

PROPOSED FRONT ELEVATION
SCALE 1:100

PROPOSED SIDE ELEVATION
SCALE 1:100

PROPOSED REAR ELEVATION
SCALE 1:100

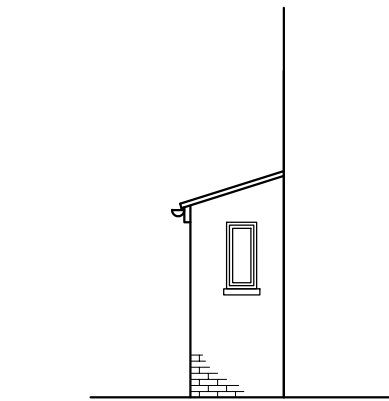
PROPOSED SIDE ELEVATION
SCALE 1:100

ROOF EXTENSION VOLUME

PROPOSED REAR DORMER EXTENSION
 $\frac{4.82(w) \times 3.12(g) \times 2.30(h)}{2} = 17.29 \text{ M3}$

IMPORTANT NOTE:

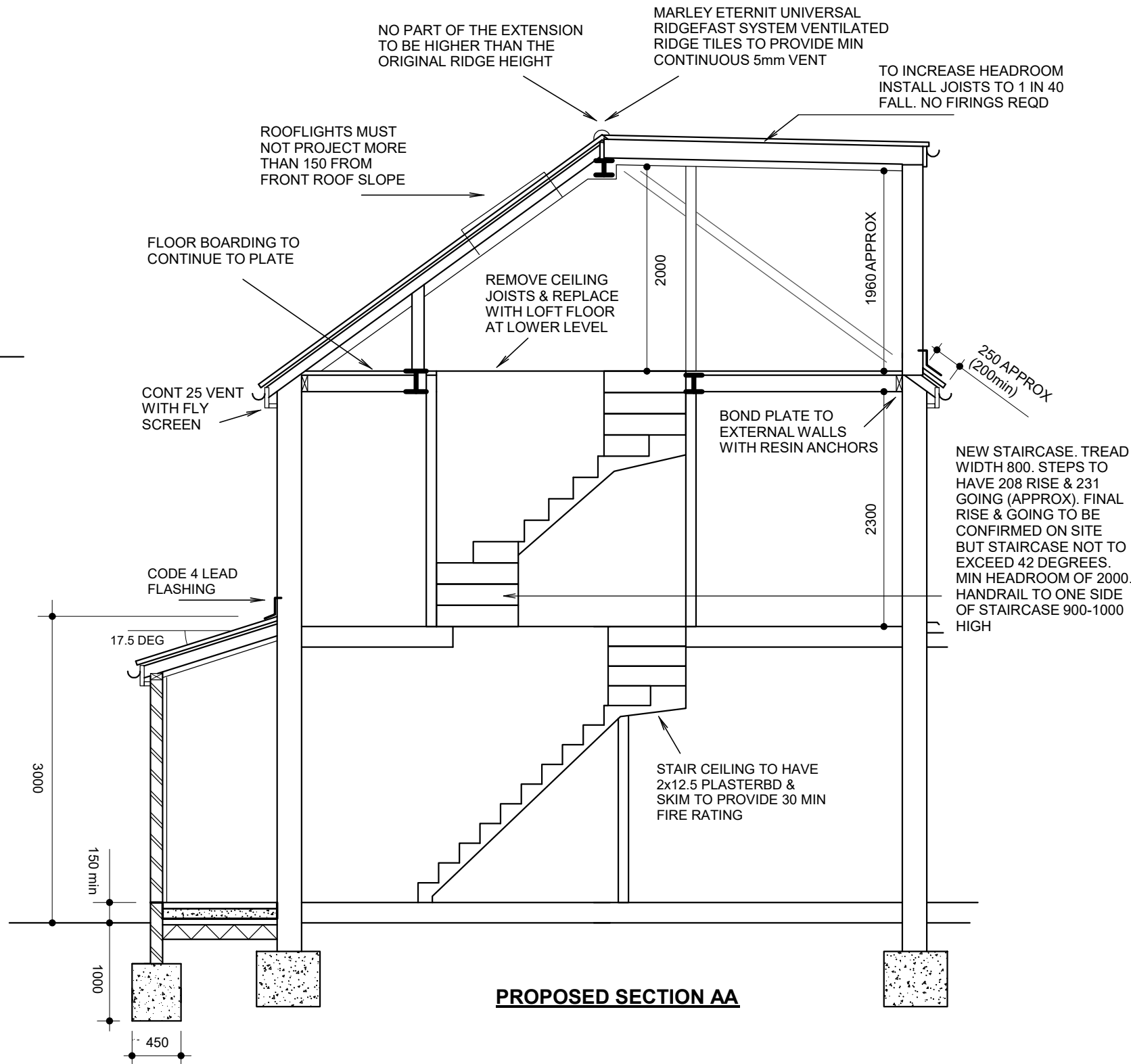
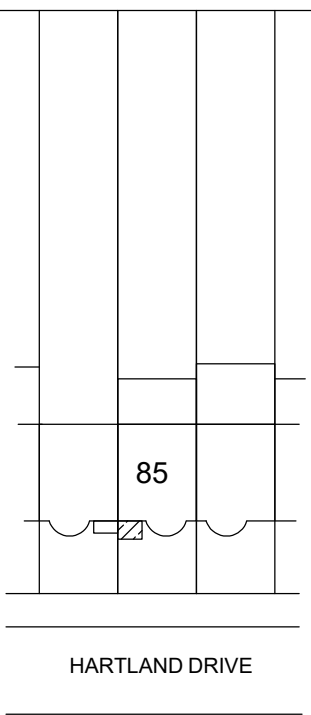
ALL DIMENSIONS TO BE CHECKED AND CONFIRMED ON SITE. TOTAL ROOF EXTENSIONS MUST NOT EXCEED 40 CUBIC METRES MEASURED EXTERNALLY. HEIGHT MUST NOT EXCEED HEIGHT OF ORIGINAL MAIN ROOF RIDGE. ALL WORK MUST BE CONTAINED WITHIN THE SITE BOUNDARIES



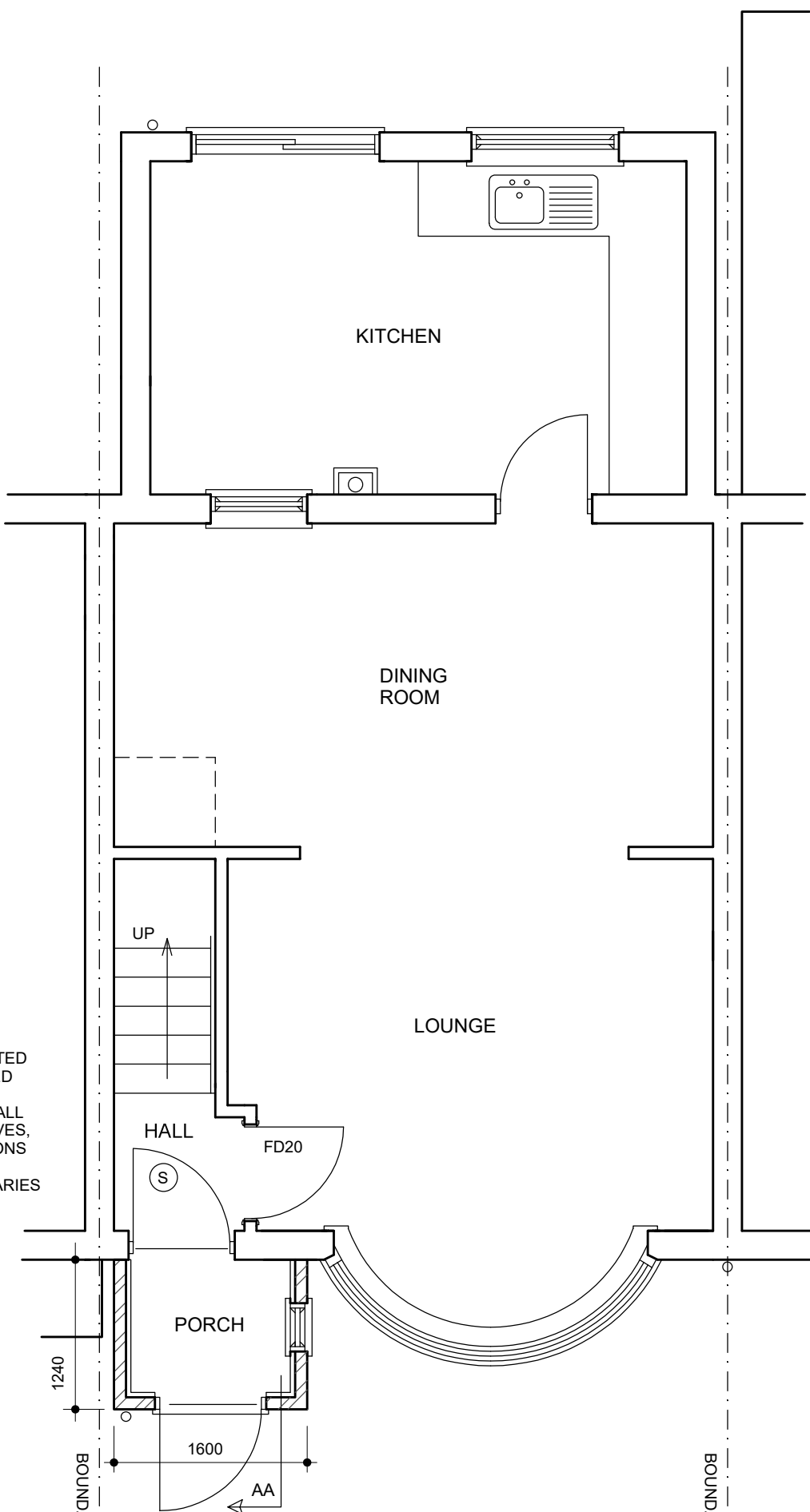
PROPOSED SIDE PORCH ELEVATION
SCALE 1:100

BLOCK PLAN
SCALE 1:500

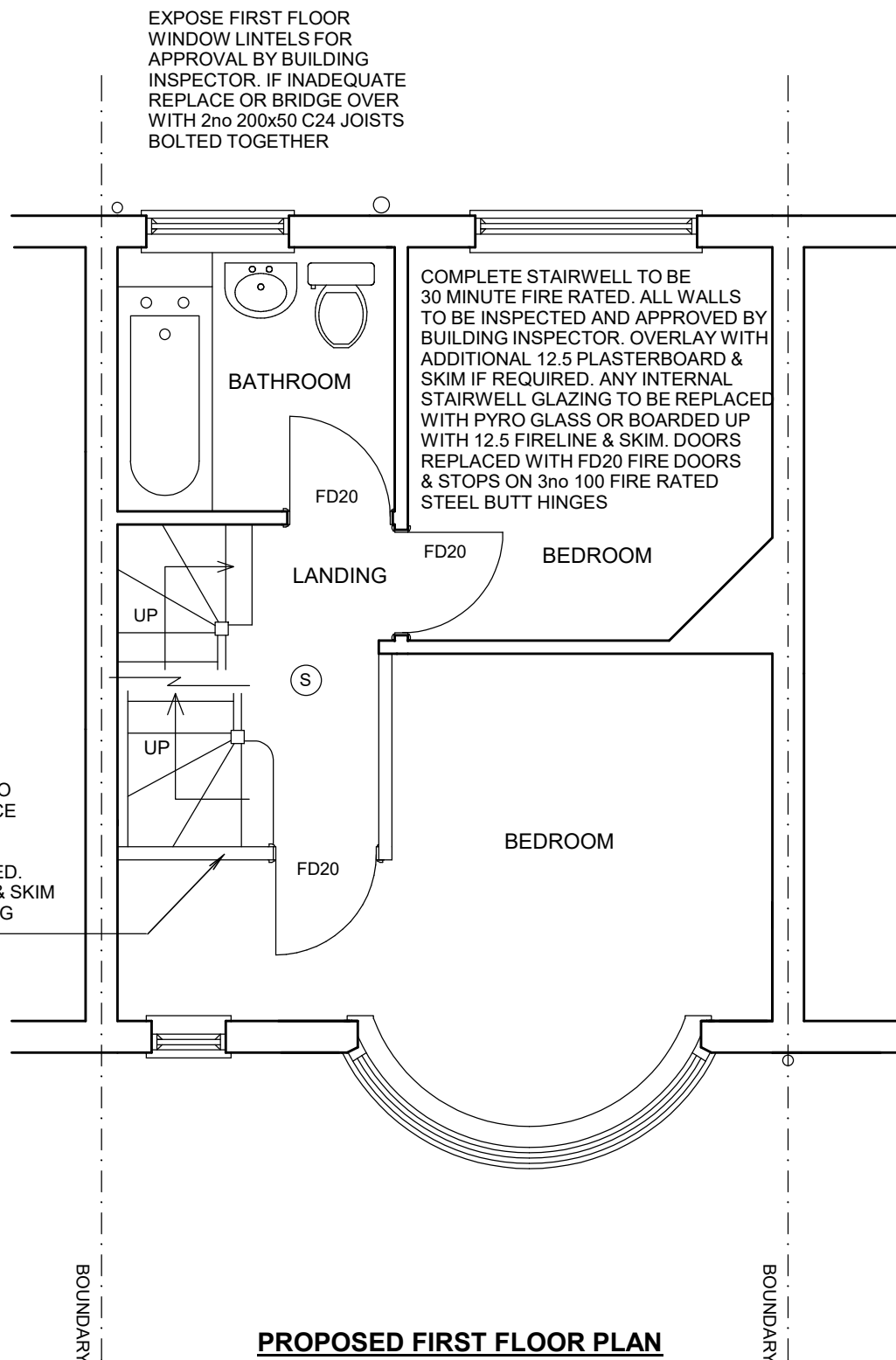
20m



PROPOSED SECTION AA

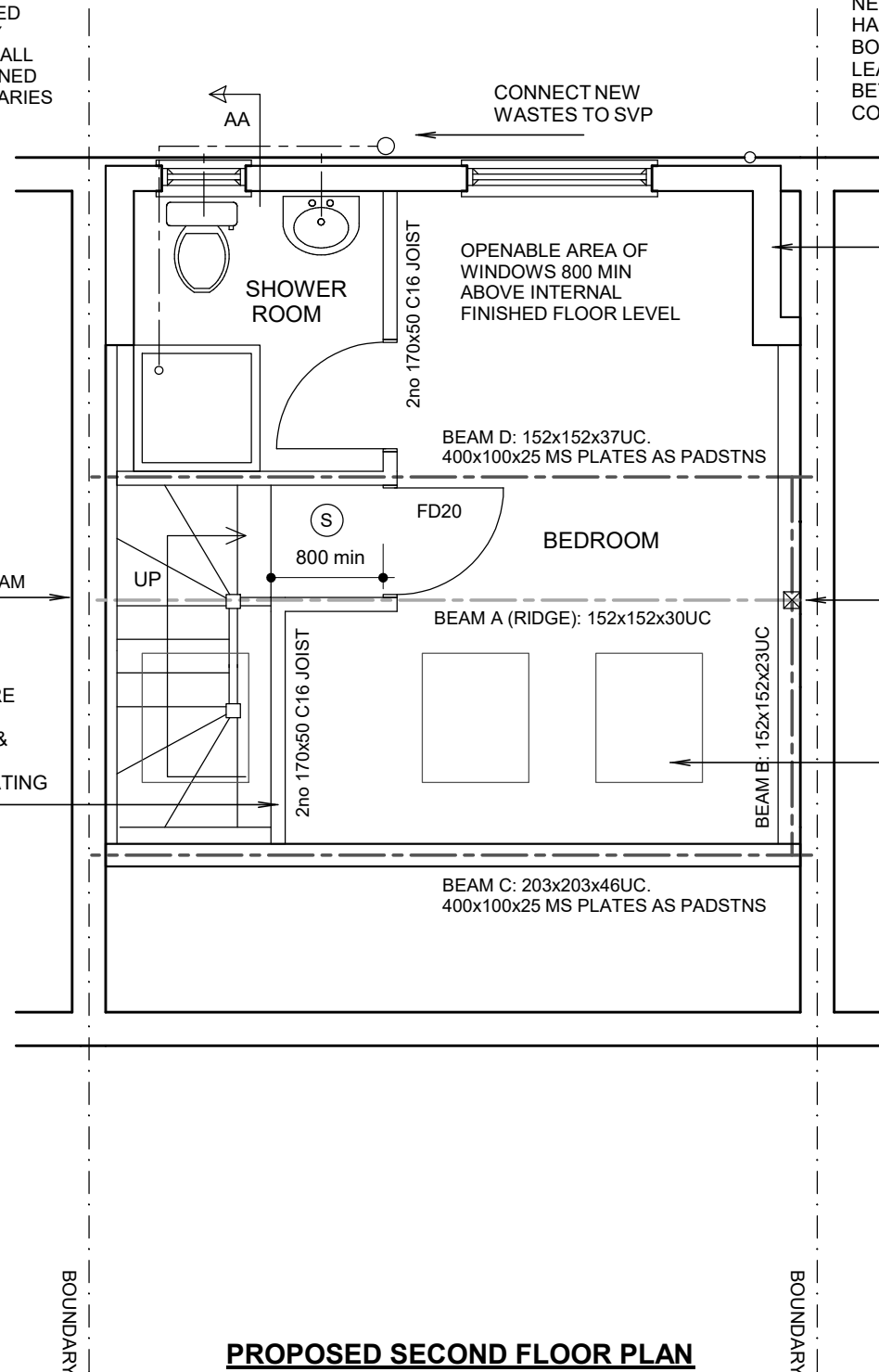


PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

BOUNDARIES ESTIMATED AND TO BE CONFIRMED ON SITE BEFORE ANY WORK COMMENCES. ALL WORK TO BE CONTAINED WITHIN TRUE BOUNDARIES



PROPOSED SECOND FLOOR PLAN

NEIGHBOURING HOUSE HAS DORMER CLOSE TO BOUNDARY. BUILDER TO LEAVE ADEQUATE SPACE BETWEEN DORMERS TO COMPLETE WEATHERINGS

DORMER CHEEK BEARING ON DOUBLE RAFTER

NEIGHBOURING LOFT SPACE CHIMNEY BREASTS AND WHOLE CHIMNEY STACK HAS PREVIOUSLY BEEN REMOVED. REMOVE REMAINING CHIMNEY BREASTS TO ROOFSPACE. NO STRUCTURAL WORK PROPOSED.

100x100 C24 TIMBER POST TO CARRY RIDGE BEAM OVER

VELUX ROOFLIGHT. 780x980 MK04 GGL WITH VELUX FLASHING KIT

(S) SELF CONTAINED MAINS OPERATED INTERLINKED OPTICAL SMOKE DETECTOR SYSTEM IN ACCORDANCE WITH BS5839 OR BS5446. ALARMS TO HAVE BATTERY BACK UP. DETECTORS 300mm FROM WALLS

(H) HEAT DETECTOR INTERLINKED WITH SMOKE DETECTORS

ALL FIRE DOORS TO BE FITTED WITH INTUMESCENT STRIPS TO DOOR OR FRAME. 3no 100mm STEEL BUTT HINGES WITH MELTING POINT IN EXCESS OF 800 DEG C

85 LINDEN AVENUE RUISLIP MIDDX HA4 8TZ

LOFT CONVERSION. FRONT PORCH.

SCALE 1:50 / 1:100 @ A1

JAN 2024

DRG No. 2408.2 REV A

JAMES RUSH ASSOCIATES LTD

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10.00 METRES @ 1:100

5.00 METRES @ 1:50

BOUNDARIES ESTIMATED AND TO BE CONFIRMED ON SITE. ALL NEW WORKS TO BE CONTAINED WITHIN TRUE BOUNDARIES UNLESS STATED OTHERWISE ON PLAN
ALL NEW WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS
DIMENSIONS IN MILLIMETRES AND TO BE CONFIRMED ON SITE
ALL STEEL DIMENSIONS TO BE CONFIRMED ON SITE AND NOT BE TAKEN FROM STRUCTURAL CALCULATIONS
ALL DRAINS & TREES ARE ESTIMATED AND ARE TO BE CHECKED & CONFIRMED ON SITE BEFORE ANY WORK COMMENCES
CLIENT TO SERVE PARTY WALL ACT NOTICE BEFORE WORK COMMENCES
ALL WORK TO BE CARRIED OUT & SUPERVISED BY COMPETENT OPERATIVES
BATS ARE PROTECTED BY LAW. STOP WORK IF BATS FOUND ON SITE.

DUE TO SURVEY LIMITATIONS EXISTING JOIST SPANS ASSUMED UNTIL CONFIRMED ON SITE. ALL WALLS & PARTITIONS TO BE CONSIDERED LOADBEARING UNTIL OPENED UP ON SITE AND CHECKED BY COMPETENT PERSON TO CONFIRM OTHERWISE. MUST BE CONFIRMED BEFORE ANY WORK COMMENCES
IF STRUCTURAL ENGINEERS DESIGN RELATING TO STRUCTURAL ELEMENTS CONTRACTS ARCHITECTURAL DRAWINGS SPEC. ENGINEER'S DESIGN PREVAILS
THIS DRAWING IS FOR PLANNING & BUILDING REGULATION APPLICATION PURPOSES ONLY. BUILDER/CLIENT TO APPOINT COM CONSULTANT TO ENSURE WORKS COMPLY WITH COM REGULATIONS BEFORE WORK COMMENCES
SINCE WE HAVE NO ACCESS TO THE DEEDS OF THE PROPERTY IT IS THE RESPONSIBILITY OF THE CLIENT TO ENSURE THAT THE WORKS DO NOT CONTRAVENE ANY RESTRICTIVE COVENANTS CONTAINED IN THE DEEDS