

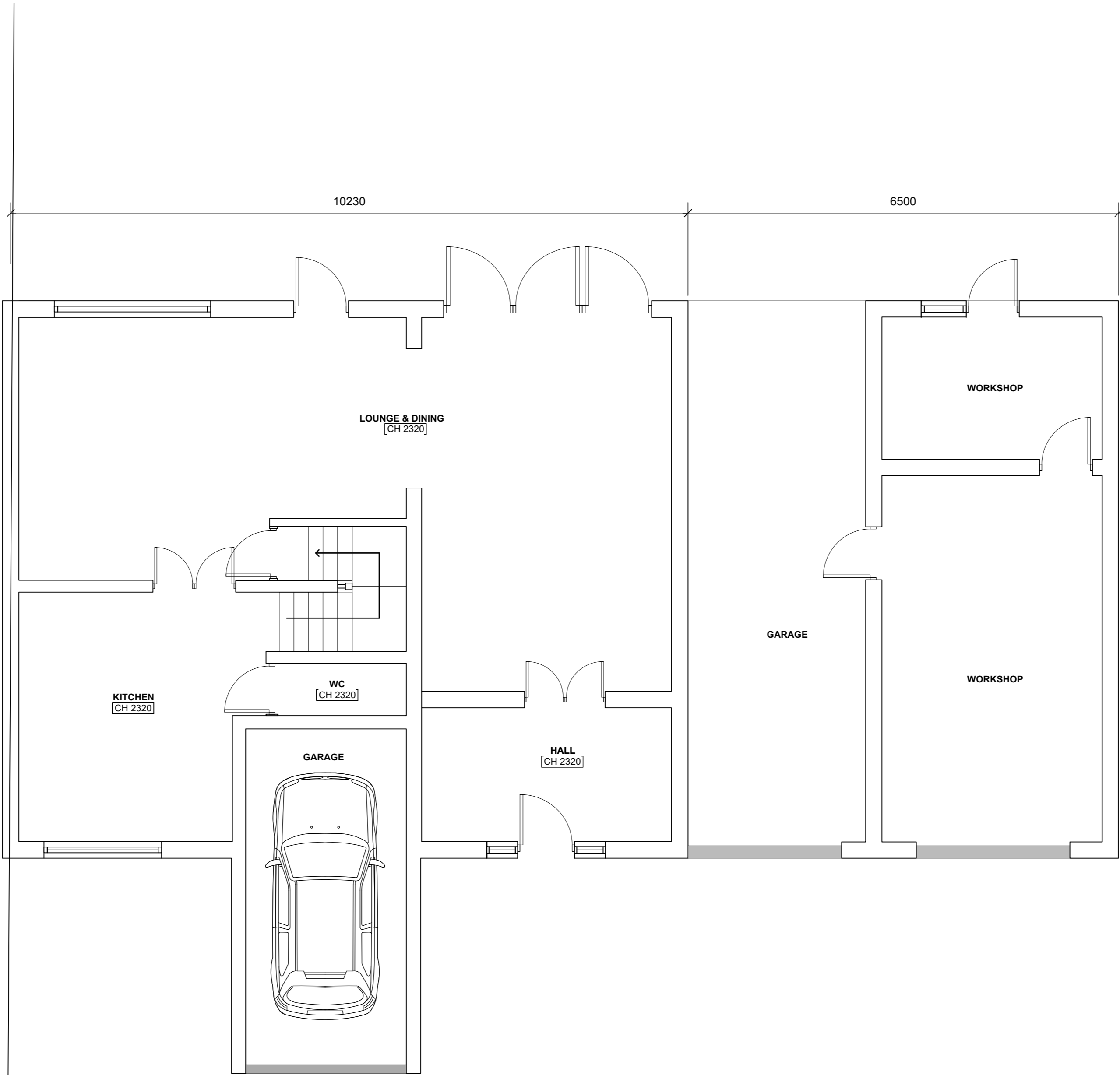
FAIRWAY AVENUE

1 EXISTING SITE PLAN
Scale: 1:150

KEY:
0 1000 2000 3000
SCALE:

REV	DESCRIPTION	BY	DATE
DRAWING STATUS			
FOR DISCUSSION			
FOR COSTING ONLY			
FOR DESIGN INTENT ONLY			
NOTES: ALL EXTERNAL WINDOWS AND DOORS TO BE DOUBLE GLAZED SPEC AND FINISH TBC UNDER FLOOR HEATING TO BE INSTALLED WITHIN NEW EXTENSION SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR			
<div><div>NEXTCHAPTER</div><div>LONDON, TW7 4LN T +44 (0) 798 487 2957 WWW.NEXTCHAPTERDESIGN.CO.UK</div><div>CLIENT MR & MRS DOSANJH</div><div>PROJECT 138 FAIRWAY AVENUE UB7 7AP</div><div>DESCRIPTION EXISTING SITE PLAN</div><div><div>SCALE 1:150</div><div>DRAWN BY RJ</div><div>DATE 01.01.23</div></div><div><div>DRAWING NO. 100_13</div><div>REVISION X</div></div><div>NOTE: DRAWINGS ARE FOR PLANNING PERMISSION ONLY CONTRACTOR TO ENSURE ALL MATERIALS USED AND ELECTRICAL WORK COMPLIES WITH LOCAL AUTHORITY REGULATIONS. STRUCTURAL ENGINEER MUST BE EMPLOYED WHERE APPLICABLE. DO NOT SCALE OFF DRAWING. ALL DIMENSIONS TO BE VERIFIED ON SITE. ALL WORKS ARE TO COMPLY WITH CURRENT BUILDING REGULATIONS THIS DRAWING IS THE COPYRIGHT OF NEXT CHAPTER DESIGN. THIS DRAWING CANNOT BE COPIED, REPRODUCED, RETAINED OR DISCLOSED TO ANY UNAUTHORISED PERSON.</div></div>			

BOUNDARY



BOUNDARY

1 EXISTING GROUND FLOOR PLAN
Scale: 1:50

BOUNDARY

BOUNDARY

REV	DESCRIPTION	BY	DATE

DRAWING STATUS

FOR DISCUSSION

FOR COSTING ONLY

FOR DESIGN INTENT ONLY

NOTES:

ALL EXTERNAL WINDOWS AND DOORS TO BE DOUBLE GLAZED **SPEC AND FINSH TBC**

UNDER FLOOR HEATING TO BE INSTALLED WITHIN NEW EXTENSION

SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR

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DESCRIPTION
EXISTING GROUND FLOOR PLAN

SCALE	DRAWN BY	DATE
1.50	RJ	01.01.23

DRAWING NO.	REVISION
100_01	X

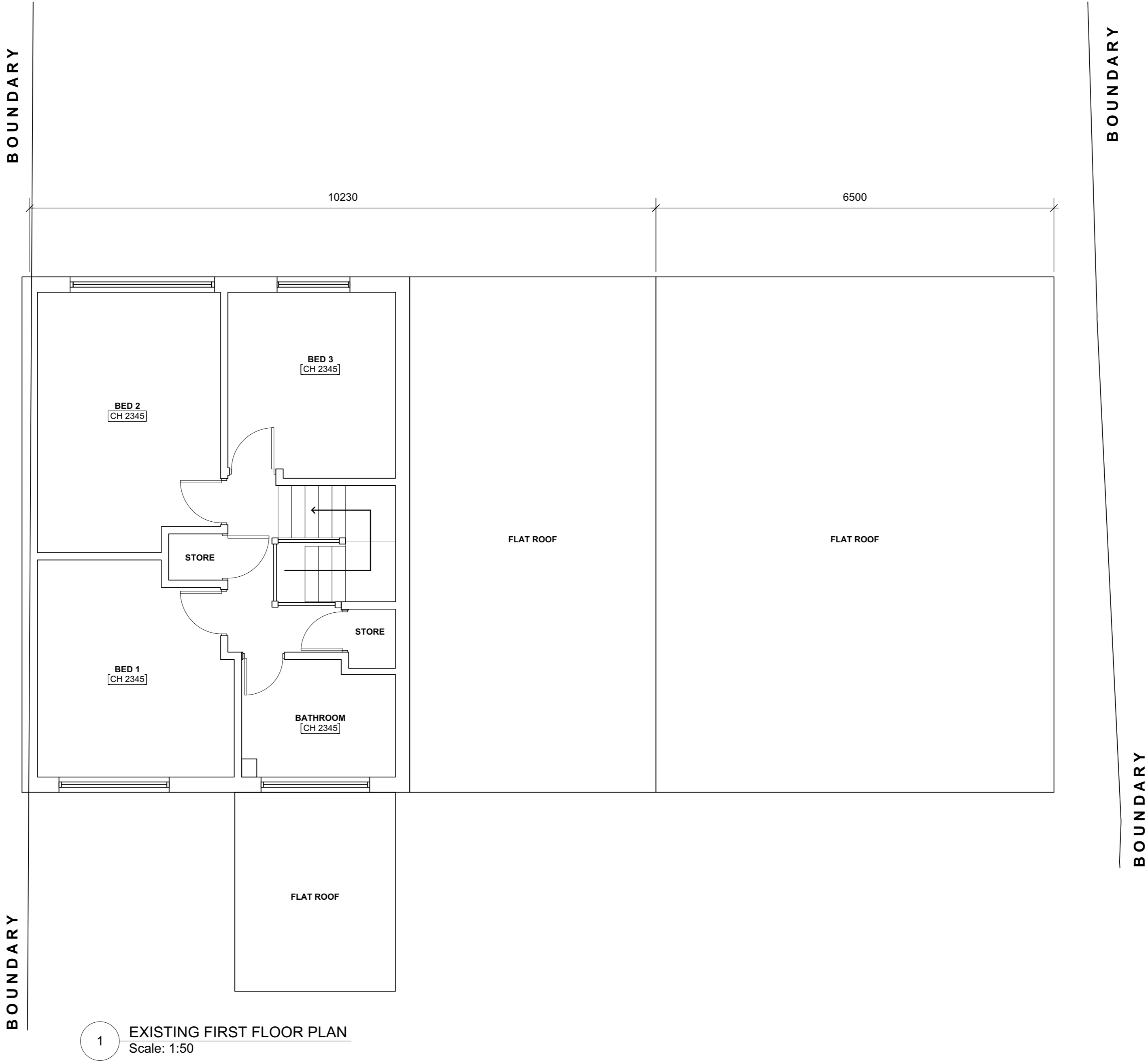
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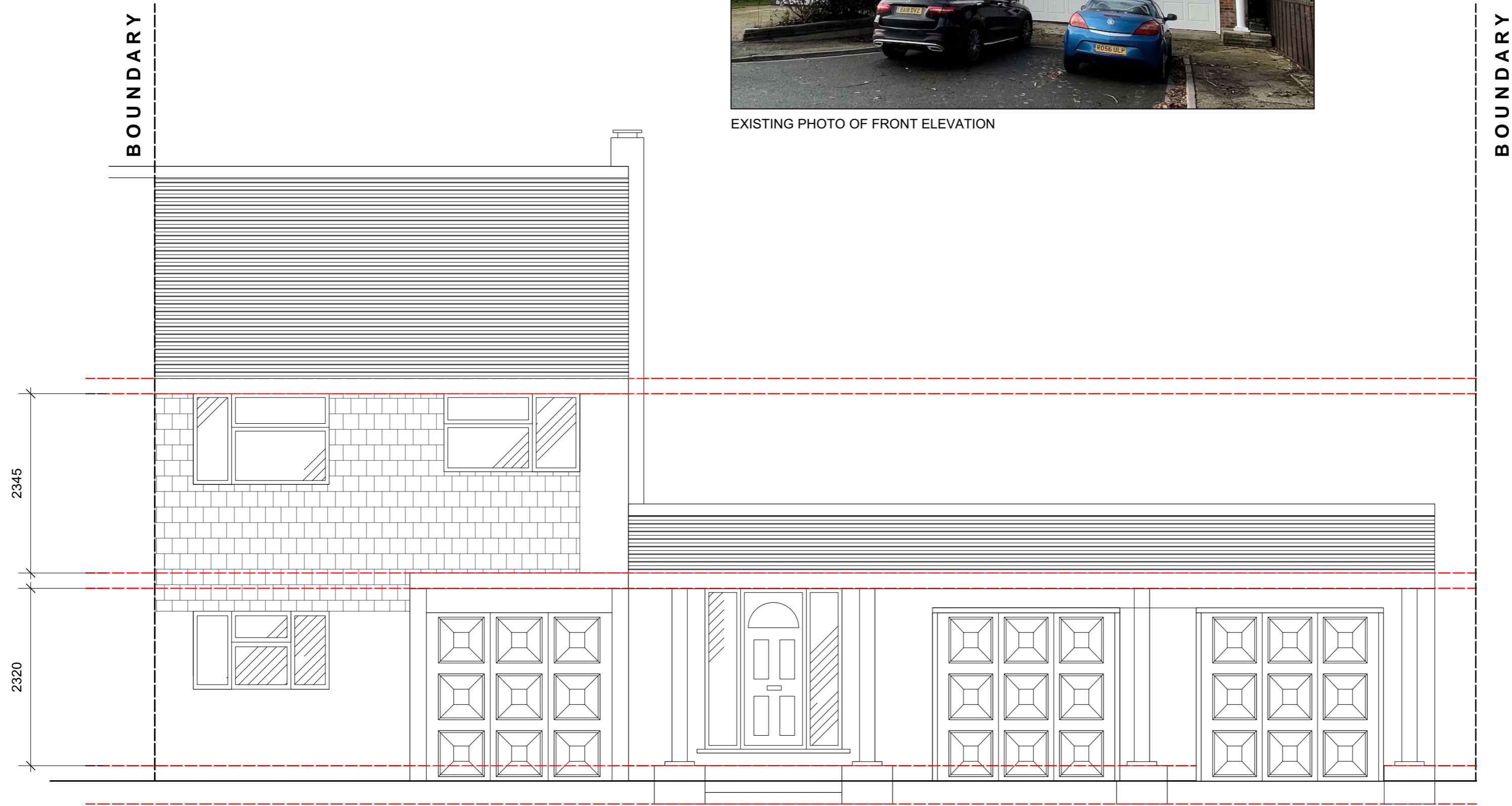
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DRAWING STATUS			
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PROJECT			
138 FAIRWAY AVENUE UB7 7AP			
DESCRIPTION			
EXISTING FIRST FLOOR PLAN			
SCALE	DRAWN BY	DATE	
1.50	RJ	01.01.23	
DRAWING NO.		REVISION	
100_02		X	
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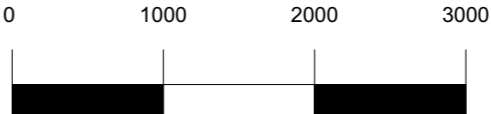


1 EXISTING FRONT ELEVATION
Scale: 1:50



EXISTING PHOTO OF FRONT ELEVATION

KEY:



SCALE:

REV	DESCRIPTION	BY	DATE

DRAWING STATUS

FOR DISCUSSION

FOR COSTING ONLY

FOR DESIGN INTENT ONLY

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138 FAIRWAY AVENUE UB7 7AP

DESCRIPTION
EXISTING FRONT ELEVATION

SCALE	DRAWN BY	DATE
1.50	RJ	01.01.23

DRAWING NO.	REVISION
100_03	X

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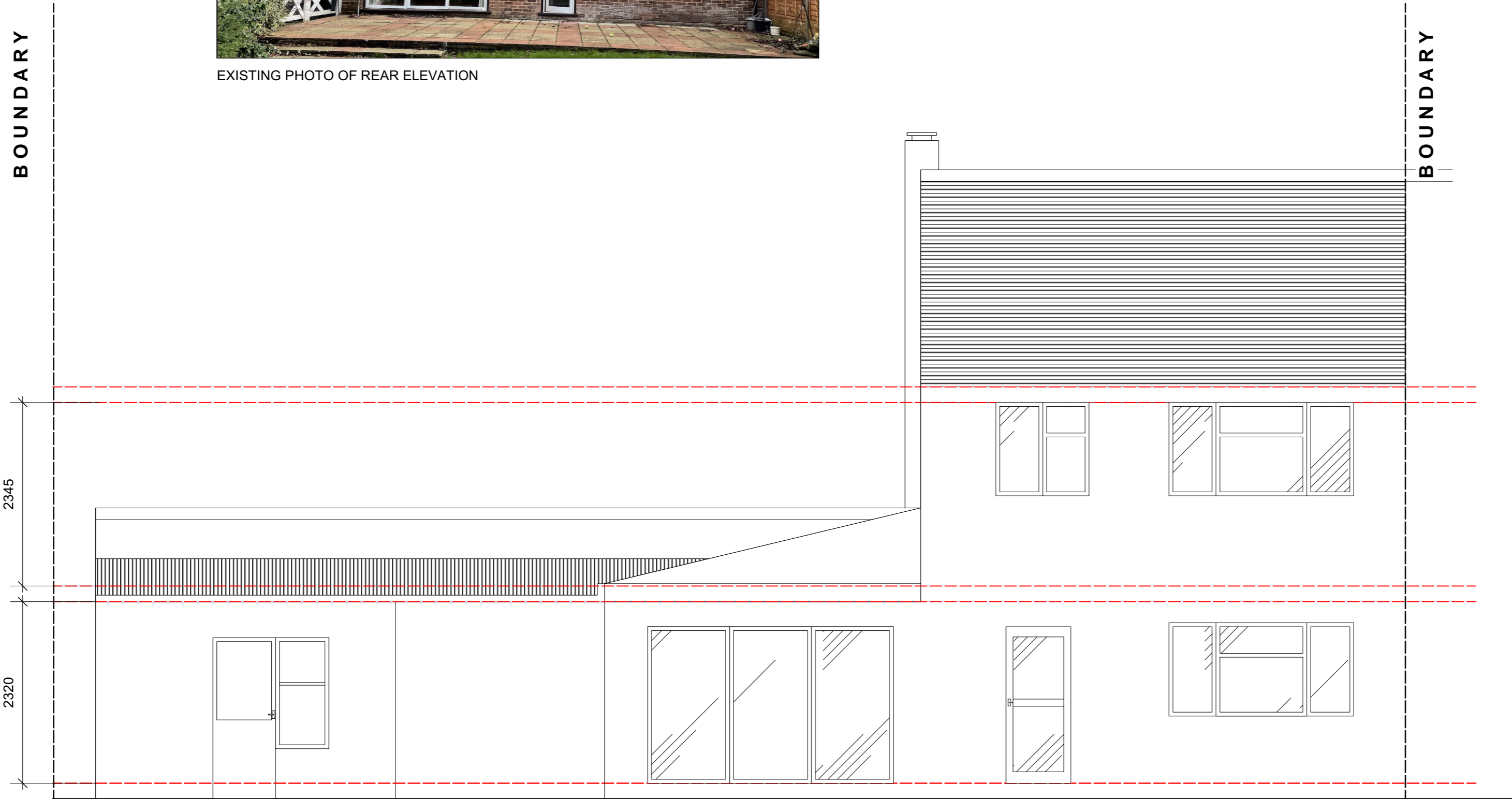
STRUCTURAL ENGINEER MUST BE EMPLOYED WHERE APPLICABLE.

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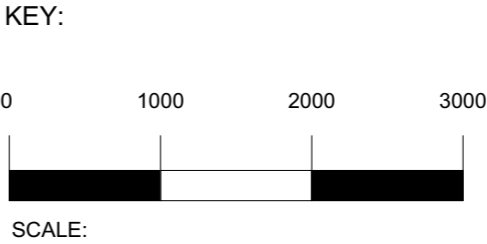
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EXISTING PHOTO OF REAR ELEVATION



1 EXISTING FRONT ELEVATION
Scale: 1:50



REV	DESCRIPTION	BY	DATE

DRAWING STATUS

FOR DISCUSSION

FOR COSTING ONLY

FOR DESIGN INTENT ONLY

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138 FAIRWAY AVENUE UB7 7AP

DESCRIPTION
EXISTING REAR ELEVATION

SCALE 1.50
DRAWN BY RJ
DATE 01.01.23

DRAWING NO. 100_04
REVISION X

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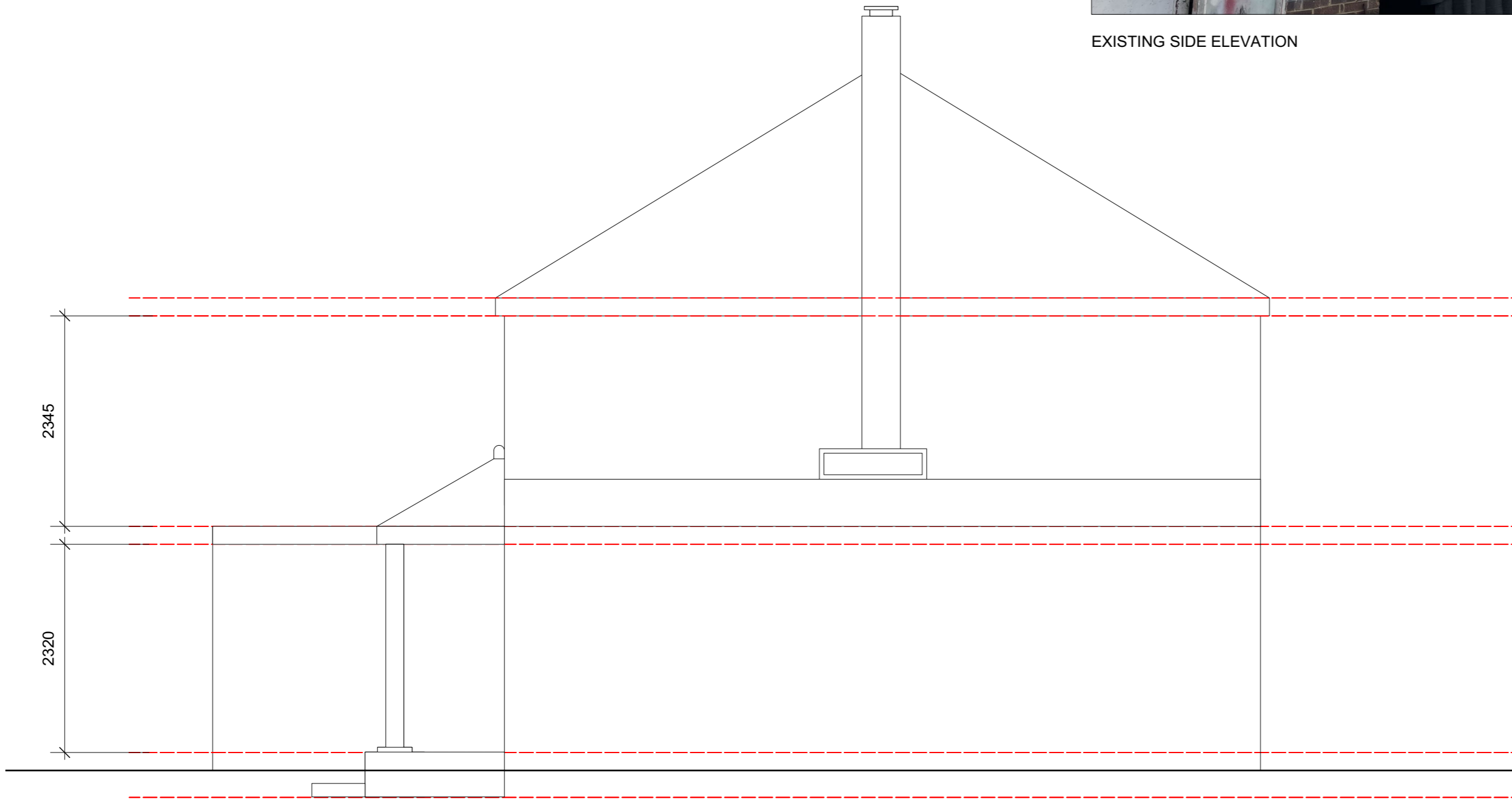
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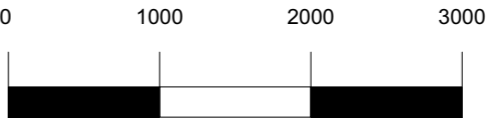


EXISTING SIDE ELEVATION



1 EXISTING LEFT SIDE ELEVATION
Scale: 1:50

KEY:



SCALE:

REV	DESCRIPTION	BY	DATE

DRAWING STATUS

FOR DISCUSSION

FOR COSTING ONLY

FOR DESIGN INTENT ONLY

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138 FAIRWAY AVENUE UB7 7AP

DESCRIPTION
EXISTING RIGHT SIDE ELEVATION

SCALE
1.50

DRAWN BY
RJ

DATE
01.01.23

DRAWING NO.
100_05

REVISION
X

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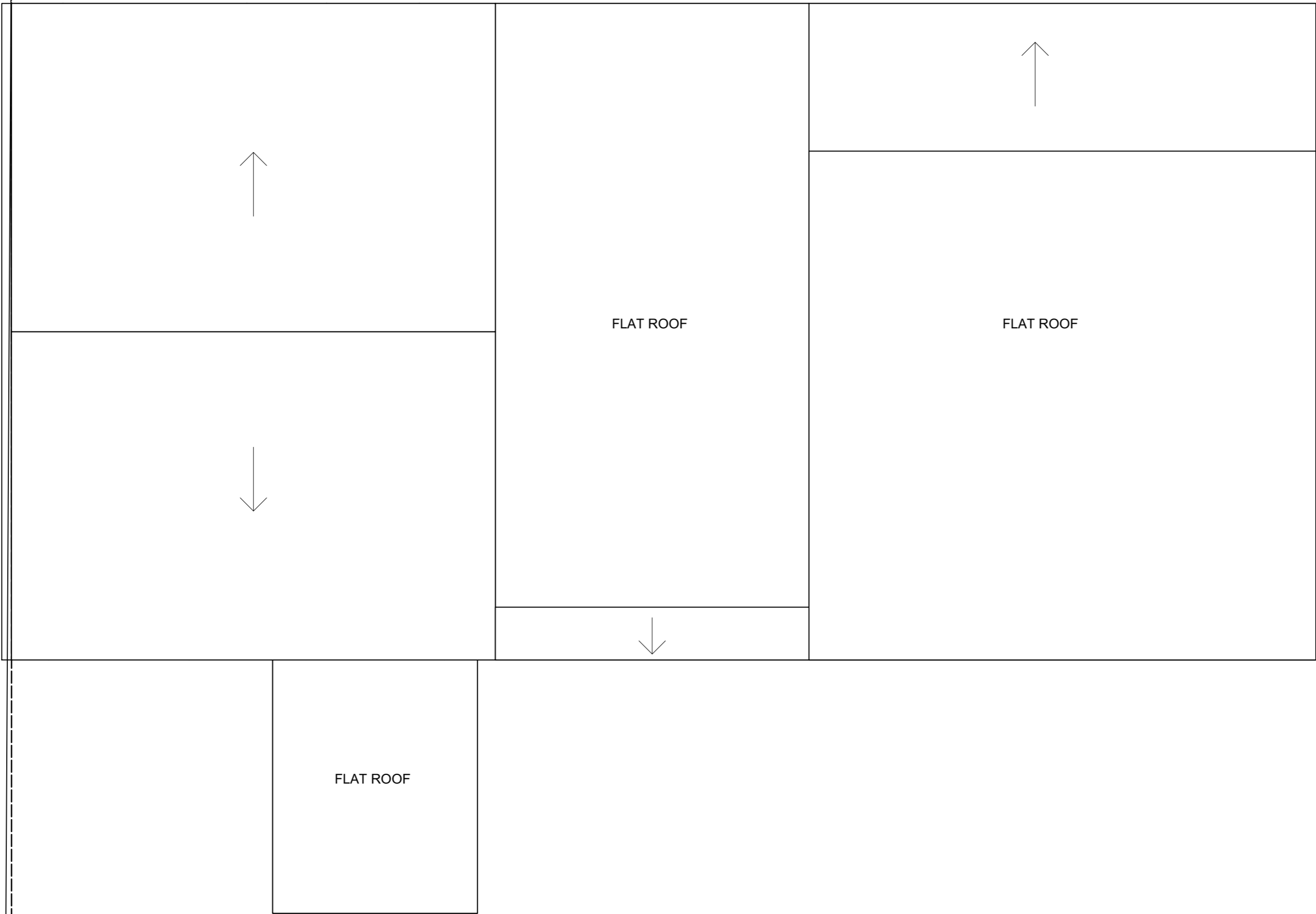
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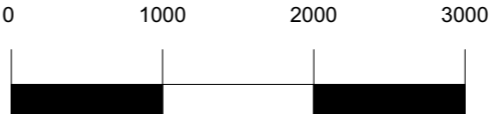


BOUNDARY

1

EXISTING ROOF PLAN
Scale: 1:50

KEY:



SCALE:

BOUNDARY

BOUNDARY

REV	DESCRIPTION	BY	DATE

DRAWING STATUS

FOR DISCUSSION

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138 FAIRWAY AVENUE UB7 7AP

DESCRIPTION

EXISTING ROOF PLAN

SCALE	DRAWN BY	DATE
1.50	RJ	01.01.23

DRAWING NO.	REVISION
100_11	X

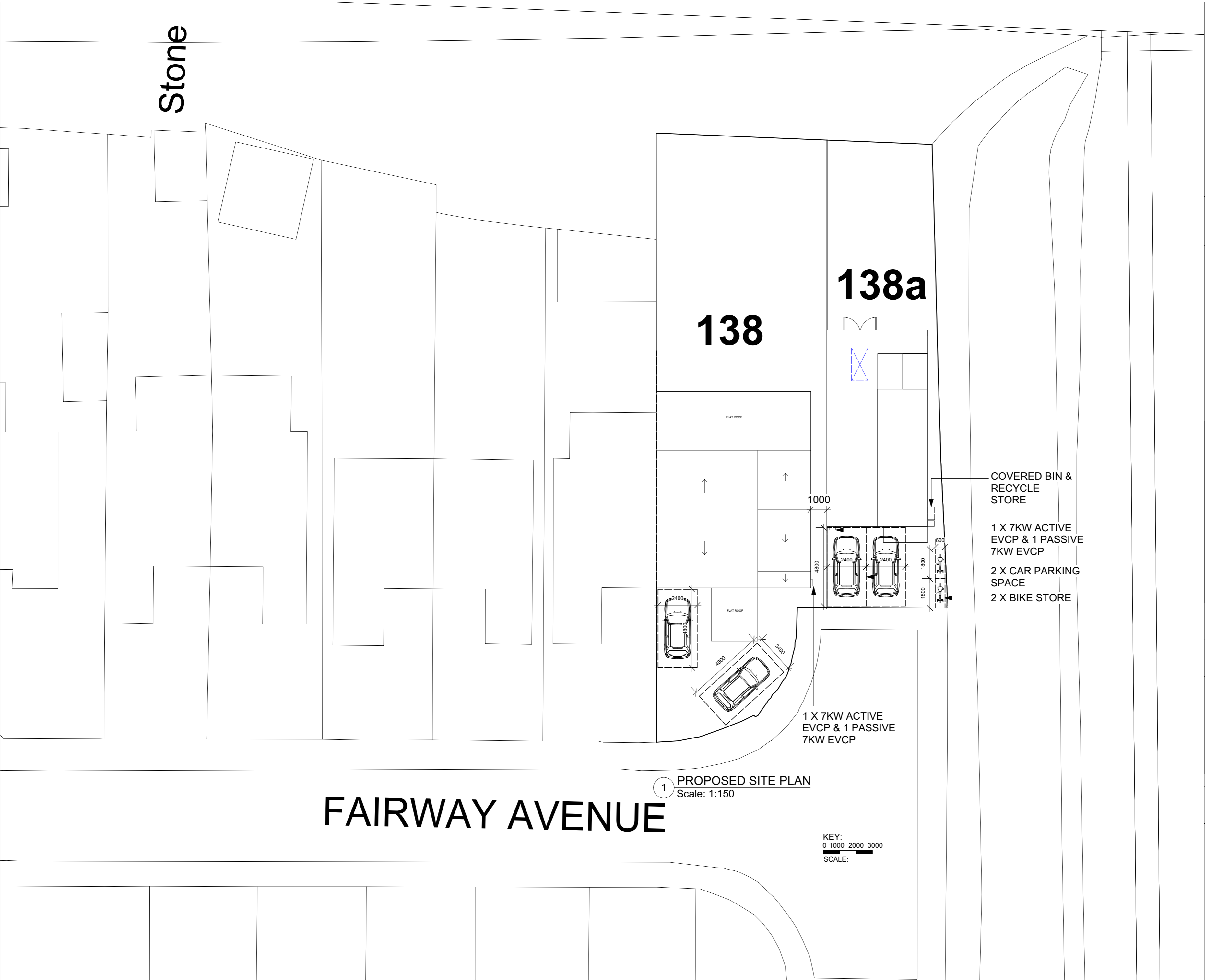
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PROJECT 138 FAIRWAY AVENUE UB7 7AP			
DESCRIPTION PROPOSED SITE PLAN			
SCALE 1.150	DRAWN BY RJ	DATE 10.05.24	
DRAWING NO. 100_14		REVISION X	
NOTE: DRAWINGS ARE FOR PLANNING PERMISSION ONLY			
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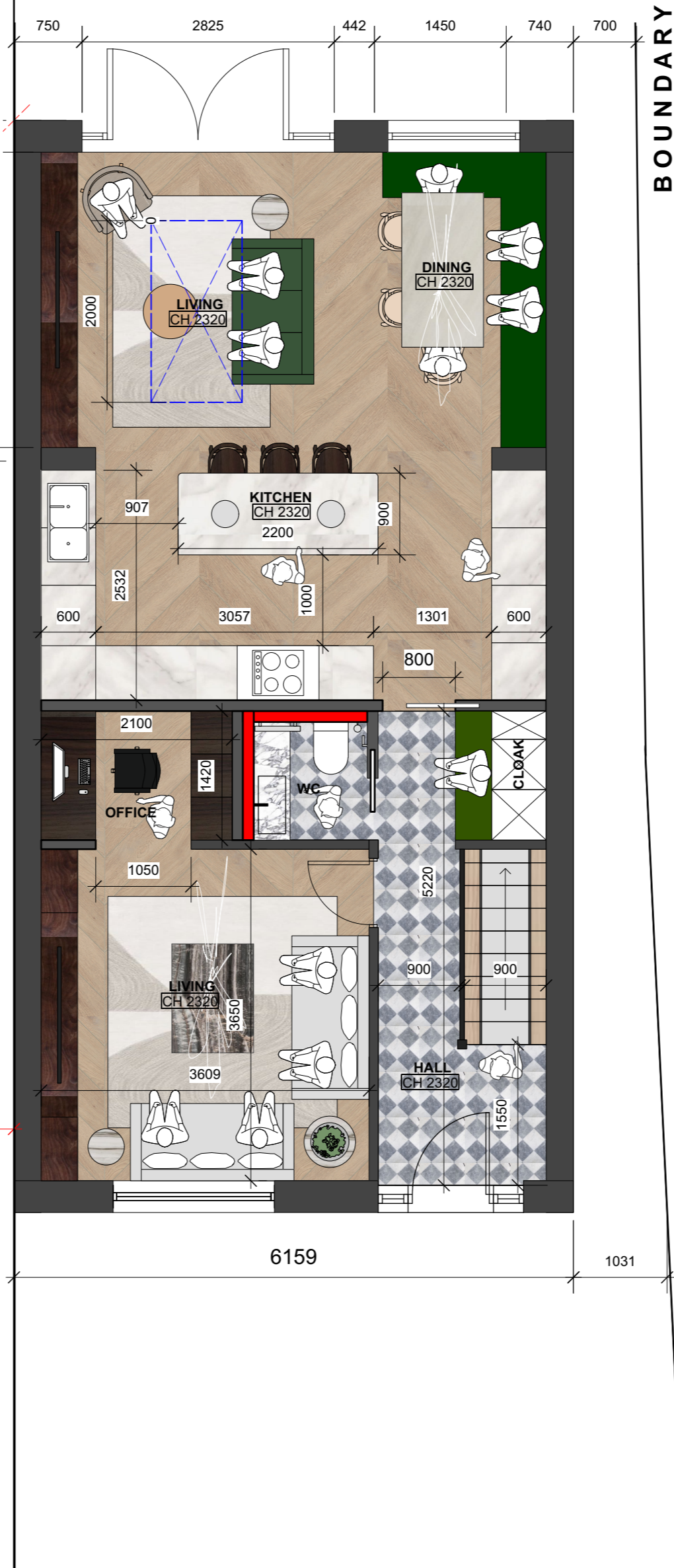
BOUNDARY

45 DEGREE ANGLE

1

PROPOSED GROUND FLOOR PLAN

Scale: 1:50



INTERNAL AREA SQM:

KITCHEN / LIVING / DINING : 33.45 SQM
WC: 1.86 SQM
OFFICE: 2.97 SQM
ENTRANCE HALL INC CLOAK: 7.53 SQM
LIVING ROOM: 13.1 SQFT

GROUND FLOOR SQFT: 58.9 SQM

KEY:

- ALL NEW EXTERNAL WALLS TO BE 350MM & NEW INTERNAL WALLS TO BE 120MM
- INTERNAL WALLS TO BE DEMOLISHED
- WALL TO BE BUILT OUT TO HOUSE WALL MOUNTED FIXTURES OR ALCOVES

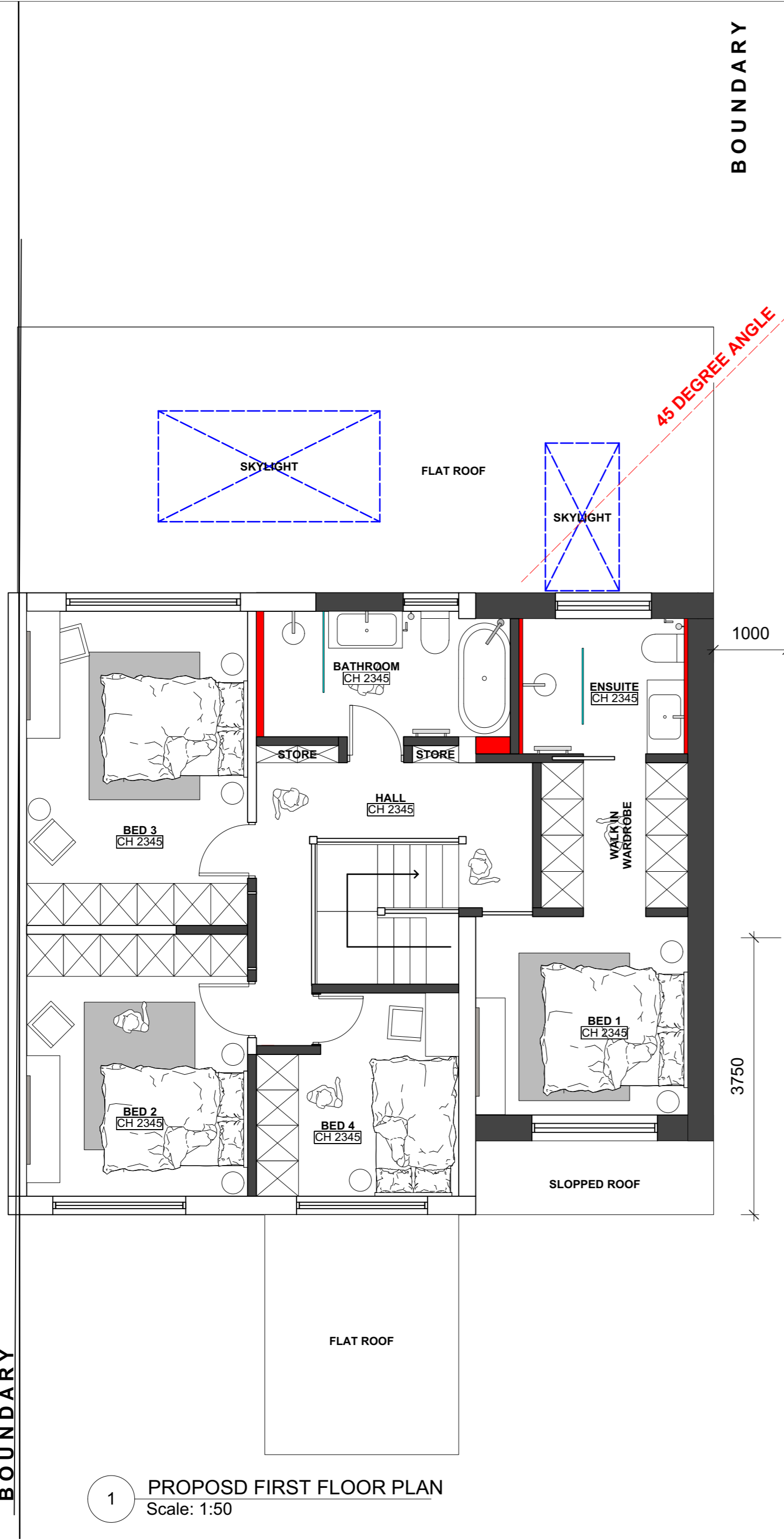
NOTE: STRUCTURAL ENGINEER TO BE APPOINTED TO CONFIRM REMOVAL OF PROPOSED WALLS.

0 1000 2000 3000

SCALE:

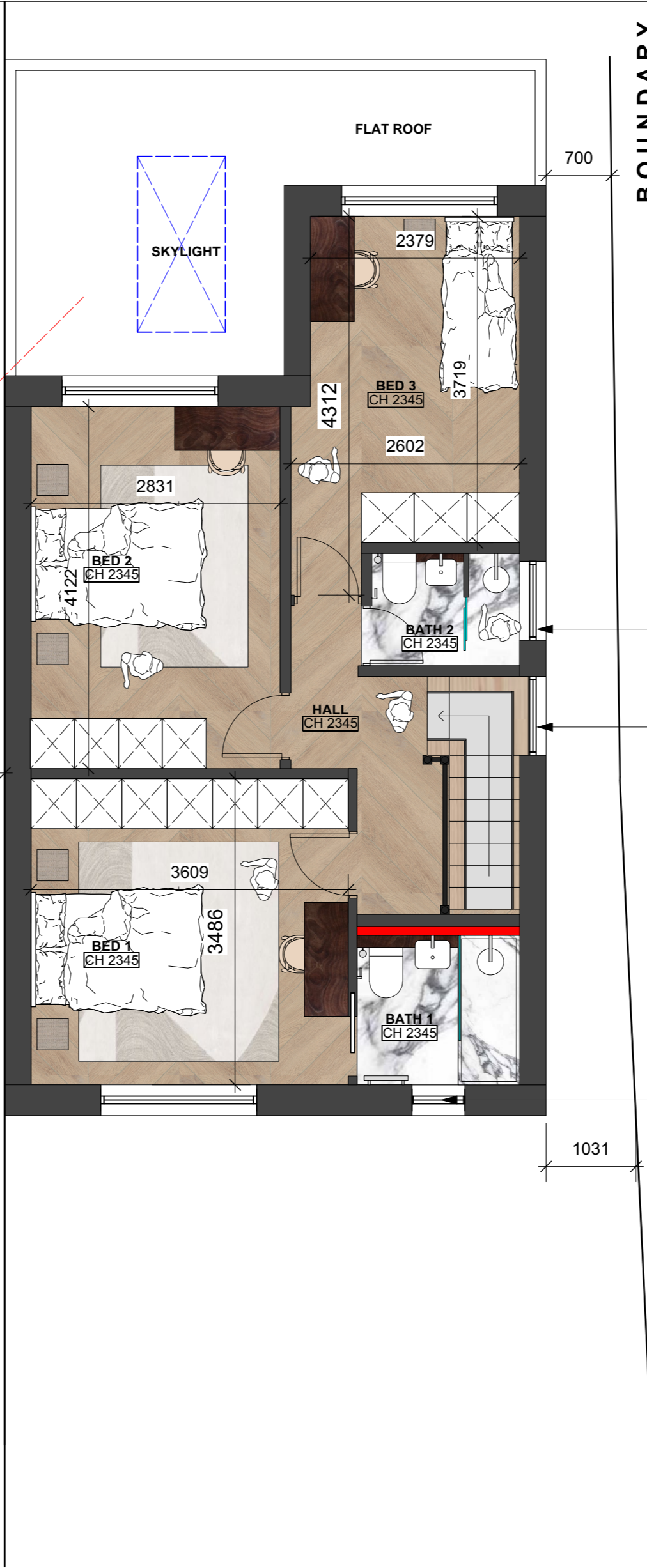
REV	DESCRIPTION	BY	DATE
DRAWING STATUS			
FOR DISCUSSION			
FOR COSTING ONLY			
FOR DESIGN INTENT ONLY			
NOTES:			
ALL EXTERNAL WINDOWS AND DOORS TO BE DOUBLE GLAZED SPEC AND FINISH TBC			
UNDER FLOOR HEATING TO BE INSTALLED WITHIN NEW EXTENSION			
SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR			
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CLIENT			
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PROJECT			
138 FAIRWAY AVENUE UB7 7AP			
DESCRIPTION			
PROPOSED GROUND FLOOR PLAN			
SCALE	DRAWN BY	DATE	
1.50	RJ	10.05.24	
DRAWING NO.		REVISION	
100_06		X	
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BOUNDARY



BOUNDARY

INTERNAL AREA SQM:
BED 1 : 12.57 SQM
BED 2: 11.7 SQM
BED 3: 10 SQM
BATH 1: 3.3 SQM
BATH 2: 2.1 SQM
HALL: 3.87 SQM

FIRST FLOOR SQFT: 43.54 SQM

TOTAL INTERNAL SQFT:

GROUND FLOOR SQFT: 58.91 SQM
FIRST FLOOR SQFT: 43.54 SQM

OVERALL: 102.45 SQM
WHICH FITS WITHIN
DOLICY D14 LONDON PLAN

OPAQUE WINDOW

FULL HEIGHT STAIRCASE
WINDOW

OPAQUE WINDOW

BOUNDARY

KEY:

- ALL NEW EXTERNAL WALLS TO BE 350MM & NEW INTERNAL WALLS TO BE 120MM
- INTERNAL WALLS TO BE DEMOLISHED
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NOTE: STRUCTUAL ENGINEER TO BE APPOINTED TO CONFIRM REMOVAL OF PROPOSED WALLS.

0 1000 2000 3000

SCALE:

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DRAWING STATUS

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138 FAIRWAY AVENUE UB7 7AP

DESCRIPTION
PROPOSED FIRST FLOOR PLAN

SCALE 1.50
DRAWN BY RJ
DATE 10.05.24

DRAWING NO. 100_07
REVISION X

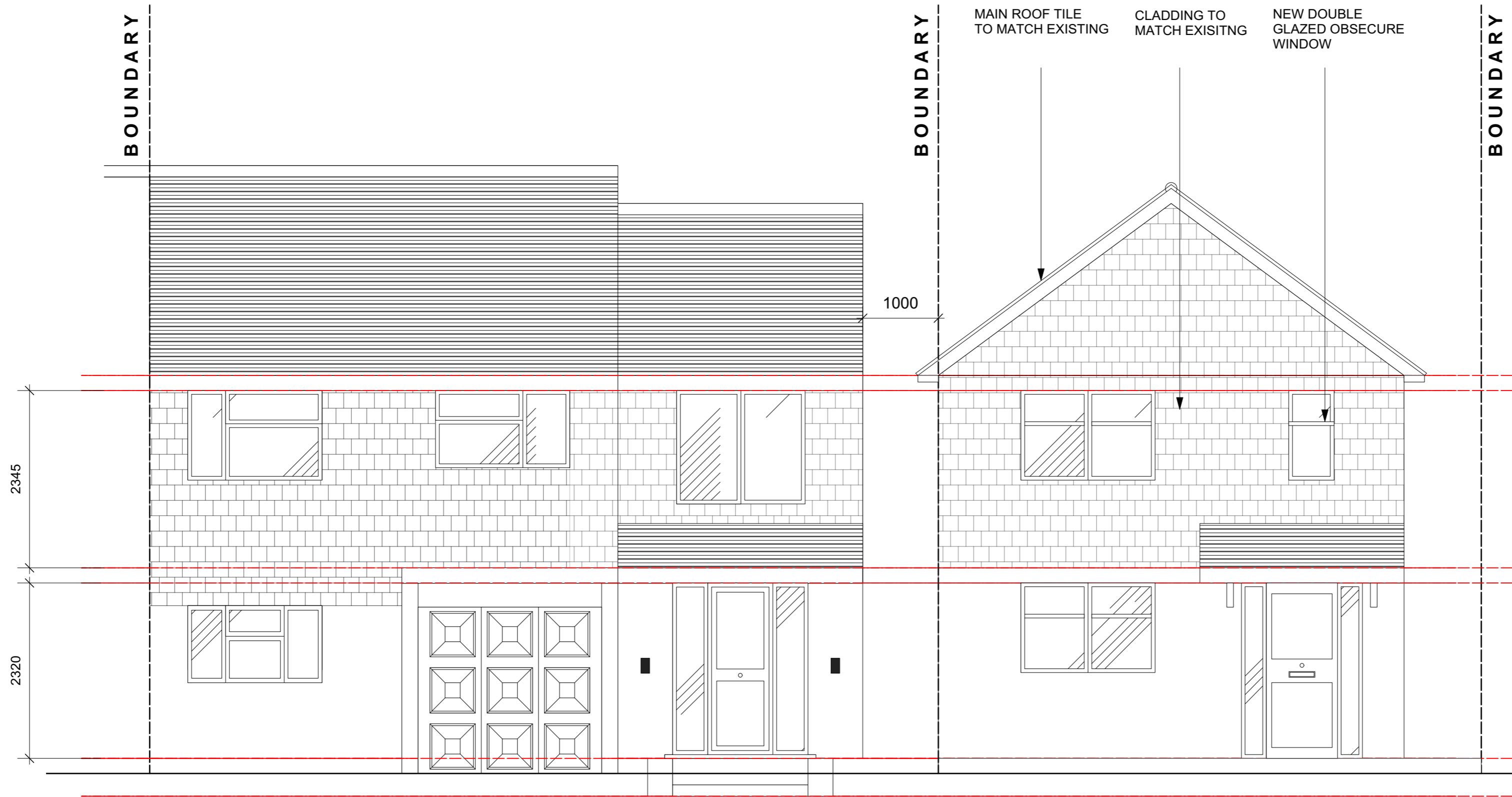
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1 **PROPOSED FRONT ELEVATION**
Scale: 1:50

KEY:



SCALE:

REV	DESCRIPTION	BY	DATE

DRAWING STATUS

FOR DISCUSSION

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138 FAIRWAY AVENUE UB7 7AP

DESCRIPTION
PROPOSED FRONT ELEVATION

SCALE	DRAWN BY	DATE
1.50	RJ	10.05.24

DRAWING NO.	REVISION
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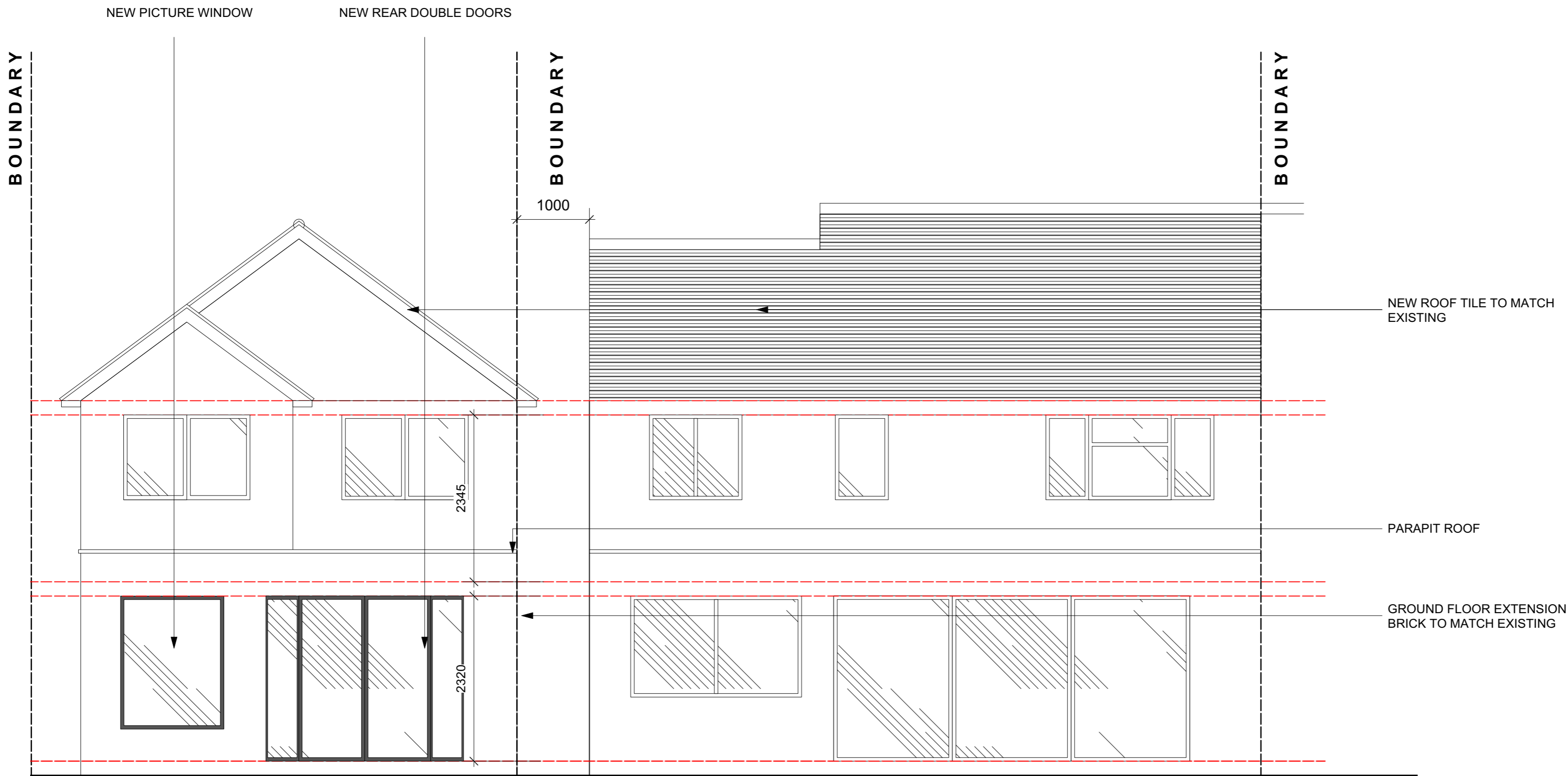
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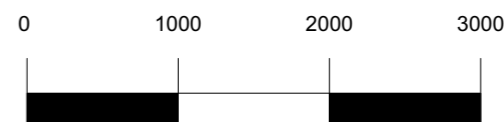


1

PROPOSED REAR ELEVATION

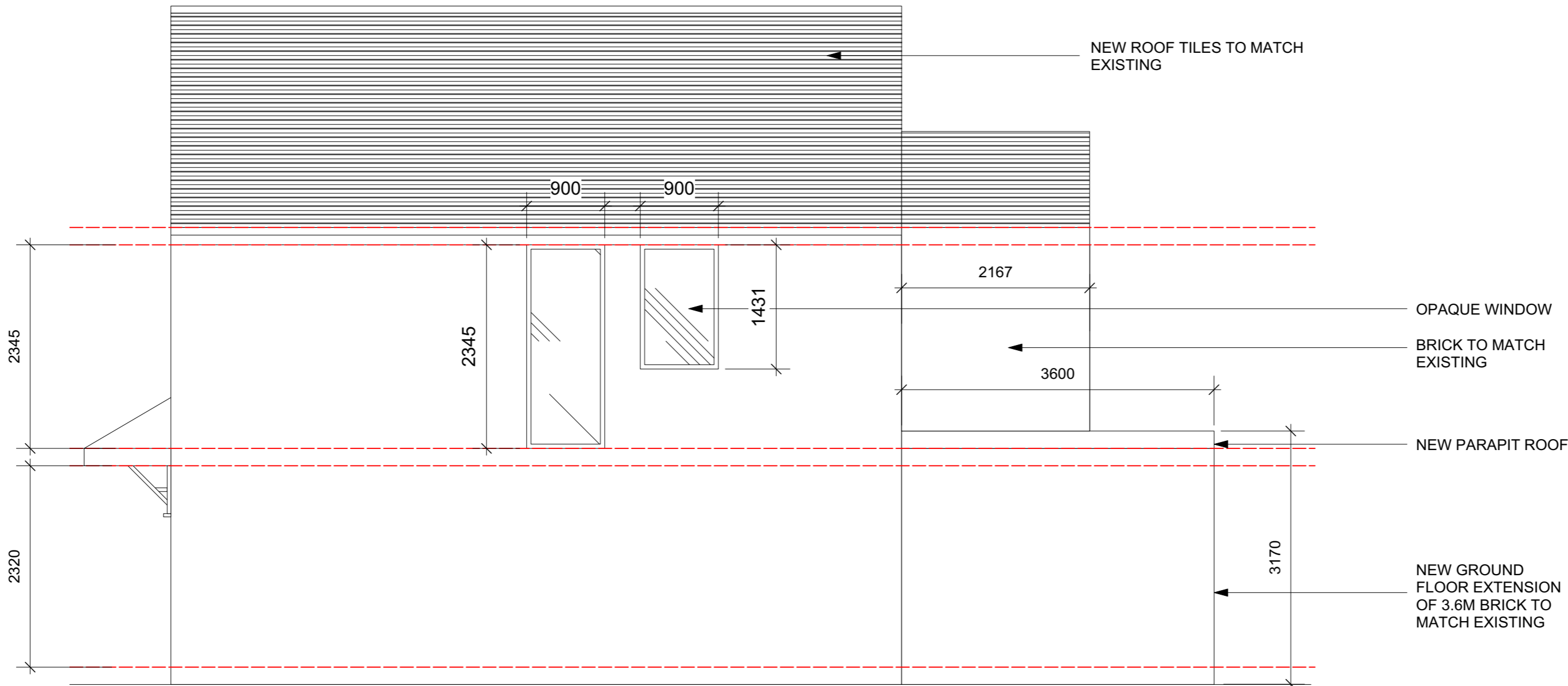
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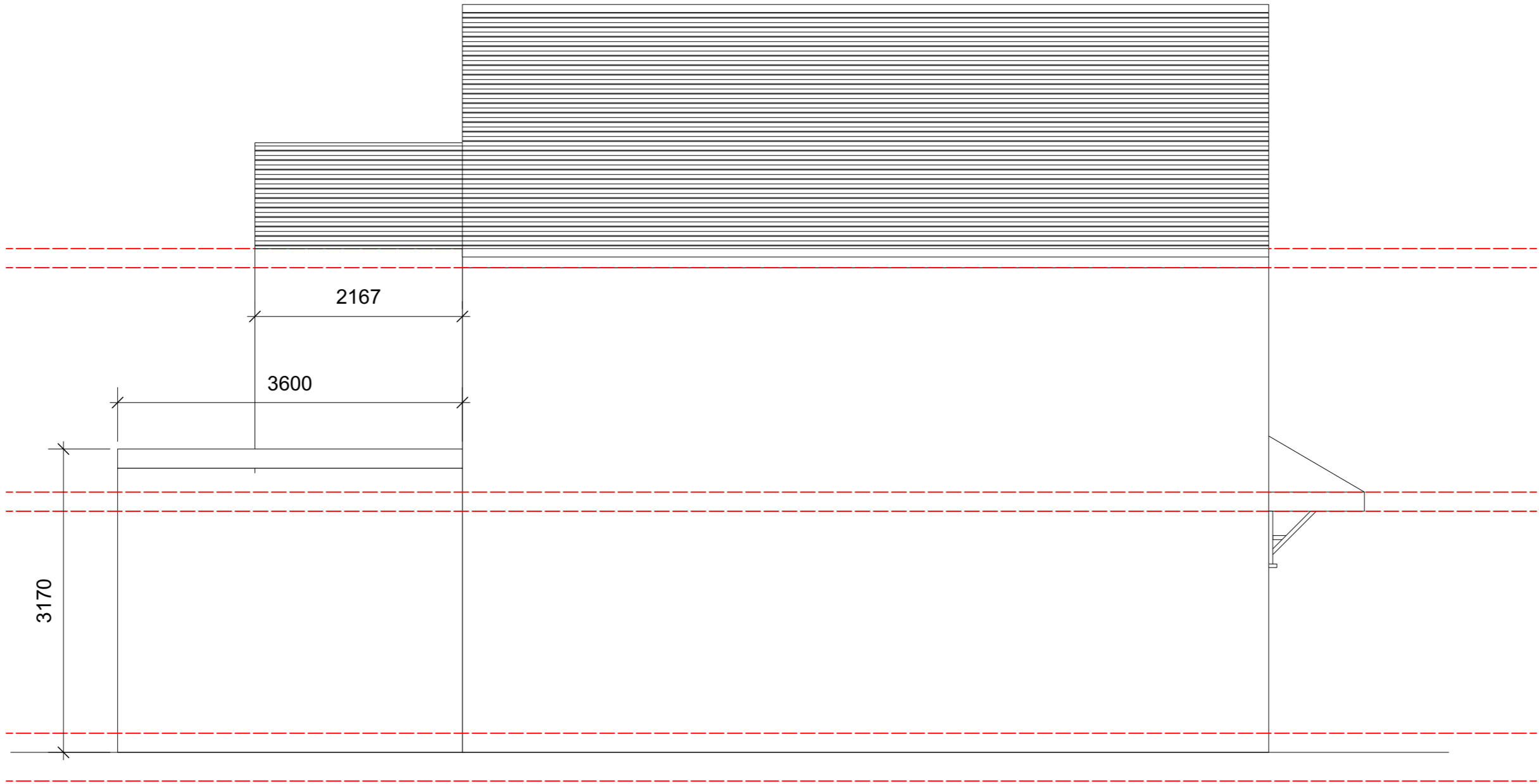


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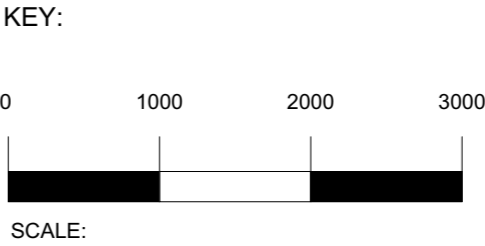
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DRAWING STATUS			
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SCALE	DRAWN BY	DATE	
1.50	RJ	10.05.24	
DRAWING NO.		REVISION	
100_09		X	
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1 PROPOSED RIGHT SIDE ELEVATION
Scale: 1:50



2 PROPOSED LEFT SIDE ELEVATION
Scale: 1:50



REV	DESCRIPTION	BY	DATE

DRAWING STATUS

FOR DISCUSSION

FOR COSTING ONLY

FOR DESIGN INTENT ONLY

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SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR

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138 FAIRWAY AVENUE UB7 7AP

DESCRIPTION
PROPOSED RIGHT & LEFT
SIDE ELEVATION

SCALE 1.50
DRAWN BY RJ
DATE 10.05.24

DRAWING NO. 100_10
REVISION X

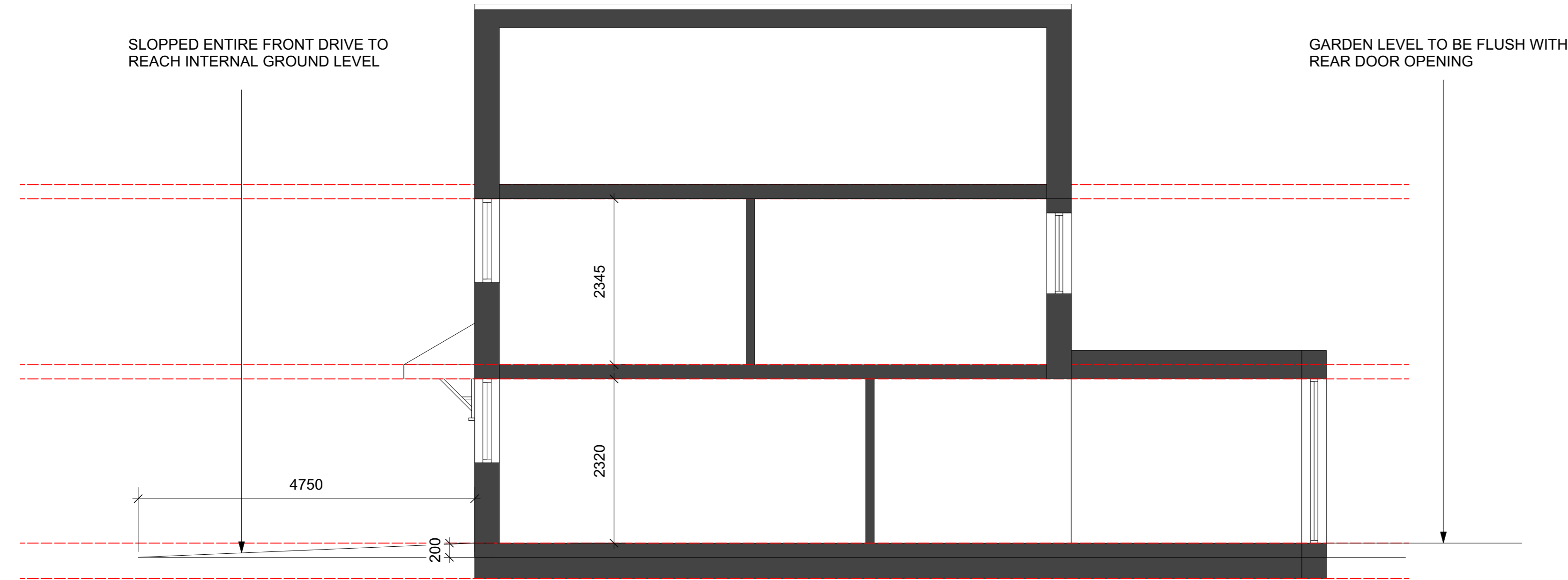
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1 PROPOSED SECTION AA
Scale: 1:150

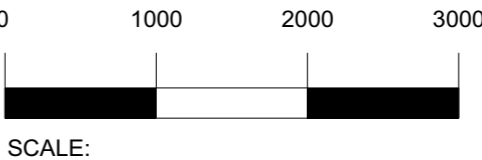


2 PROPOSED PLAN
Scale: 1:150

KEY:

- ALL NEW EXTERNAL WALLS TO BE 350MM & NEW INTERNAL WALLS TO BE 120MM
- INTERNAL WALLS TO BE DEMOLISHED
- WALL TO BE BUILT OUT TO HOUSE WALL MOUNTED FIXTURES OR ALCOVES

NOTE: STRUCTUAL ENGINEER TO BE APPOINTED TO CONFIRM REMOVAL OF PROPSOED WALLS.



REV	DESCRIPTION	BY	DATE

DRAWING STATUS

FOR DISCUSSION

FOR COSTING ONLY

FOR DESIGN INTENT ONLY

NOTES:

ALL EXTERNAL WINDOWS AND DOORS TO BE DOUBLE GLAZED **SPEC AND FINISH TBC**

UNDER FLOOR HEATING TO BE INSTALLED WITHIN NEW EXTENSION

SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR

NEXT CHAPTER

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CLIENT
MR & MRS DOSANJH

PROJECT
138 FAIRWAY AVENUE UB7 7AP

DESCRIPTION
PROPOSED SECTION AA

SCALE 1.150 DRAWN BY RJ DATE 10.05.24

DRAWING NO. 100_15 REVISION X

NOTE:
DRAWINGS ARE FOR PLANNING PERMISSION ONLY

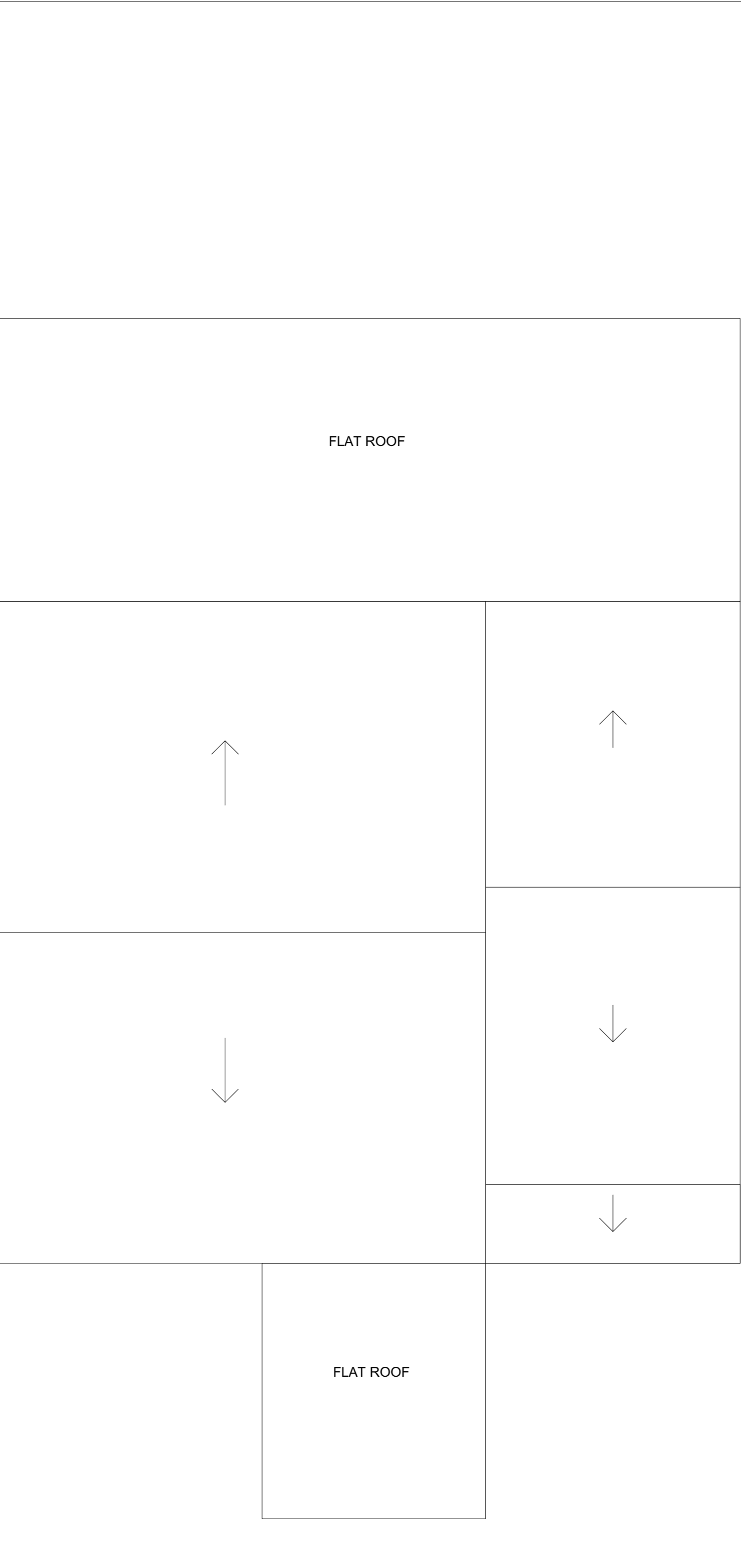
CONTRACTOR TO ENSURE ALL MATERIALS USED AND ELECTRICAL WORK COMPLIES WITH LOCAL AUTHORITY REGULATIONS.

STRUCTURAL ENGINEER MUST BE EMPLOYED WHERE APPLICABLE.

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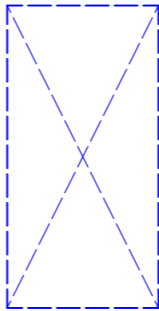
BOUNDARY



BOUNDARY

BOUNDARY

FLAT ROOF



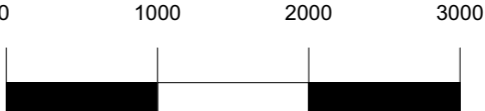
1

PROPOSED ROOF PLAN
Scale: 1:50

BOUNDARY

BOUNDARY

KEY:



SCALE:

REV	DESCRIPTION	BY	DATE
DRAWING STATUS			
FOR DISCUSSION			
FOR COSTING ONLY			
FOR DESIGN INTENT ONLY			
NOTES: ALL EXTERNAL WINDOWS AND DOORS TO BE DOUBLE GLAZED SPEC AND FINISH TBC UNDER FLOOR HEATING TO BE INSTALLED WITHIN NEW EXTENSION SMOKE DETECTORS TO BE INSTALLED WITHIN ENTIRE GROUND FLOOR			
<div>NEXT CHAPTER</div> <div>LONDON, TW7 4LN T +44 (0) 798 487 2957 WWW.NEXTCHAPTERDESIGN.CO.UK</div> <div>CLIENT MR & MRS DOSANJH</div> <div>PROJECT 138 FAIRWAY AVENUE UB7 7AP</div> <div>DESCRIPTION PROPOSED ROOF PLAN</div> <div>SCALE 1.50</div> <div>DRAWN BY RJ</div> <div>DATE 10.05.24</div> <div>DRAWING NO. 100_12</div> <div>REVISION X</div> <div>NOTE: DRAWINGS ARE FOR PLANNING PERMISSION ONLY CONTRACTOR TO ENSURE ALL MATERIALS USED AND ELECTRICAL WORK COMPLIES WITH LOCAL AUTHORITY REGULATIONS. STRUCTURAL ENGINEER MUST BE EMPLOYED WHERE APPLICABLE. DO NOT SCALE OFF DRAWING. ALL DIMENSIONS TO BE VERIFIED ON SITE. ALL WORKS ARE TO COMPLY WITH CURRENT BUILDING REGULATIONS THIS DRAWING IS THE COPYRIGHT OF NEXT CHAPTER DESIGN. THIS DRAWING CANNOT BE COPIED, REPRODUCED, RETAINED OR DISCLOSED TO ANY UNAUTHORISED PERSON.</div>			