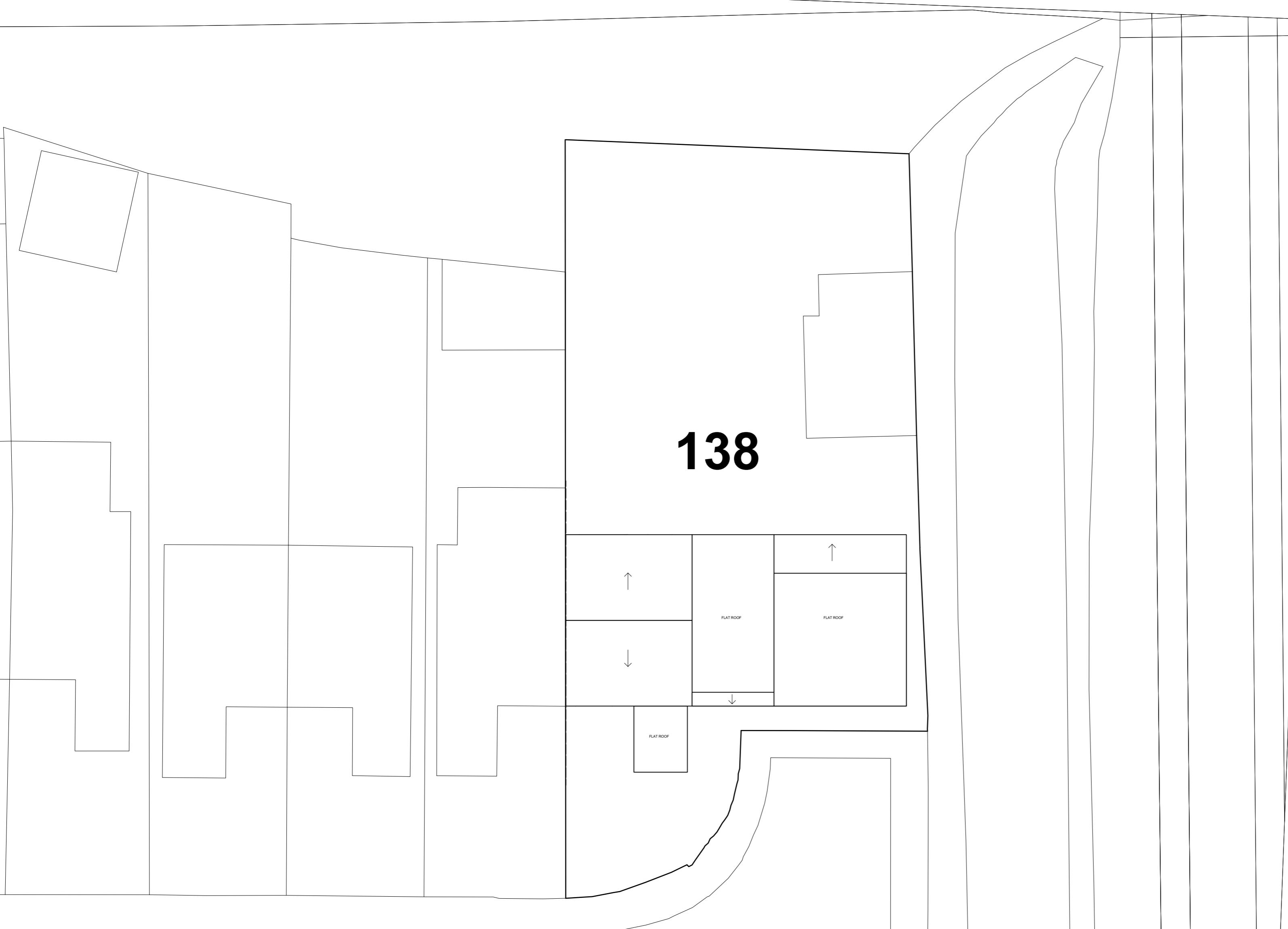


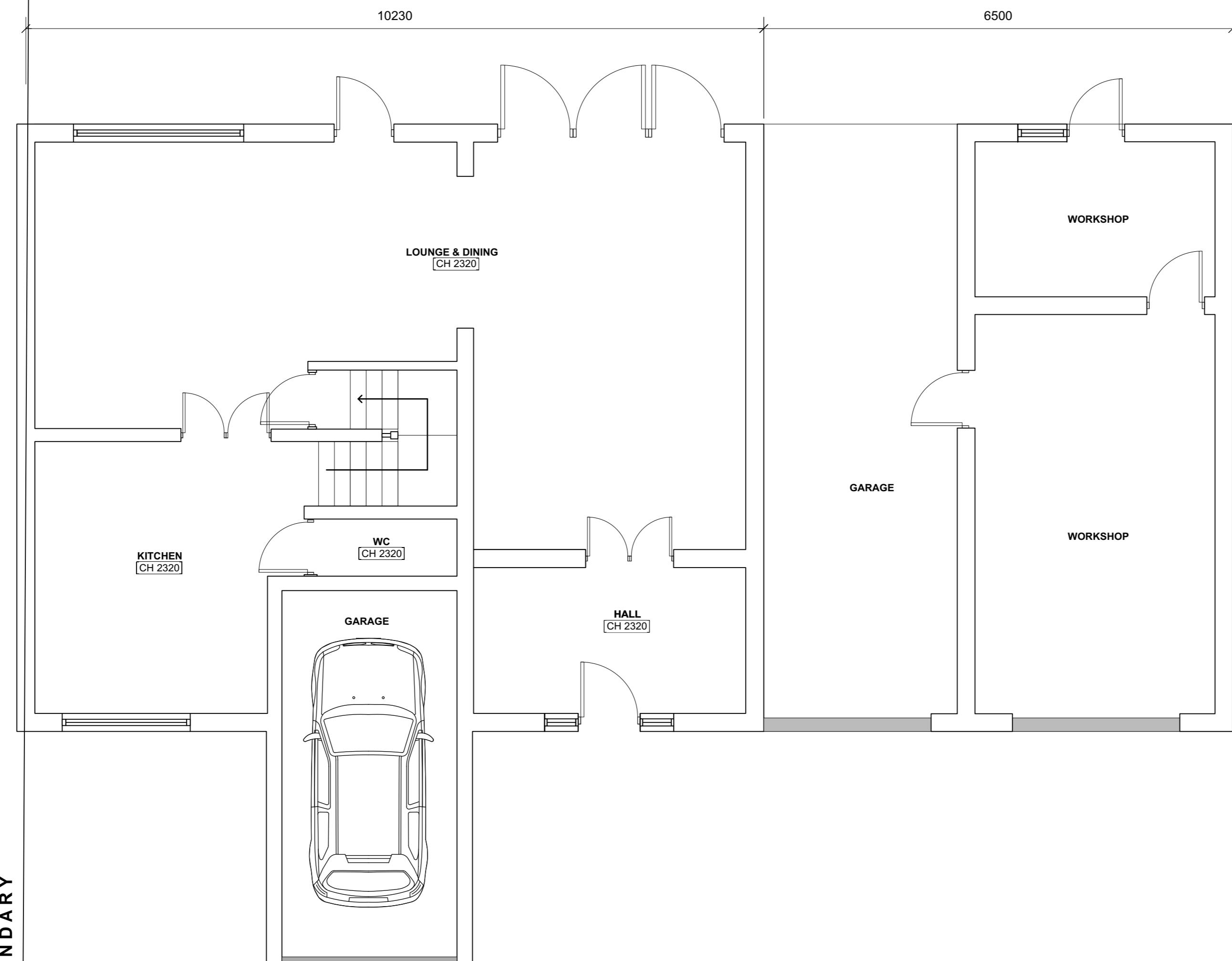
# FAIRWAY AVENUE

1 EXISTING SITE PLAN  
Scale: 1:150



REV	DESCRIPTION	BY	DATE
<b>DRAWING STATUS</b>			
FOR DISCUSSION			
FOR COSTING ONLY			
FOR DESIGN INTENT ONLY			
<b>NOTES:</b>			
ALL EXTERNAL WINDOWS AND DOORS TO BE DOUBLE GLAZED <b>SPEC AND FINISH TBC</b>			
UNDER FLOOR HEATING TO BE INSTALLED WITHIN NEW EXTENSION			
<b>SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR</b>			
<b>NEXT CHAPTER</b>			
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<b>CLIENT</b> MR & MRS DOSANJH			
<b>PROJECT</b> 138 FAIRWAY AVENUE UB7 7AP			
<b>DESCRIPTION</b> EXISTING SITE PLAN			
<b>A2</b>			
SCALE	DRAWN BY	DATE	
1.150	RJ	01.01.23	
DRAWING NO.	REVISION		
100_13	X		
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KEY: 0 1000 2000 3000	SCALE:		

BOUNDRY



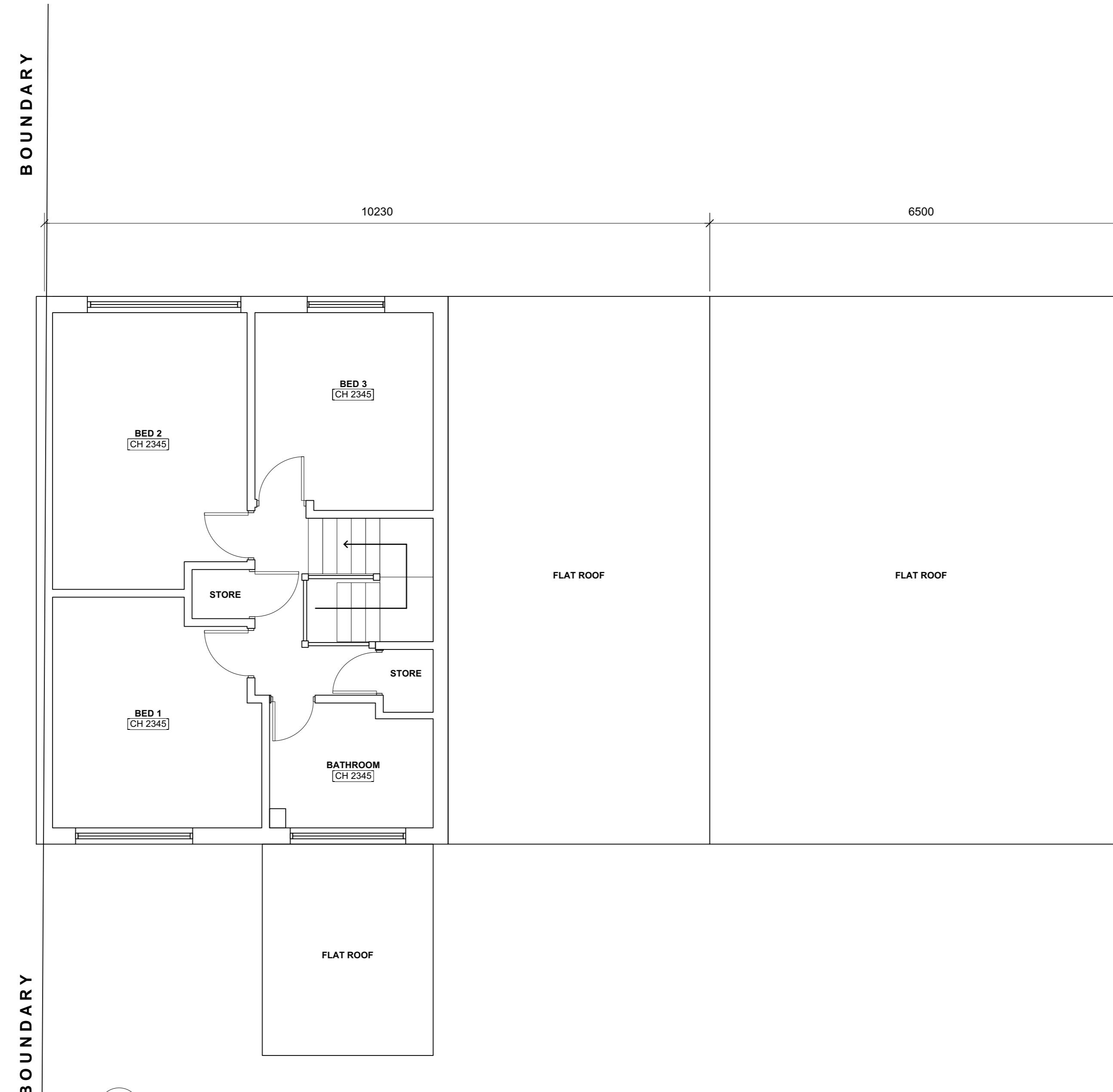
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EXISTING GROUND FLOOR PLAN  
Scale: 1:50

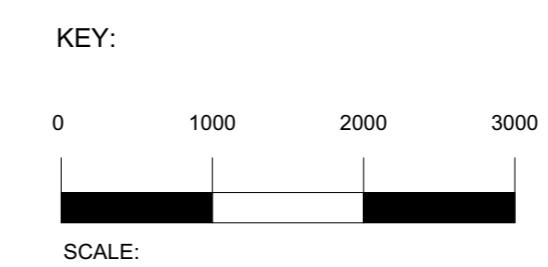
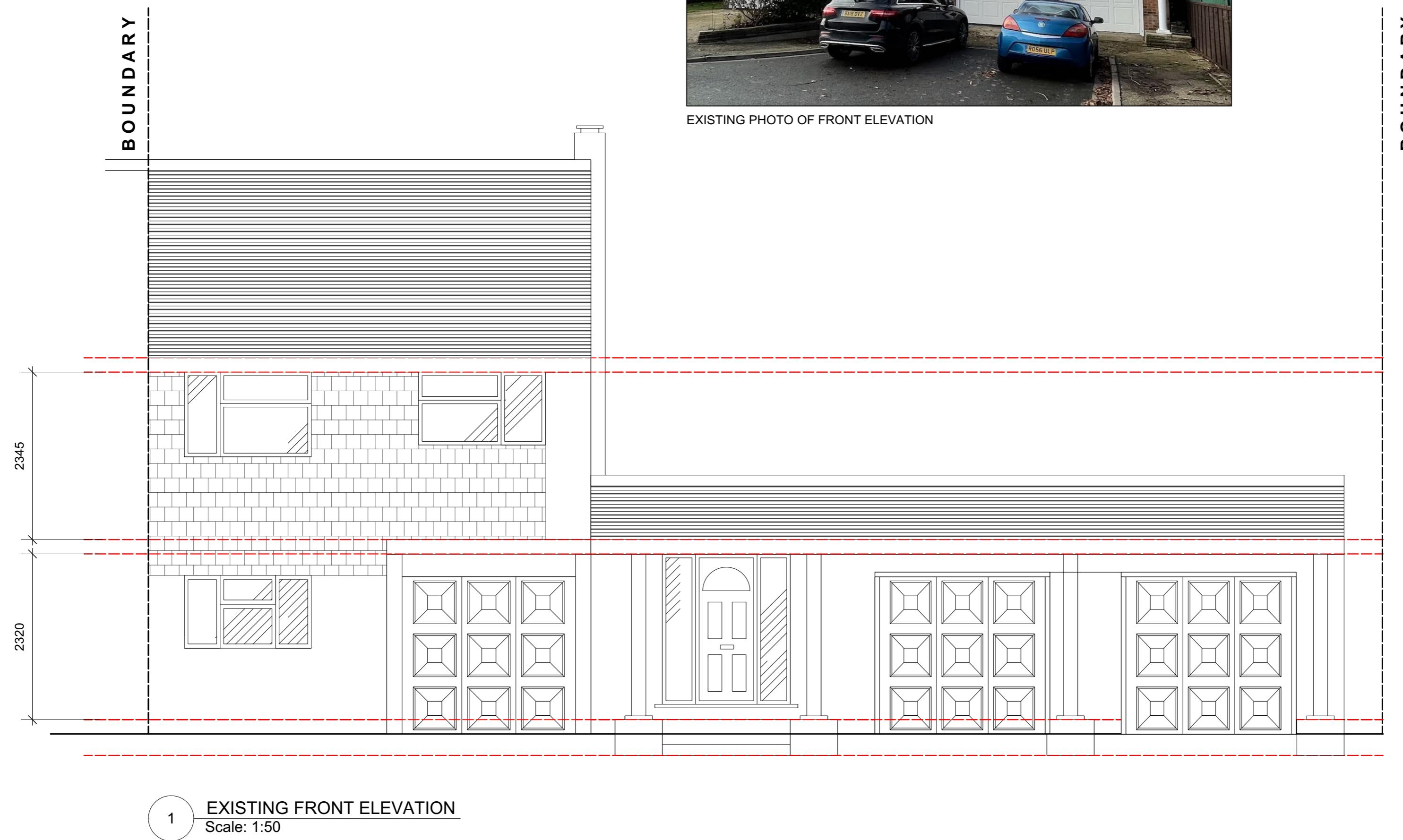
BOUNDRY

REV	DESCRIPTION	BY	DATE
<b>DRAWING STATUS</b>			
	FOR DISCUSSION		
	FOR COSTING ONLY		
	FOR DESIGN INTENT ONLY		
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<b>NEXT CHAPTER</b>			
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<b>CLIENT</b> MR & MRS DOSANJH			
<b>PROJECT</b> 138 FAIRWAY AVENUE UB7 7AP			
<b>DESCRIPTION</b> EXISTING GROUND FLOOR PLAN			
SCALE	DRAWN BY	DATE	
1.50	RJ	01.01.23	
DRAWING NO.	REVISION		
100_01	X		
<b>NOTE:</b> DRAWINGS ARE FOR PLANNING PERMISSION ONLY			
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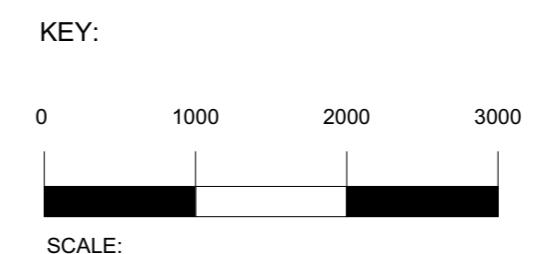
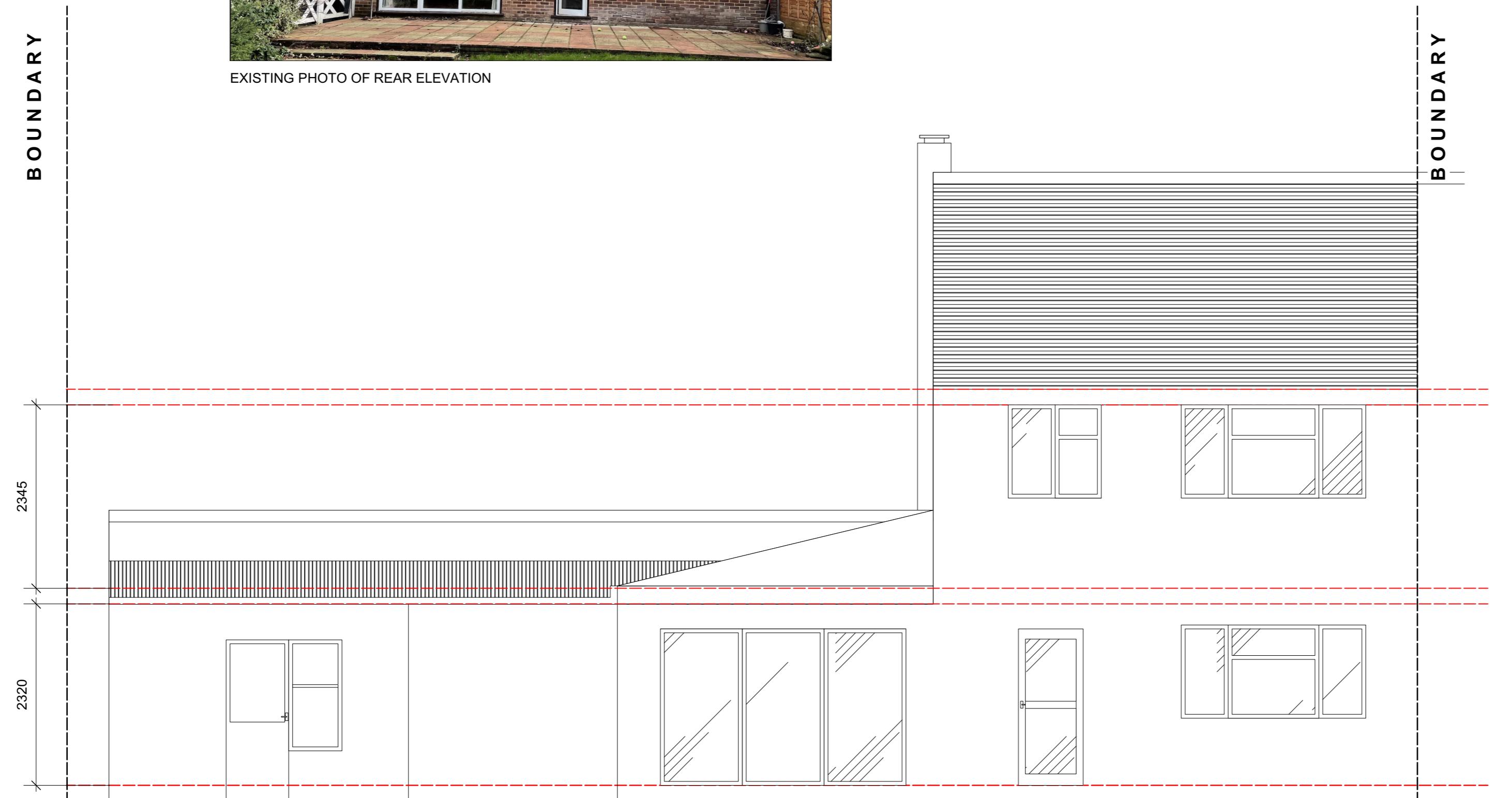
A2



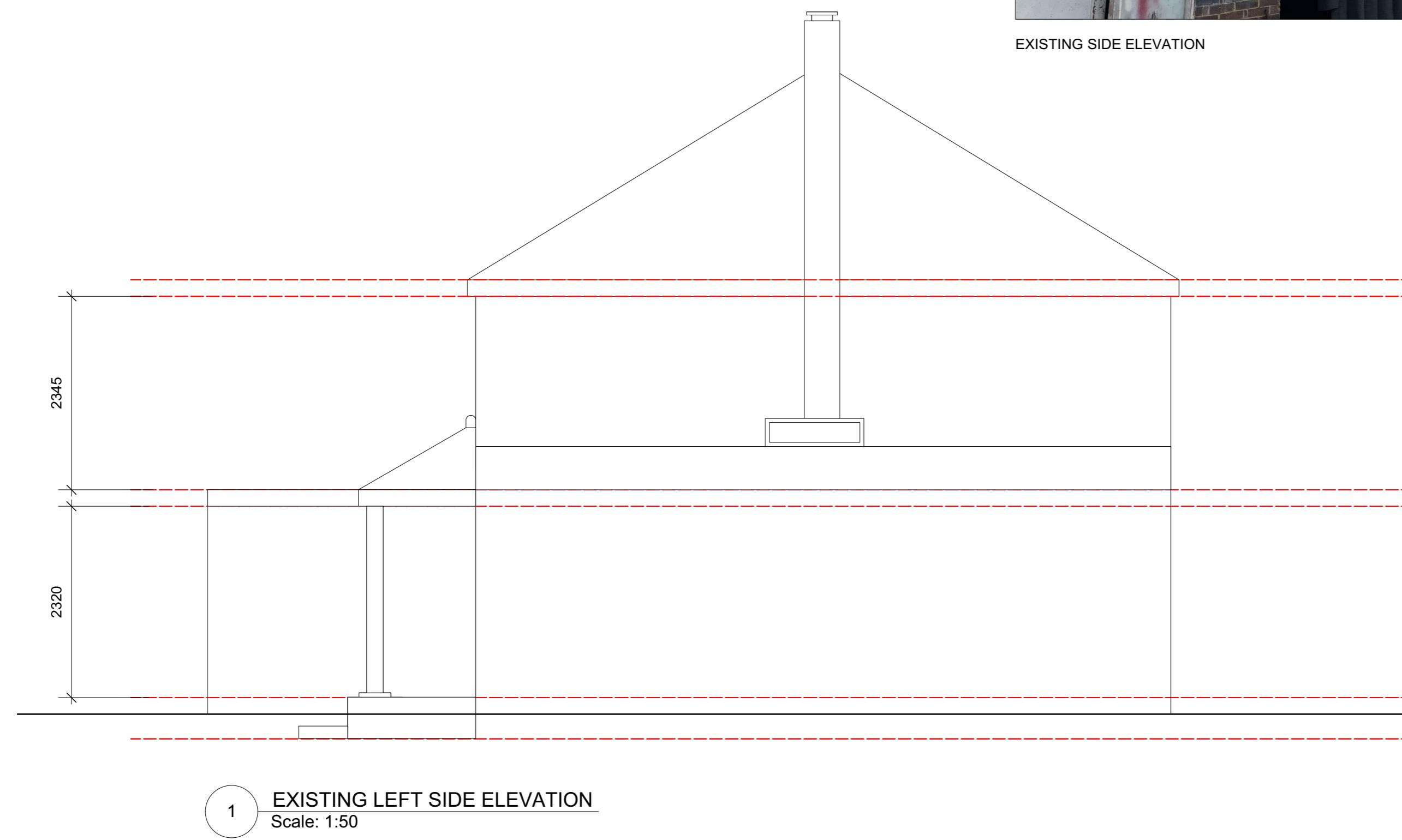
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<b>DRAWING STATUS</b>			
	FOR DISCUSSION		
	FOR COSTING ONLY		
	FOR DESIGN INTENT ONLY		
<b>NOTES:</b>			
ALL EXTERNAL WINDOWS AND DOORS TO BE DOUBLE GLAZED <b>SPEC AND FINISH TBC</b>			
UNDER FLOOR HEATING TO BE INSTALLED WITHIN NEW EXTENSION			
<b>SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR</b>			
<b>NEXT CHAPTER</b>			
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<b>CLIENT</b> MR & MRS DOSANJH			
<b>PROJECT</b> 138 FAIRWAY AVENUE UB7 7AP			
<b>DESCRIPTION</b> EXISTING FIRST FLOOR PLAN			
<b>SCALE</b> 1.50 <b>DRAWN BY</b> RJ <b>DATE</b> 01.01.23			
<b>DRAWING NO.</b> 100_02 <b>REVISION</b> X			
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REV	DESCRIPTION	BY	DATE
<b>DRAWING STATUS</b>			
	FOR DISCUSSION		
	FOR COSTING ONLY		
	FOR DESIGN INTENT ONLY		
<b>NOTES:</b>			
ALL EXTERNAL WINDOWS AND DOORS TO BE DOUBLE GLAZED <b>SPEC AND FINISH TBC</b>			
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<b>SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR</b>			
<b>NEXT CHAPTER</b>			
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<b>CLIENT</b> MR & MRS DOSANJH			
<b>PROJECT</b> 138 FAIRWAY AVENUE UB7 7AP			
<b>DESCRIPTION</b> EXISTING FRONT ELEVATION			
<b>A2</b>			
SCALE	DRAWN BY	DATE	
1.50	RJ	01.01.23	
<b>DRAWING NO.</b>	<b>REVISION</b>		
100_03	X		
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REV	DESCRIPTION	BY	DATE
<b>DRAWING STATUS</b>			
	FOR DISCUSSION		
	FOR COSTING ONLY		
	FOR DESIGN INTENT ONLY		
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UNDER FLOOR HEATING TO BE INSTALLED WITHIN NEW EXTENSION			
<b>SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR</b>			
<b>NEXT CHAPTER</b>			
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<b>CLIENT</b> MR & MRS DOSANJH			
<b>PROJECT</b> 138 FAIRWAY AVENUE UB7 7AP			
<b>DESCRIPTION</b> EXISTING REAR ELEVATION			
<b>A2</b>			
SCALE	DRAWN BY	DATE	
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DRAWING NO.	REVISION		
100_04	X		
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EXISTING SIDE ELEVATION

REV	DESCRIPTION	BY	DATE
<b>DRAWING STATUS</b>			
	FOR DISCUSSION		
	FOR COSTING ONLY		
	FOR DESIGN INTENT ONLY		

<b>NOTES:</b>
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UNDER FLOOR HEATING TO BE INSTALLED WITHIN NEW EXTENSION
<b>SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR</b>

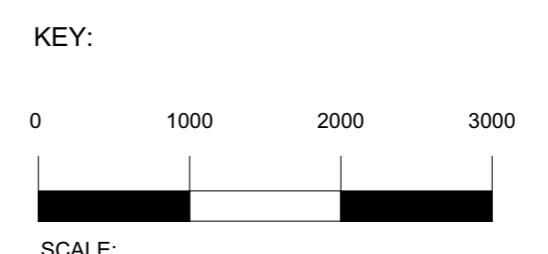
**NEXT  
CHAPTER**

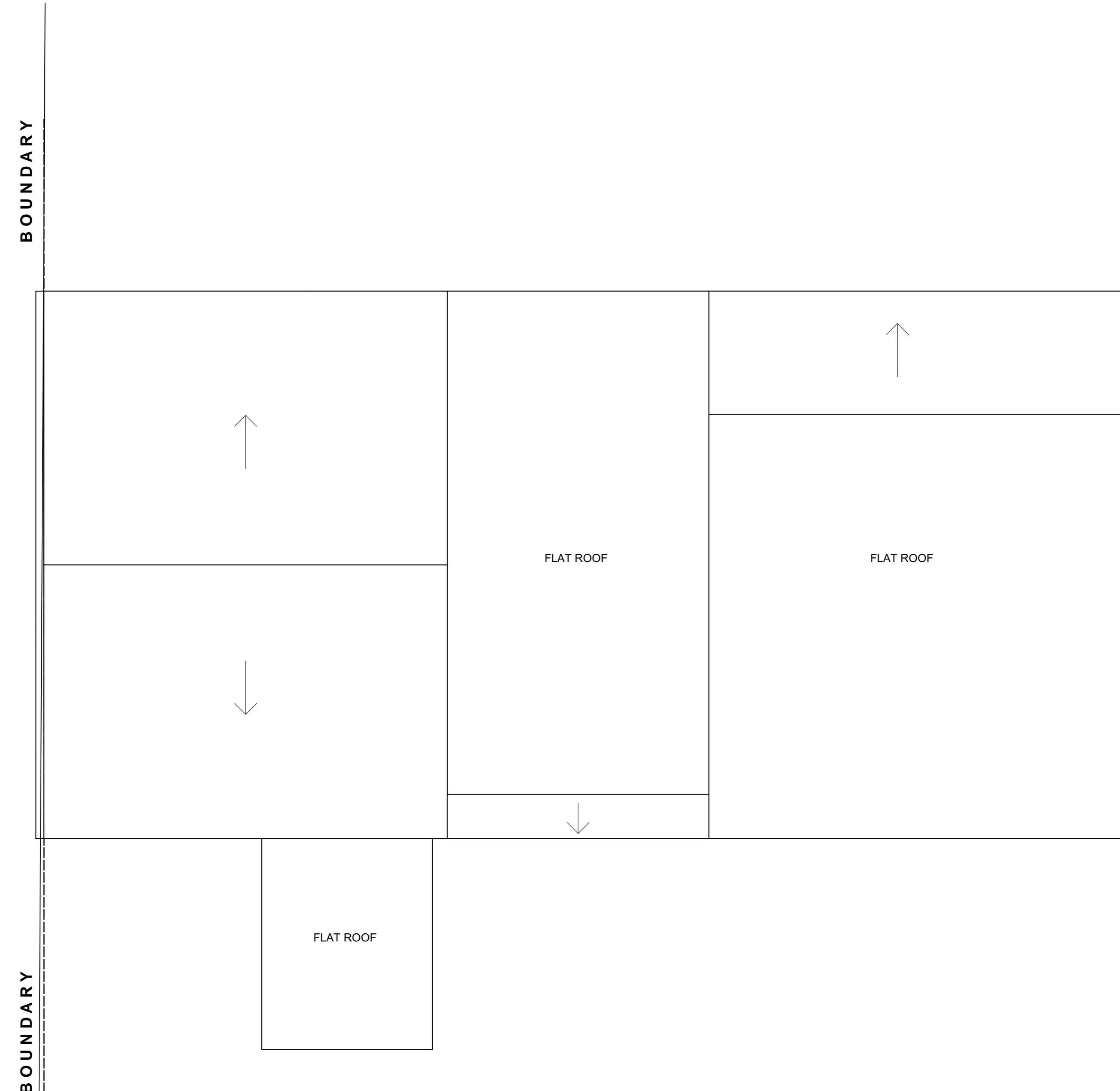
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<b>CLIENT</b> MR & MRS DOSANJH
<b>PROJECT</b> 138 FAIRWAY AVENUE UB7 7AP
<b>DESCRIPTION</b> EXISTING RIGHT SIDE ELEVATION

**SCALE** DRAWN BY DATE  
1.50 RJ 01.01.23

**DRAWING NO.** **REVISION**  
100\_05 X

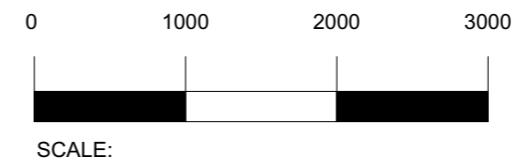
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1 EXISTING ROOF PLAN  
Scale: 1:50

KEY:

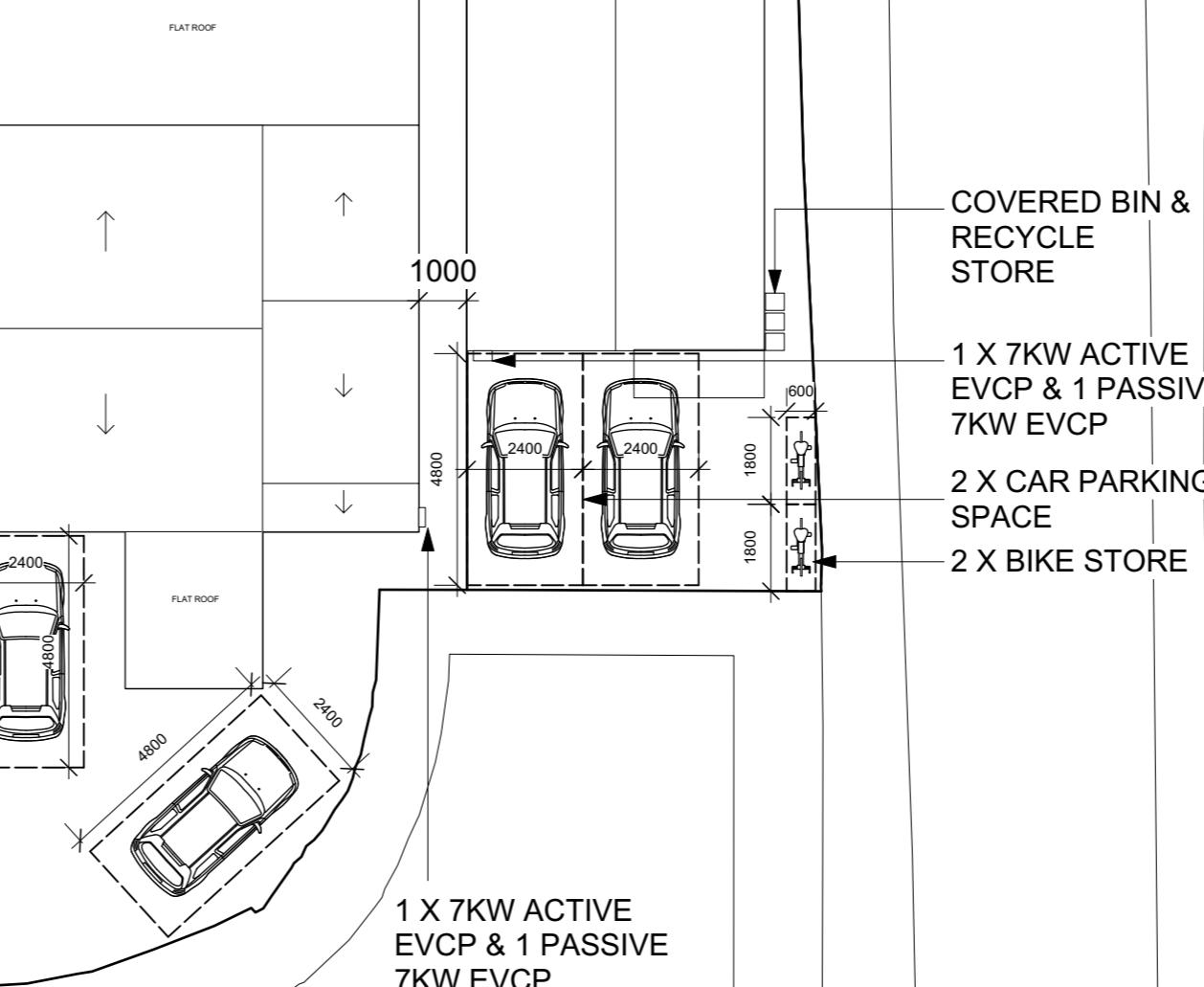


BOUNDRY B  
BOUNDRY B  
BOUNDRY B

REV	DESCRIPTION	BY	DATE
<b>DRAWING STATUS</b>			
	FOR DISCUSSION		
	FOR COSTING ONLY		
	FOR DESIGN INTENT ONLY		
<b>NOTES:</b>			
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<b>NEXT CHAPTER</b>			
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<b>CLIENT</b> MR & MRS DOSANJH			
<b>PROJECT</b> 138 FAIRWAY AVENUE UB7 7AP			
<b>DESCRIPTION</b> EXISTING ROOF PLAN			
<b>A2</b>			
SCALE	DRAWN BY	DATE	
1:50	RJ	01.01.23	
<b>DRAWING NO.</b>	<b>REVISION</b>		
100_11	X		
<b>NOTE:</b> DRAWINGS ARE FOR PLANNING PERMISSION ONLY			
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Stone

138  
138a



1 PROPOSED SITE PLAN

Scale: 1:150

FAIRWAY AVENUE

KEY:  
0 1000 2000 3000  
SCALE:

**DRAWING STATUS**

FOR DISCUSSION

FOR COSTING ONLY

FOR DESIGN INTENT ONLY

**NOTES:**

ALL EXTERNAL WINDOWS AND DOORS TO BE DOUBLE GLAZED **SPEC AND FINISH TBC**

UNDER FLOOR HEATING TO BE INSTALLED WITHIN NEW EXTENSION

**SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR**

**NEXT  
CHAPTER**

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**CLIENT**

MR & MRS DOSANJH

**PROJECT**

138 FAIRWAY AVENUE UB7 7AP

**DESCRIPTION**

PROPOSED SITE PLAN

**SCALE** DRAWN BY DATE  
1.150 RJ 10.05.24

**DRAWING NO.** **REVISION**  
100\_14 X

**NOTE:**  
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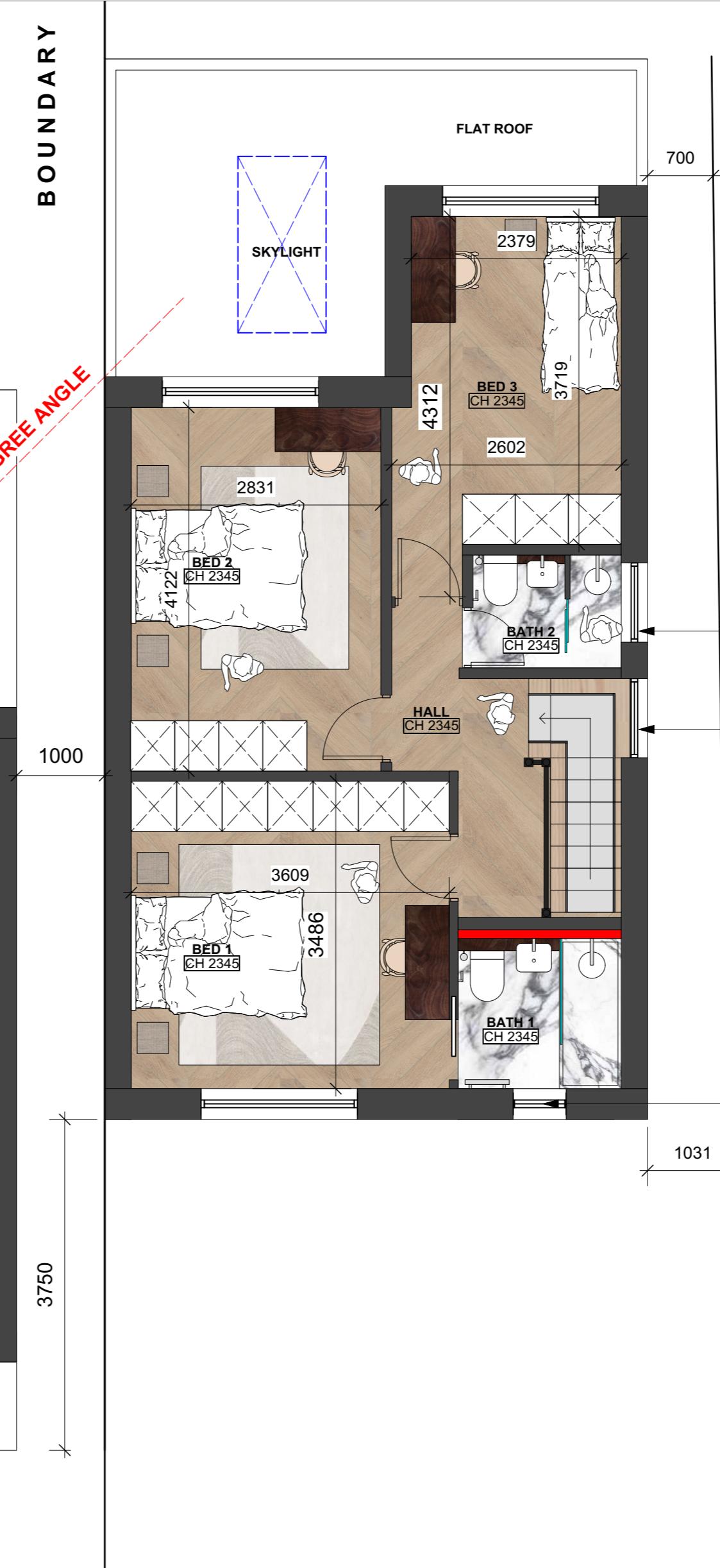
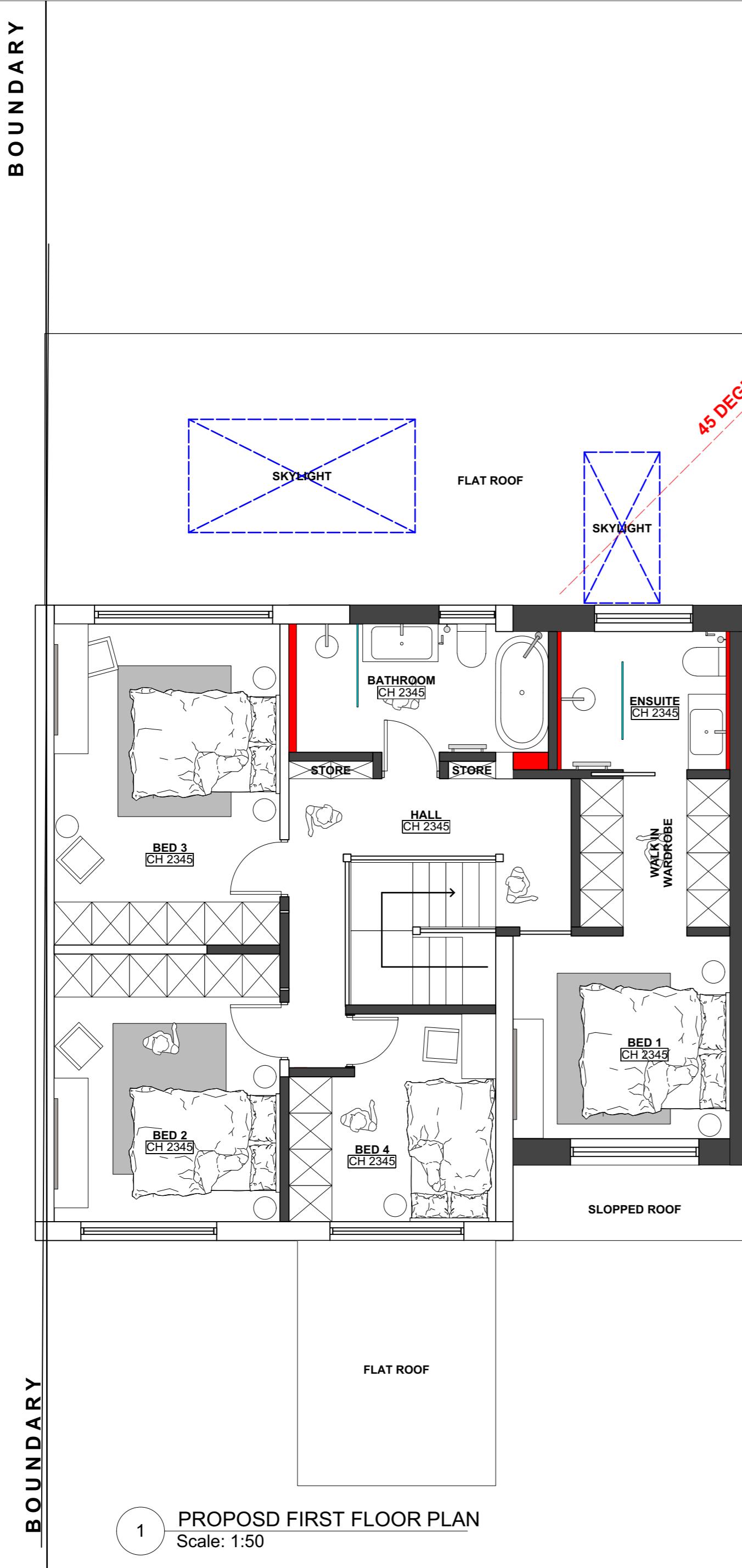
CONTRACTOR TO ENSURE ALL MATERIALS USED AND  
ELECTRICAL WORK COMPLIES WITH LOCAL  
AUTHORITY REGULATIONS.

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**INTERNAL AREA SQM:**  
 BED 1 : 12.57 SQM  
 BED 2: 11.7 SQM  
 BED 3: 10 SQM  
 BATH 1: 3.3 SQM  
 BATH 2: 2.1 SQM  
 HALL: 3.87 SQM

**FIRST FLOOR SQFT: 43.54 SQM**

**TOTAL INTERNAL SQFT:**  
**GROUND FLOOR SQFT: 58.91 SQM**  
**FIRST FLOOR SQFT: 43.54 SQM**

**OVERALL: 102.45 SQM**  
**WHICH FITS WITHIN**  
**DOLICY D14 LONDON PLAN**

OPAQUE WINDOW  
 FULL HEIGHT STAIRCASE WINDOW  
 OPAQUE WINDOW

REV	DESCRIPTION	BY	DATE
<b>DRAWING STATUS</b>			
	FOR DISCUSSION		
	FOR COSTING ONLY		
	FOR DESIGN INTENT ONLY		
<b>NOTES:</b>			
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<b>NEXT CHAPTER</b>			
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<b>CLIENT</b> MR & MRS DOSANJH			
<b>PROJECT</b> 138 FAIRWAY AVENUE UB7 7AP			
<b>DESCRIPTION</b> PROPOSED FIRST FLOOR PLAN			
<b>SCALE</b> 1.50 <b>DRAWN BY</b> RJ <b>DATE</b> 10.05.24			
<b>DRAWING NO.</b> 100_07 <b>REVISION</b> X			
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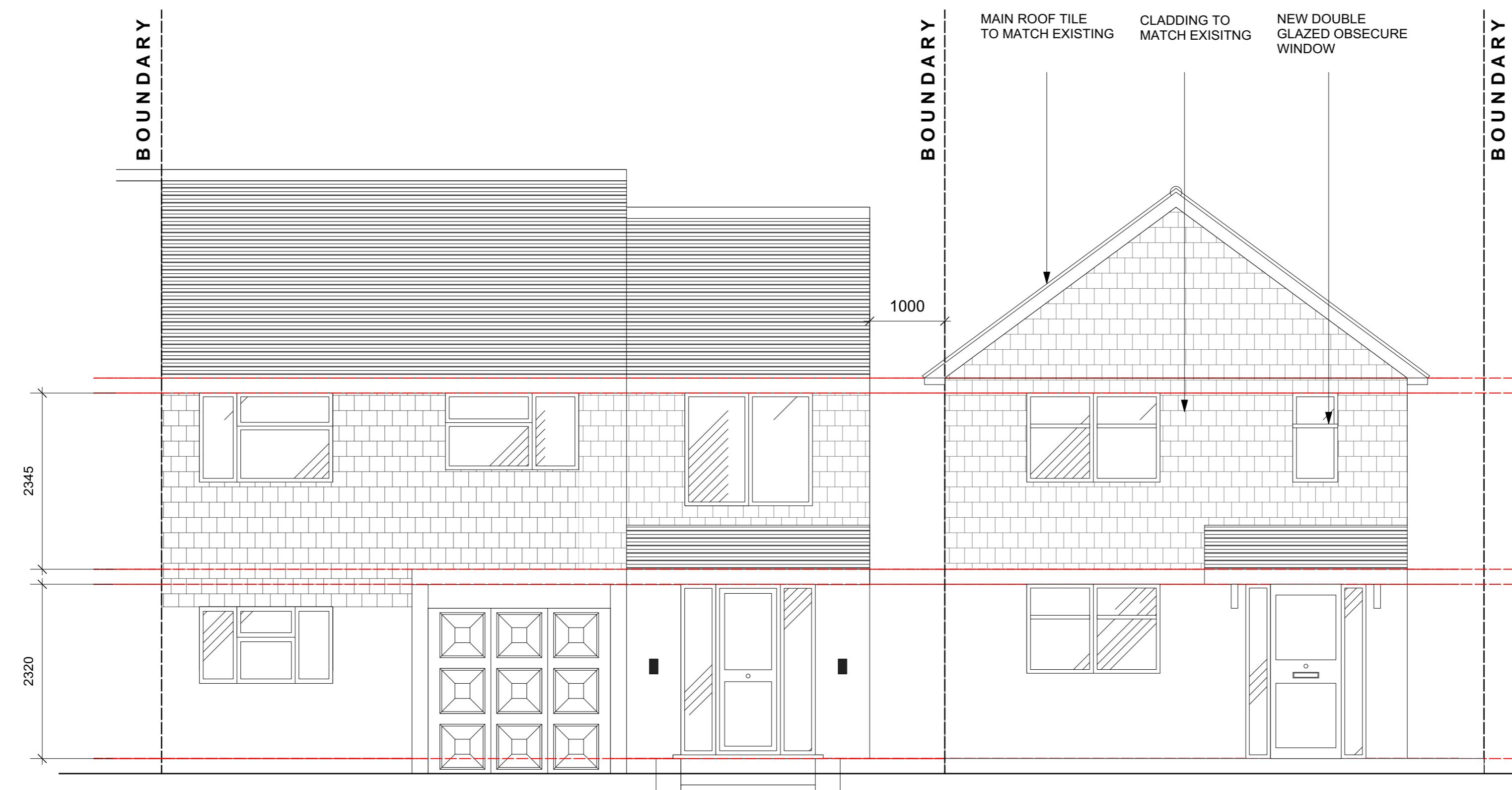
- ALL NEW EXTERNAL WALLS TO BE 350MM & NEW INTERNAL WALLS TO BE 120MM
- INTERNAL WALLS TO BE DEMOLISHED
- WALL TO BE BUILT OUT TO HOUSE WALL MOUNTED FIXTURES OR ALCOVES

NOTE: STRUCTURAL ENGINEER TO BE APPOINTED TO CONFIRM REMOVAL OF PROPOSED WALLS.

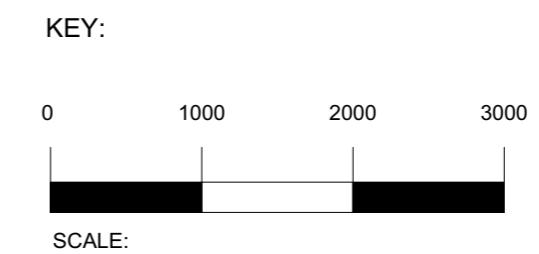
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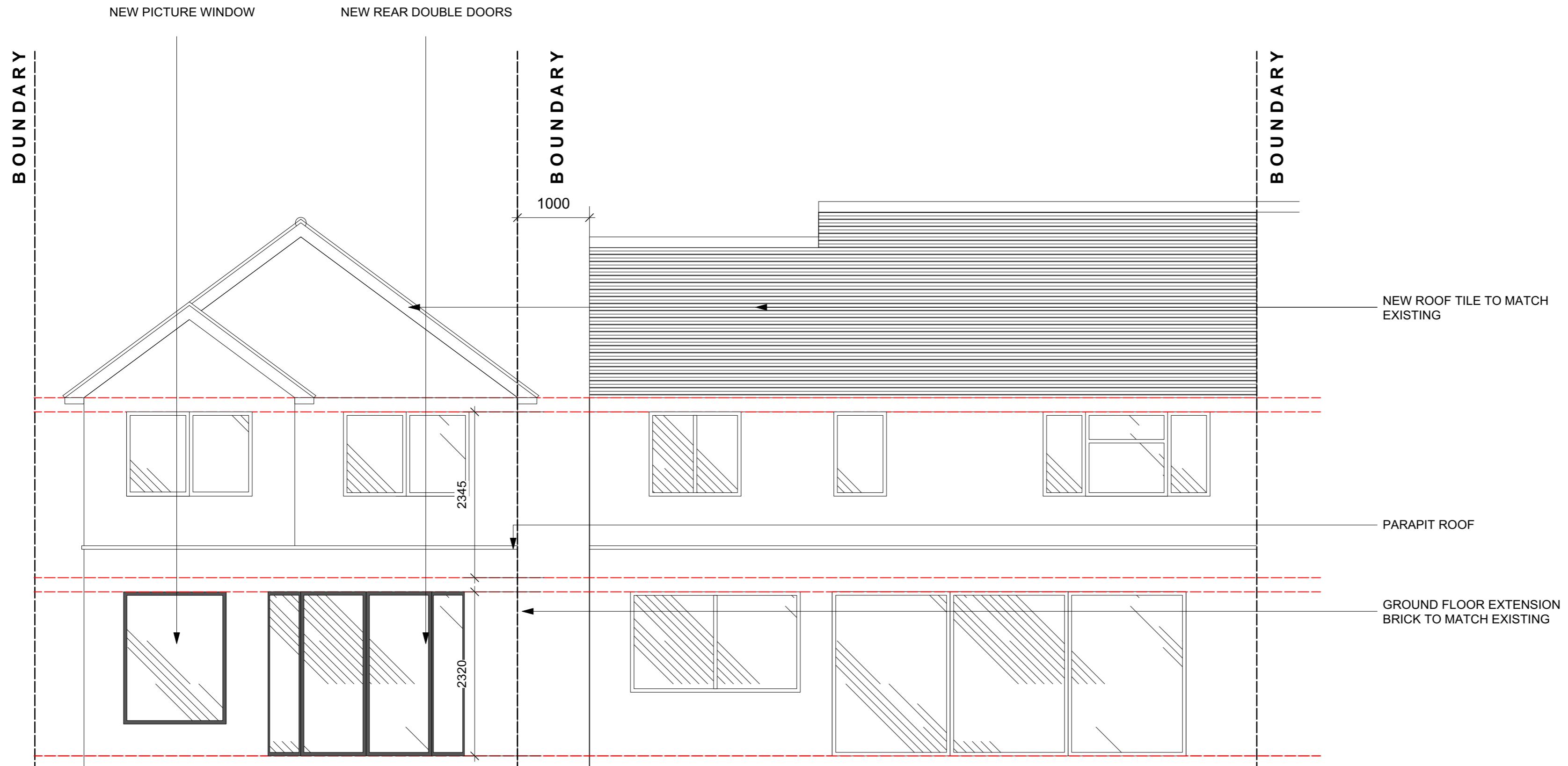
A2



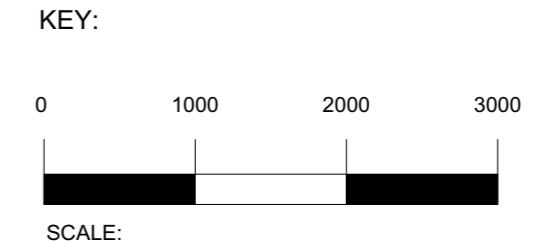
1 PROPOSED FRONT ELEVATION  
Scale: 1:50



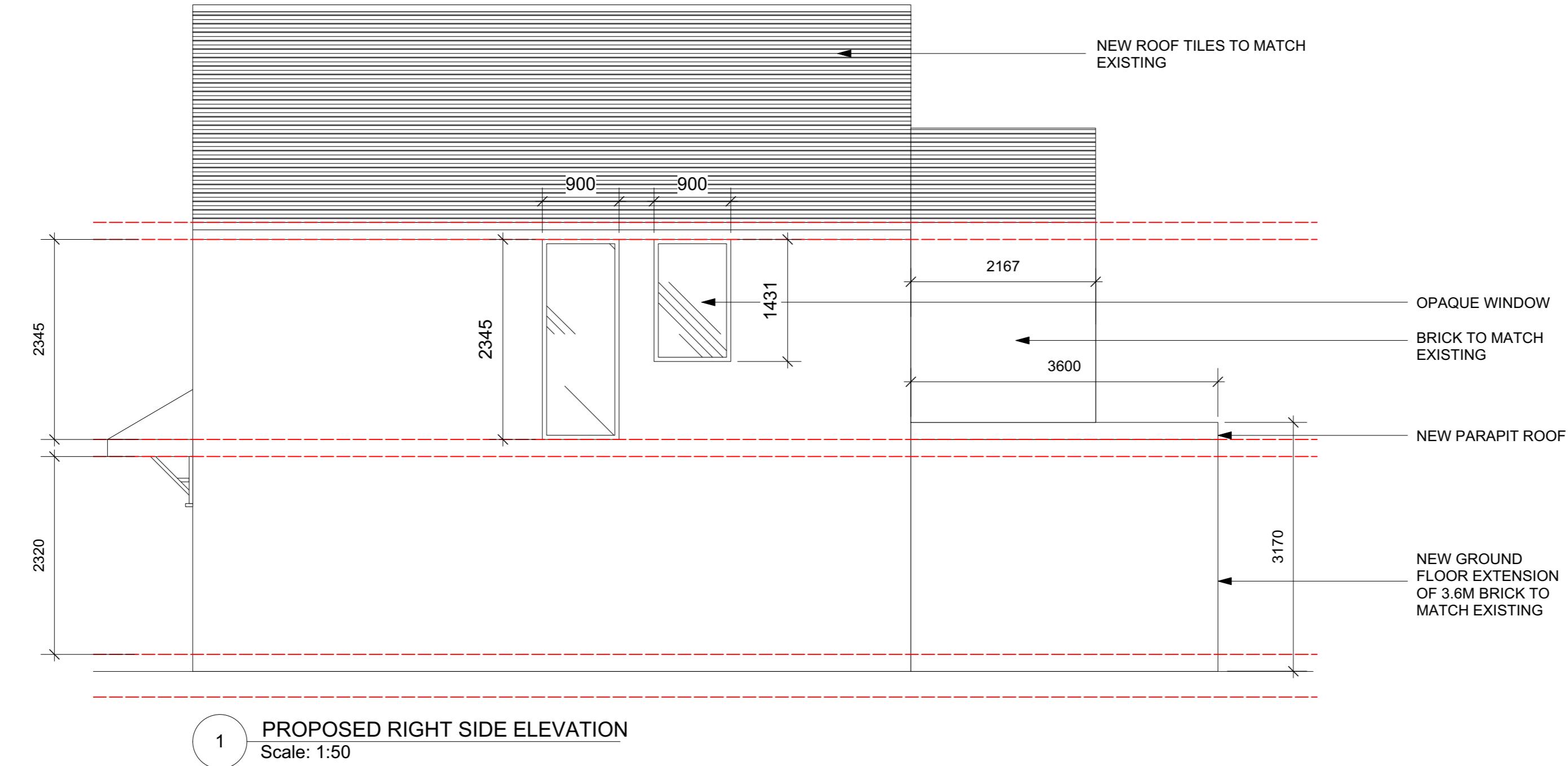
REV	DESCRIPTION	BY	DATE
<b>DRAWING STATUS</b>			
	FOR DISCUSSION		
	FOR COSTING ONLY		
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<b>NEXT CHAPTER</b>			
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<b>CLIENT</b> MR & MRS DOSANJH			
<b>PROJECT</b> 138 FAIRWAY AVENUE UB7 7AP			
<b>DESCRIPTION</b> PROPOSED FRONT ELEVATION			
<b>A2</b>			
SCALE	DRAWN BY	DATE	
1.50	RJ	10.05.24	
DRAWING NO.	REVISION		
100_08	X		
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1 PROPOSED REAR ELEVATION  
Scale: 1:50

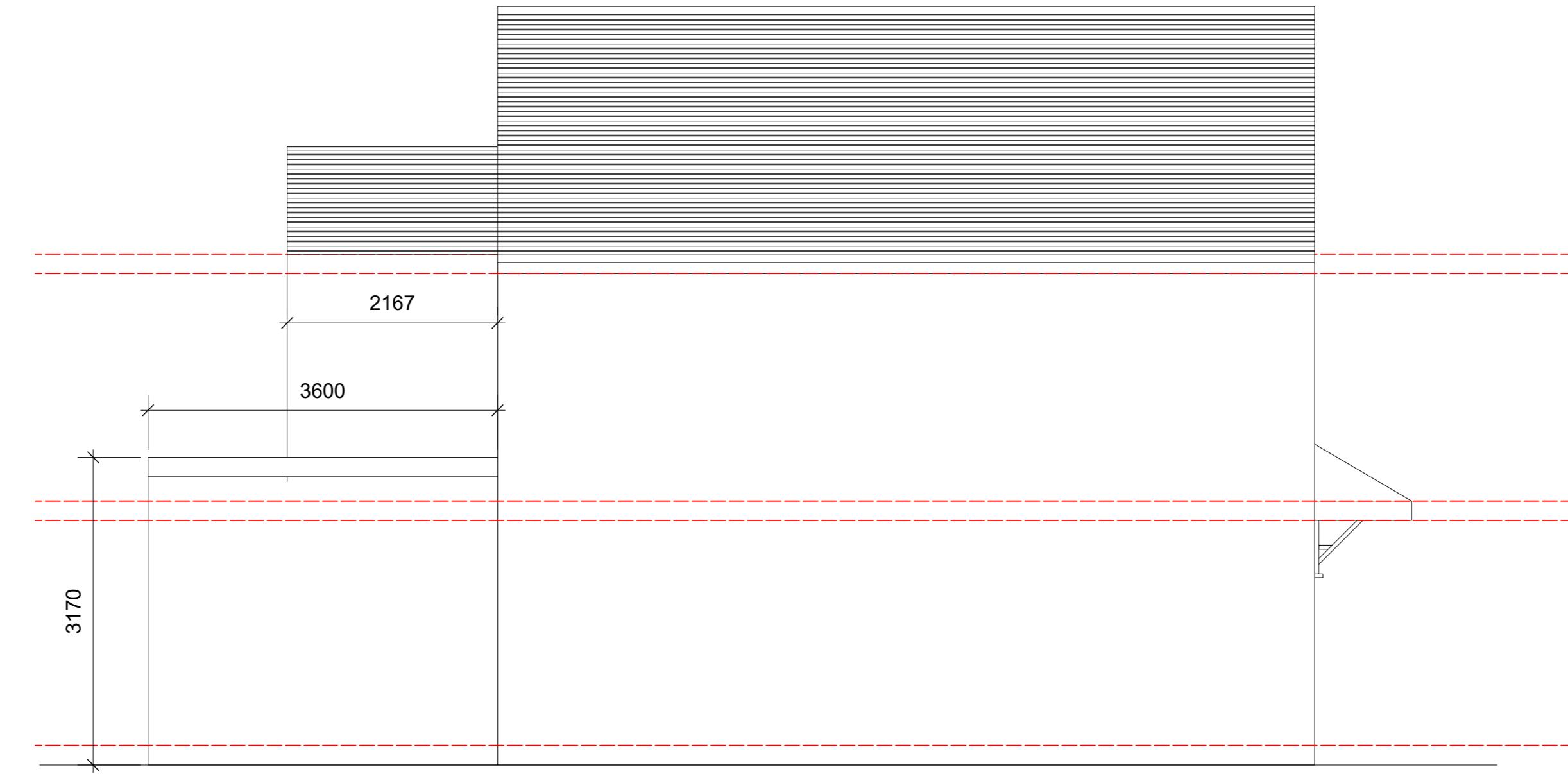


REV	DESCRIPTION	BY	DATE
<b>DRAWING STATUS</b>			
FOR DISCUSSION			
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<b>NEXT CHAPTER</b>			
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<b>CLIENT</b> MR & MRS DOSANJH			
<b>PROJECT</b> 138 FAIRWAY AVENUE UB7 7AP			
<b>DESCRIPTION</b> PROPOSED REAR ELEVATION			
<b>A2</b>			
SCALE	DRAWN BY	DATE	
1.50	RJ	10.05.24	
<b>DRAWING NO.</b>	<b>REVISION</b>		
100_09	X		
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1 PROPOSED RIGHT SIDE ELEVATION

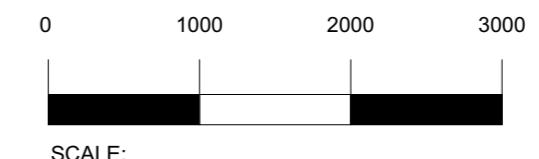
Scale: 1:50



2 PROPOSED LEFT SIDE ELEVATION

Scale: 1:50

KEY:



REV	DESCRIPTION	BY	DATE
<b>DRAWING STATUS</b>			
	FOR DISCUSSION		
	FOR COSTING ONLY		
	FOR DESIGN INTENT ONLY		
<b>NOTES:</b>			
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<b>SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR</b>			

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**CLIENT**  
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**PROJECT**  
138 FAIRWAY AVENUE UB7 7AP  
**DESCRIPTION**  
PROPOSED RIGHT & LEFT SIDE ELEVATION

**SCALE** 1.50 **DRAWN BY** RJ **DATE** 10.05.24

**DRAWING NO.** 100\_10 **REVISION** X

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REV	DESCRIPTION	BY	DATE
<b>DRAWING STATUS</b>			
	FOR DISCUSSION		
	FOR COSTING ONLY		
	FOR DESIGN INTENT ONLY		

<b>NOTES:</b>
ALL EXTERNAL WINDOWS AND DOORS TO BE DOUBLE GLAZED <b>SPEC AND FINISH TBC</b>
UNDER FLOOR HEATING TO BE INSTALLED WITHIN NEW EXTENSION
<b>SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR</b>

**NEXT  
CHAPTER**

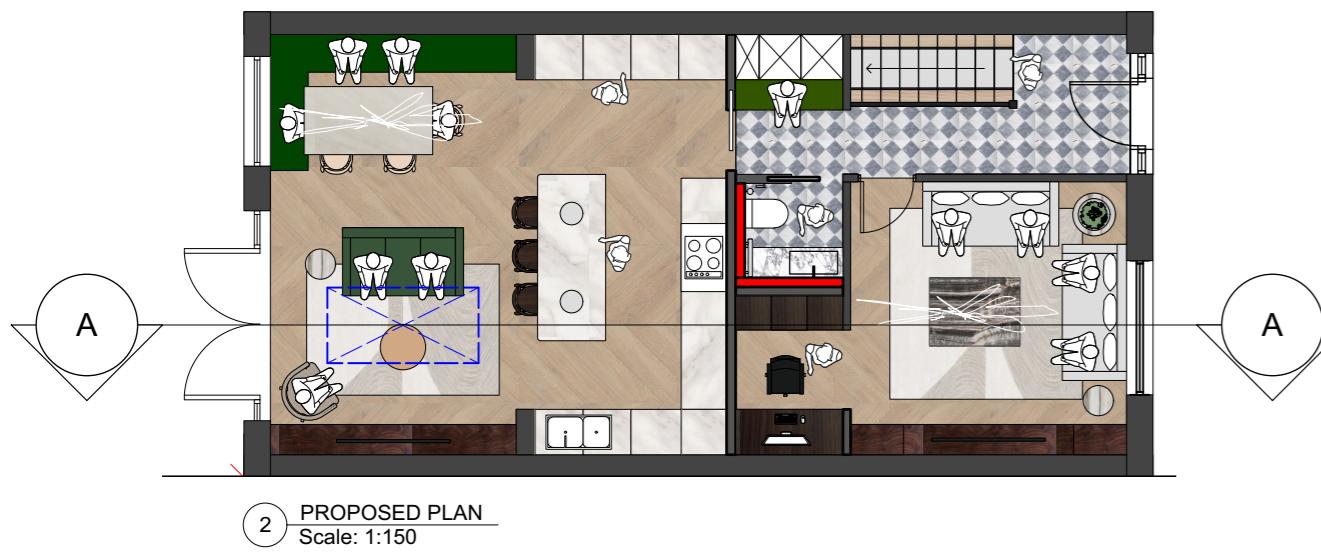
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**CLIENT**  
MR & MRS DOSANJH  
**PROJECT**  
138 FAIRWAY AVENUE UB7 7AP  
**DESCRIPTION**  
PROPOSED SECTION AA

**SCALE** 1.150 **DRAWN BY** RJ **DATE** 10.05.24

**DRAWING NO.** 100\_15 **REVISION** X

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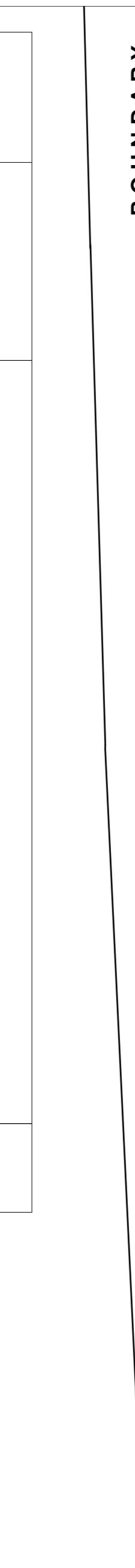
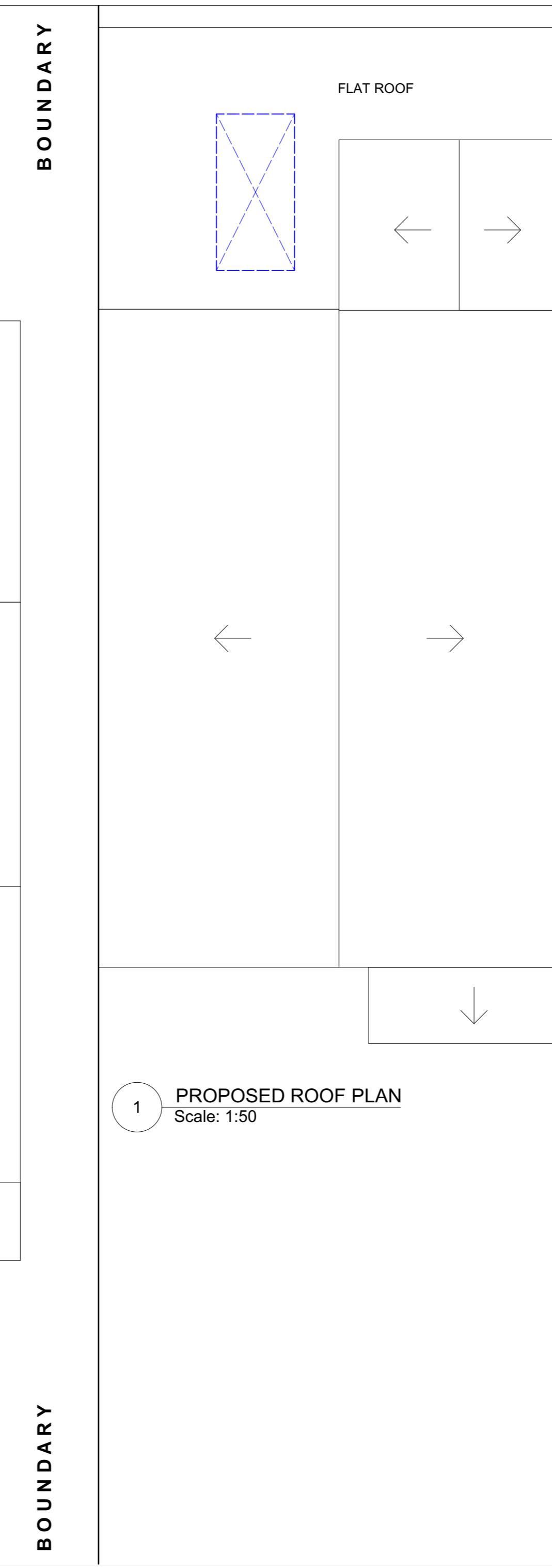
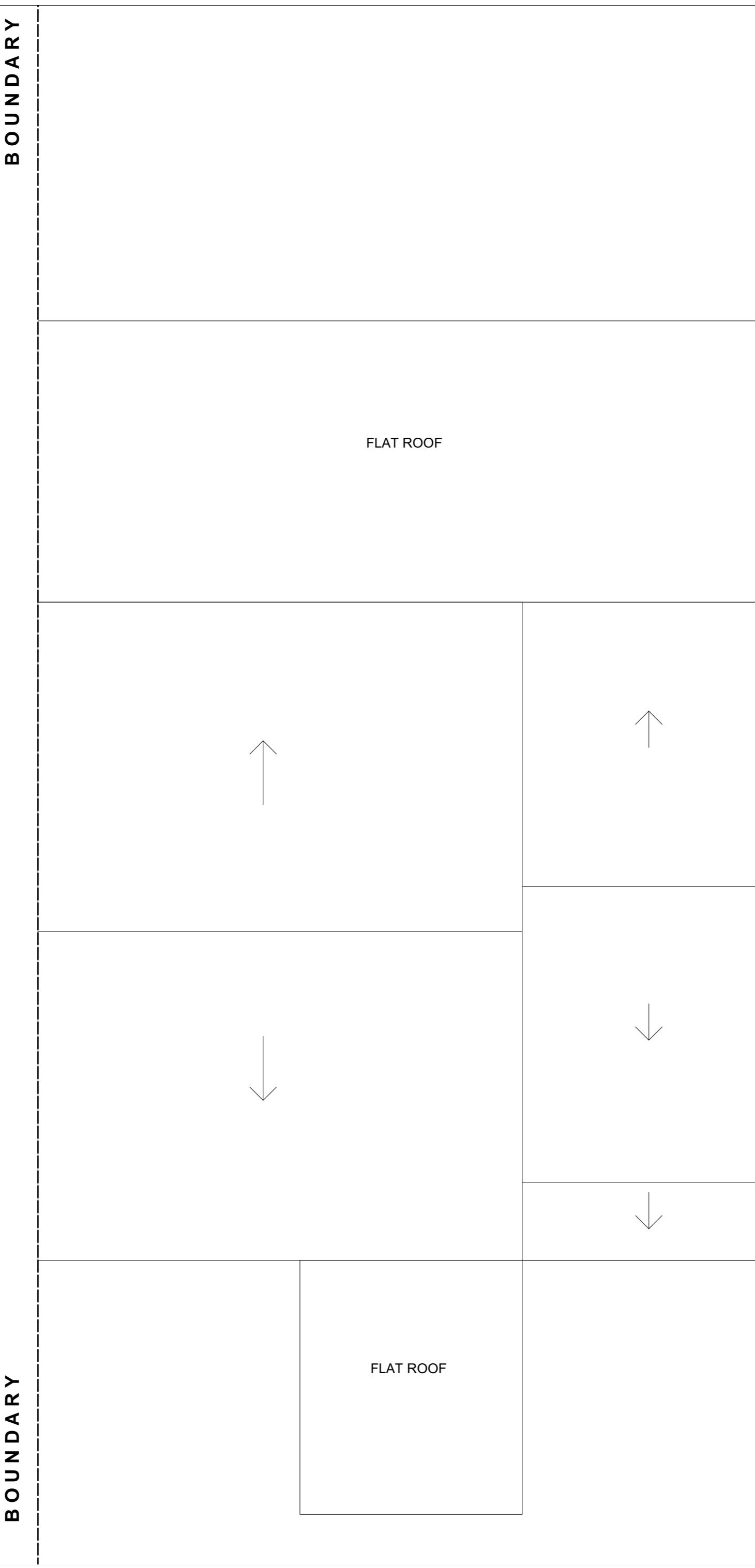
**KEY:**

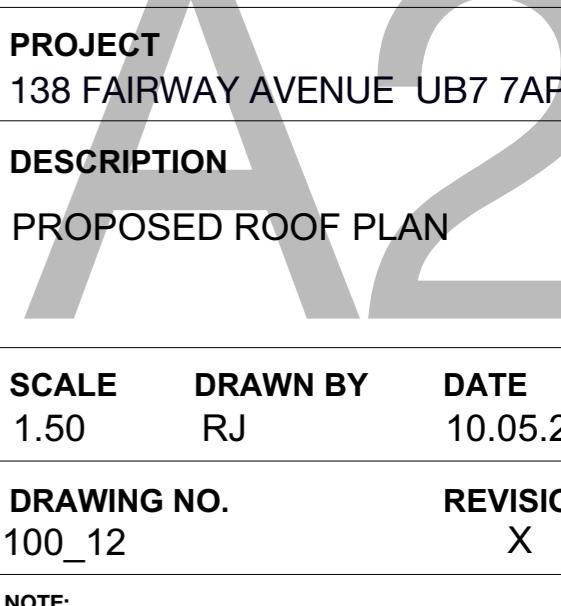
- ALL NEW EXTERNAL WALLS TO BE 350MM & NEW INTERNAL WALLS TO BE 120MM
- INTERNAL WALLS TO BE DEMOLISHED
- WALL TO BE BUILT OUT TO HOUSE WALL MOUNTED FIXTURES OR ALCOVES

NOTE: STRUCTURAL ENGINEER TO BE APPOINTED TO CONFIRM REMOVAL OF PROPOSED WALLS.

0 1000 2000 3000

SCALE:



REV	DESCRIPTION	BY	DATE
<b>DRAWING STATUS</b>			
FOR DISCUSSION			
FOR COSTING ONLY			
FOR DESIGN INTENT ONLY			
<b>NOTES:</b>			
ALL EXTERNAL WINDOWS AND DOORS TO BE DOUBLE GLAZED <b>SPEC AND FINSIH TBC</b>			
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<b>CLIENT</b> MR & MRS DOSANJH			
<b>PROJECT</b> 138 FAIRWAY AVENUE UB7 7AP			
<b>DESCRIPTION</b> PROPOSED ROOF PLAN			
<b>SCALE</b> 1.50	<b>DRAWN BY</b> RJ	<b>DATE</b> 10.05.24	
<b>DRAWING NO.</b> 100_12		<b>REVISION</b> X	
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