

27 Coniston Gardens

DESIGN, ACCESS & PLANNING STATEMENT

25.04.25

1. INTRODUCTION

This report accompanies the proposed drawing pack; seeking planning approval for the proposed:

- Double storey side extension and single storey rear extension to existing end of terrace property

2. EXISTING SITE

2.1 SITE DESCRIPTION

The site is an end of terrace, two storey dwelling situated on the south side of Coniston Gardens at its junction with Maybank Gardens. There is extensive hard-standing to the front. There is mature hedging to the front and side. There are no mature trees within the site. The property has had no previous extensions apart from a pitched roof porch over the front door. It adjoins No. 25 Coniston Gardens, also two storey and backs onto No. 16 Maybank Gardens which is also a two storey dwelling.

No. 27 forms the end of terrace to a series of four houses along Coniston Gardens. A double storey side extension has been previously added to no. 21 (the corresponding end of terrace property).

no. 27 Coniston Gardens



Google Earth aerial view

2. EXISTING SITE

Existing double storey
side extension to no. 21
Coniston Gardens

no. 27 Consiton Gardens



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Existing double storey
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Google Earth aerial view

Assumed original extent of terrace before
double storey side extension added to no. 21

3. PRE APPLICATION

Pre application advice was received from the council (10.07.20; REF: 18293/PRC/2020/87) for the proposed single storey side and rear extension with rooflights and extension to porch.

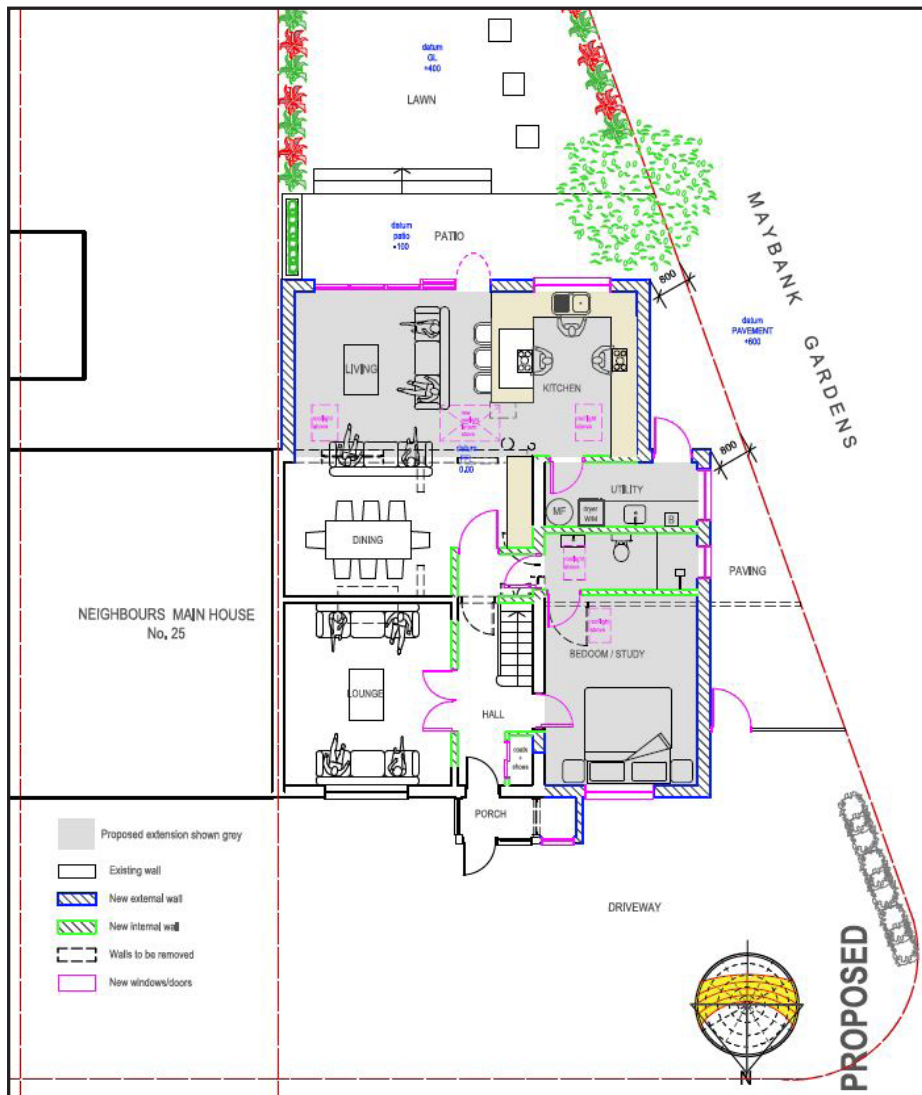
General advice received from the council included:

Rear Extension

The rear extension is 4 metres deep. The existing house is 6 metres wide meaning the maximum depth should be 3.6 metres. As such it should be reduced.

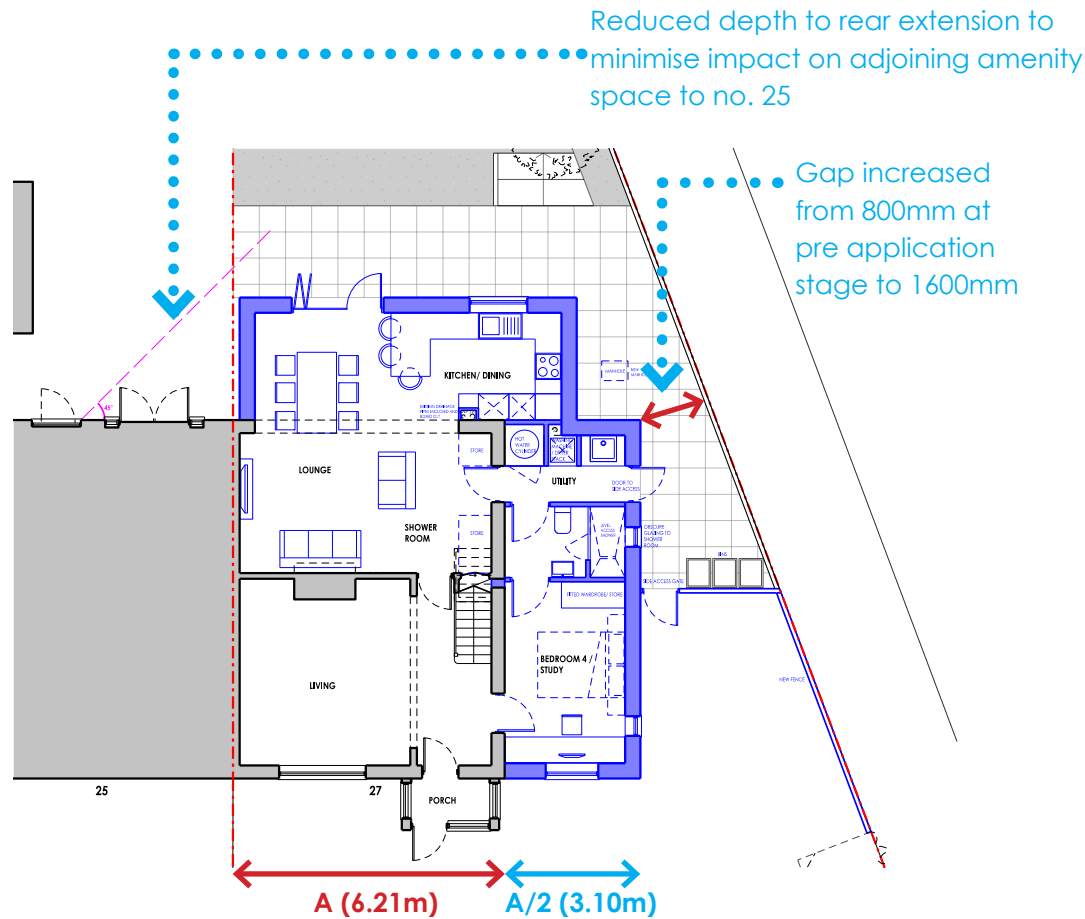
Side extension

The proposal is approximately 3.8 metres wide. Since the existing dwelling is 6 metres wide, the width exceeds half the width of the dwelling and should be reduced. There are no objections to the overall height.



Pre Application proposal (2020)

4. PROPOSAL



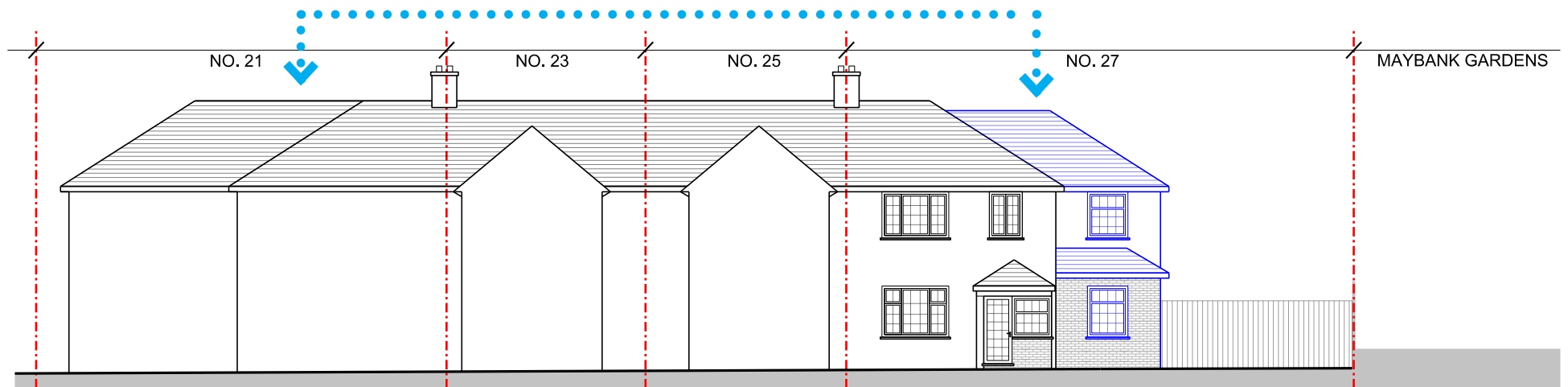
The proposed double storey side extension aims to maximise the efficiency of the additional volume and space within the existing site area, whilst reducing its overall proximity to the boundary line along Maybank Gardens.

The proposed side extension width is equal to half the width of the overall property and the extension itself is set back 1m at first floor level from the existing front face of the property. These design principles help ensure the roof ridge of the proposed side extension is set below the existing house ridge line; therefore ensuring the extension is subservient to the existing property and avoid detracting from the overall street elevation.

The proposed side extension would be in keeping with the overall set of terraced properties from no. 21-27 Coniston Gardens, as it would follow the same principles as the existing side extension to the opposing end at no. 21.

4. PROPOSAL

No. 27 proposed double storey side extension would complement the existing side extension to the opposing terrace end at no. 21



PROPOSED FRONT STREET ELEVATION

4. PROPOSAL

The proposed single storey rear extension has been significantly reduced in depth compared to the pre application proposal (4m). The reduced depth and overall height, helps ensure the extension is in keeping with the visual line of the existing fence height along the raised Maybank Gardens.

The proposed roof tiles, windows and doors will match those existing at the property. Facing brickwork has been selected at the ground floor side and rear extension walls to complement the existing brickwork to the porch and provide a visual break to the upper levels. White render has been proposed to the first floor level of the side extension walls as well as the existing pebble dash walls; to help ensure visual continuity between the existing volume and proposed addition.