	3+	Up to 0.5 - 0.75 spaces per dwelling+
Outer London PTAL 2 – 3	1 – 2	Up to 0.75 spaces per

FIG 9. THE LONDON PLAN 2021 - CHAPTER 10 TRANSPORT, TABLE 10.3 MAXIMUM RESIDENTIAL PARKING STANDARDS

3.3 REFUSE

Refuse storage is located at the front of the property, right of the main entrance on Northwood Way for the proposal. With external access into the store, easy accessibility will be created for residents to store their waste in the bins and for the removal of the rubbish on collection days.



FIG 10. GROUND FLOOR PLAN HIGHLIGHTING GARDEN SPACE, CAR PARKING, CYCLE STORE AND REFUSE STORAGE

GARDEN CAR PARK CYCLE STORE REFUSE STORAGE

4.0 DESIGN PROPOSAL

4.1.1 Massing and scale

The proposal retains the existing two-storey detached building and introduces a modest rear infill extension together with a loft conversion to create an additional habitable level. As part of the loft works, the ridge height is proposed to be slightly increased; however, the building will remain lower than the neighbouring properties on both sides, ensuring it sits comfortably within the established roofline along Northwood Way.

The rear infill extension is designed to be subordinate to the main building and proportionate to the size of the plot, ensuring it does not appear overbearing or visually intrusive. The loft conversion and associated roof alterations have been sensitively designed to preserve the residential character of the property and to avoid any undue impact on neighbouring amenity.

The scale, form, and proportions of the proposed development respond positively to the surrounding context, where two-storey dwellings with roof accommodation and rear additions are common. The overall massing respects neighbouring outlook, privacy, and daylight while providing well-designed, high-quality residential accommodation.

In summary, the proposed works represent a contextually appropriate and well-balanced enhancement to the existing building, maintaining harmony with the surrounding streetscape and complying with relevant local planning policies.

4.1.2 Layout

The internal layout has been designed to make efficient use of the existing building while providing high-quality residential accommodation. The main entrance on Northwood Way is retained, offering a clear and convenient access point to all units via the shared staircore.

The approved development under reference no: [18377/APP/2025/2529](#) provides a mix of studio and one-bedroom flats across the ground and first floors. This application seeks to extend that development with the addition of a studio flat within the new loft conversion. The new flat has been carefully arranged to meet the nationally described space standards, ensuring comfortable and well-proportioned living environments.

The layout responds logically to the existing structure and circulation, maintaining a coherent arrangement across all levels while maximising natural light and functional living space.



FIG 11. SCALE OF THE PROPOSAL

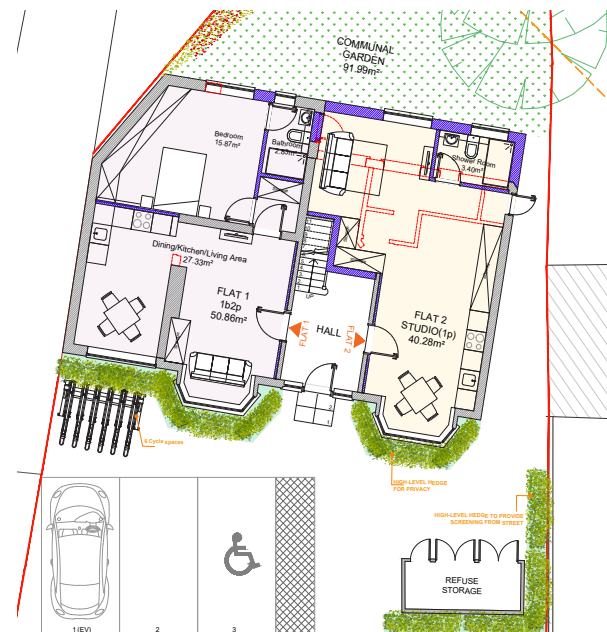


FIG 12. PROPOSED GROUND FLOOR PLAN

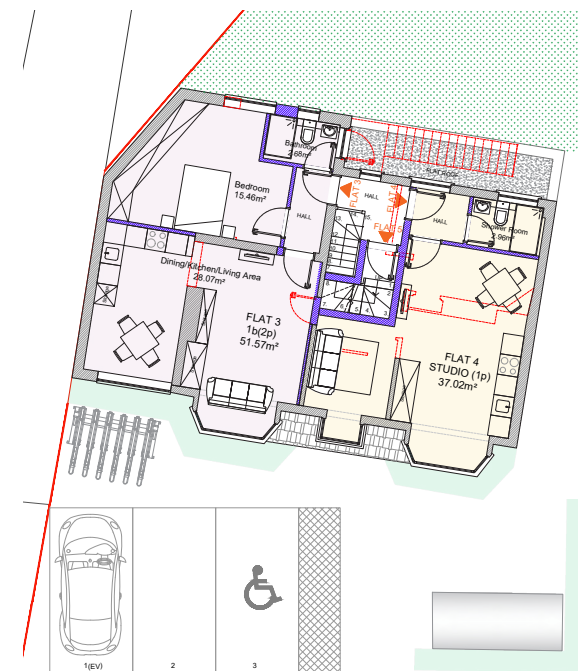


FIG 13. PROPOSED FIRST FLOOR PLAN

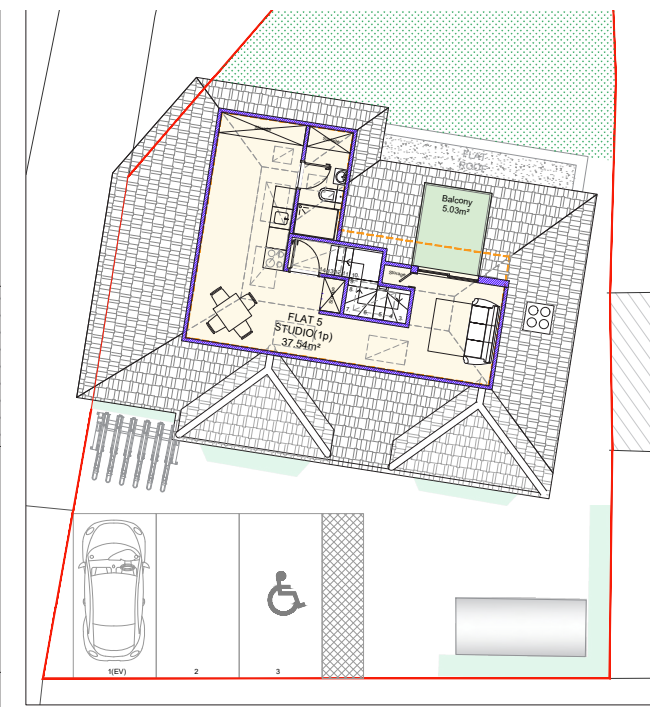


FIG 14. PROPOSED LOFT FLOOR PLAN

4.1.3 Elevational Strategy

The existing ground and first floor elevations facing the public realm will be largely retained, preserving the established appearance of the building within the streetscene. A single-storey rear infill extension is proposed at ground floor level to provide a better quality accommodation for both the flats 1 and 2. This will be entirely contained to the rear and will not be visible from Northwood Way.

At roof level, the ridge height has been raised to accommodate the loft conversion. The conversion involves only limited alterations, including the insertion of new rooflights and a rear-facing balcony. These additions have been designed to be discreet and sympathetic to the existing building form. The rear balcony is not visible from the public realm, and the rooflights are modest in scale, ensuring that the overall character and appearance of the property remain in keeping with neighbouring buildings.

4.1.4 Architectural language and Materials

The proposal retains the existing architectural character of the building, with no changes to the external walls on the ground and first floors. The only visible alteration to the principal elevation is at roof level, where the roof ridge is proposed to be raised remaining subservient to the neighbouring buildings. The existing green roof tiles will be replaced with new tiles that closely match those of neighbouring residential properties, ensuring a consistent and harmonious appearance along Northwood Way.

To the rear, a single-storey infill extension is proposed; although not visible from the public realm, it will be constructed using materials that match the existing building, including matching brickwork and similar window and door finishes. Together, these minor changes ensure the development integrates sensitively with the existing structure and maintains visual continuity with its surroundings.



FIG 15. PROPOSED FRONT ELEVATION WITH CONTEXT

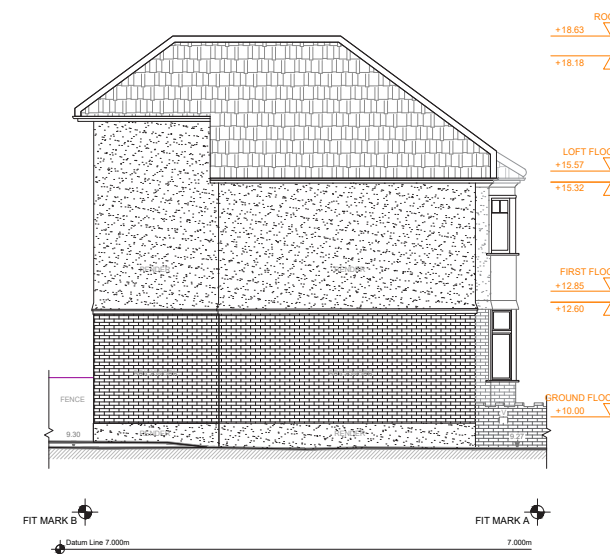


FIG 16. PROPOSED SIDE 1 ELEVATION

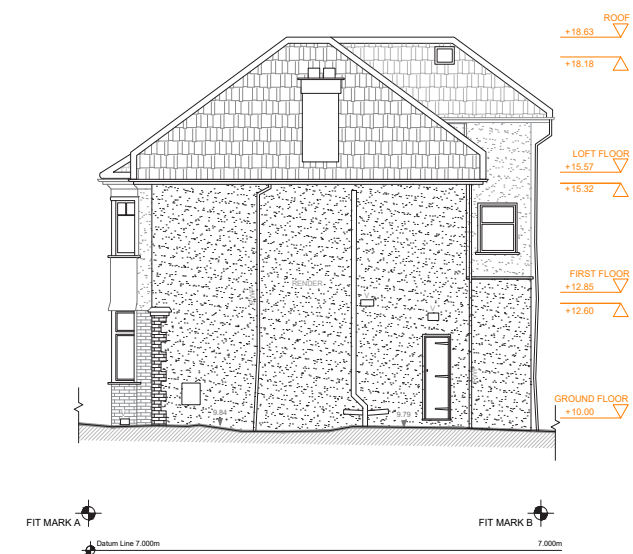


FIG 17. PROPOSED SIDE 2 ELEVATION



FIG 18. PROPOSED REAR ELEVATION



FIG 19. SITE (EXISTING BUILDING)
-inspiration for wall



FIG 20. EDWARDIAN STYLE (NEIGHBOURHOOD)
-inspiration for roof

5.0 SCHEDULE OF ACCOMMODATION

5.1 Proposal

166 NORTHWOOD WAY, NORTHWOOD, HA5 1RB					
FLAT	TYPE	LEVELS	Number of bed spaces (persons)	SURFACE (Sqm)	Built-in Storage (Sqm)
1	1 BEDROOM	Ground Floor	1	50.86	1.62
2	STUDIO	Ground Floor	1	40.28	1.57
3	1 BEDROOM	First Floor	1	51.57	1.66
4	STUDIO	First Floor	1	37.02	1.08
5	STUDIO	Loft Floor	1	37.54	2.07

FLATS TYPE	
TYPE	NUMBER
STUDIO	3
1 BEDROOM	2
TOTAL	5

6.0 CONCLUSION

The proposal has been carefully and sensitively designed to deliver a high-quality residential development that responds positively to the local context, scale, and character of Northwood Way. The roof extension and the single storey rear infill extension, has been planned to ensure that the appearance of the property remains consistent with the surrounding streetscape. The revised roof design and matching materials ensure a harmonious integration with neighbouring dwellings, while the rear extension is discreet and constructed in materials that complement the existing structure.

The layout and massing have been developed to respect neighbouring amenity, maintaining appropriate privacy, outlook, and daylight levels. All proposed units meet the nationally described space standards, providing well-proportioned and functional homes. The external changes are limited, sympathetic, and designed to avoid any detrimental impact on the character, safety, or visual quality of the area.

Overall, the scheme represents a thoughtful and appropriate response to the site and its surroundings, enhancing the quality and usability of the building while preserving the established character of the locality. We trust that the Council will find the proposal acceptable and supportive of the objectives of local and regional planning policy.