



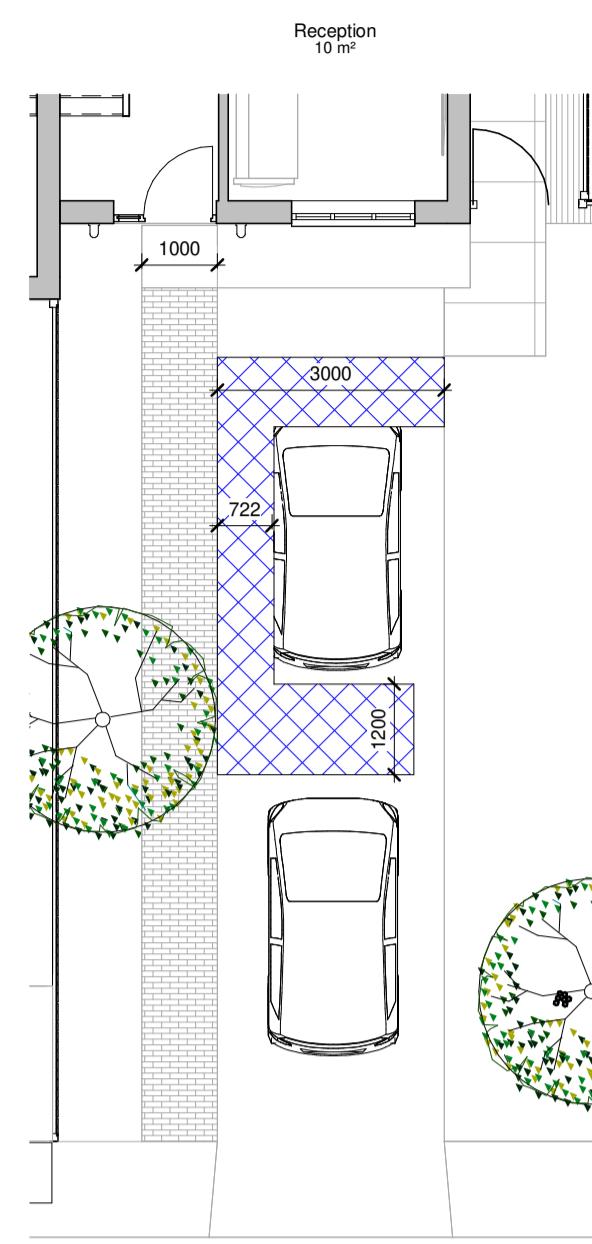
## Vehicular tracking and splay

**NOTE**  
 This drawing must not be reissued, loaned or copied without the written consent of Consilio Town Planning Ltd. (the originator). All errors, omissions, discrepancies should be reported to the originator immediately. All dimensions to be checked before site fabrication by the contractor, his sub-contractor or supplier. Do not scale plans - use figure or grid dimensions where given. Any deviation from the drawing to be reported to the originator immediately. The Principal Contractor shall carry out a risk assessment of the proposed work and liaise with the principal designer before works commence if there is any doubt as to being able to complete the project in a safe manner compliant with the Construction Design and Management Regulations 2015. All works to comply with the relevant British Standards, Codes of Practice and the Building Regulations.

**Consilio**   
**TELEPHONE**  
 01494932288  
**EMAIL**  
 INFO@CONSILIOTOWNPLANNING.CO.UK  
**WEB**  
 WWW.CONSILIOTOWNPLANNING.CO.UK  
**CONSILIO TOWN PLANNING LTD.**  
 BROOK HOUSE, 54A COWLEY MILL ROAD  
 UXBRIDGE  
 MIDDLESEX  
 UB8 2FX

**CLIENT**  
 RRAK PROPERTIES  
**ADDRESS**  
 19 BEACON CLOSE  
 UXBRIDGE  
 UB8 1PX  
**TITLE**  
 PROPOSED DRAWINGS  
 VEHICULAR TRACKING AND SPLAY

**SCALE** 1:100 @A1  
**DATE** FEB 2023  
**DRAWN** AH  
**CHECKED** HM  
**JOB NO.** 19-22 **DRAWING NO.** 003 **REV:**

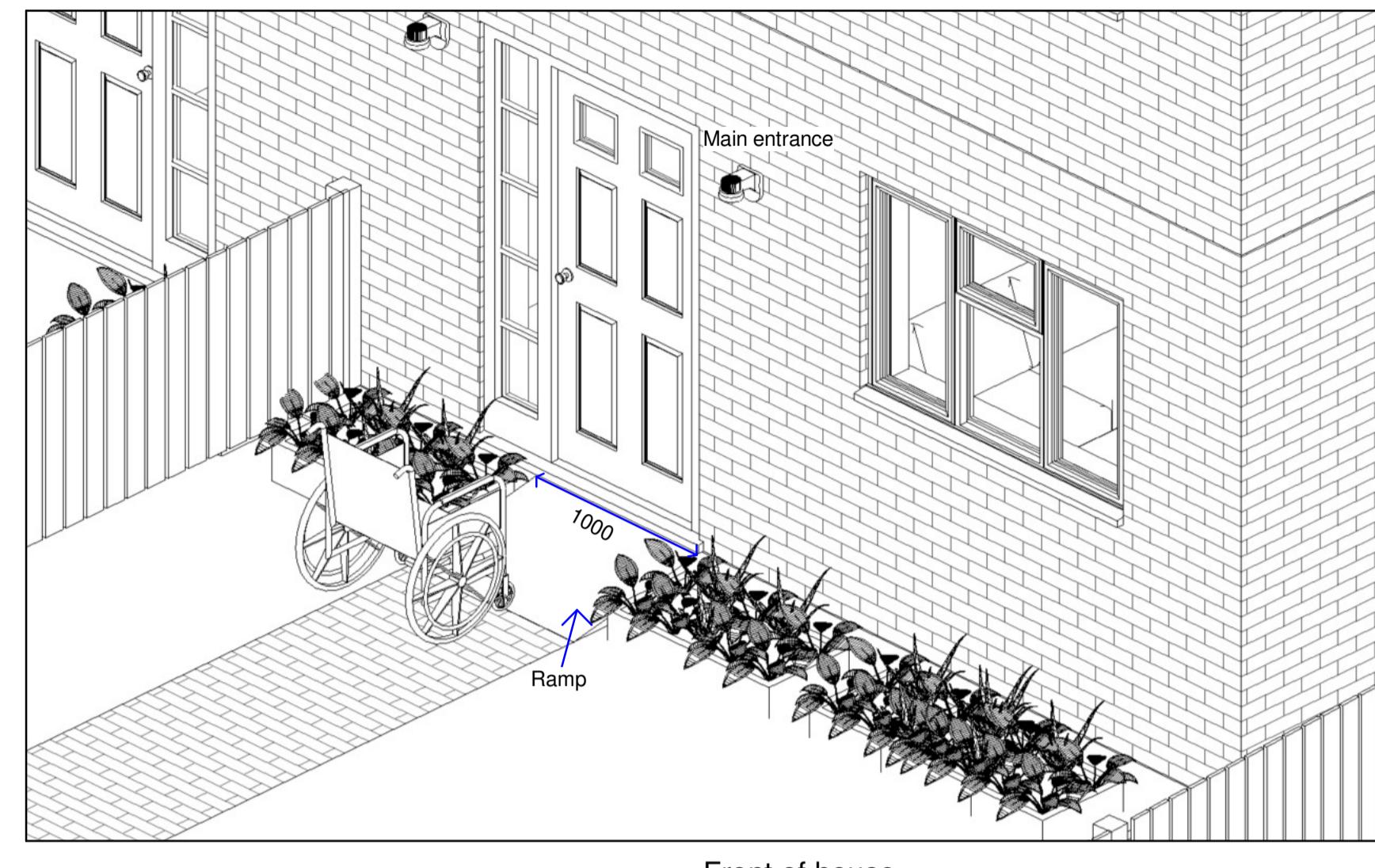


Ramp

- Gradient between 1:20 -1:12
- Width of 1000 for private approach route
- Every flight has top and bottom landing clear of any door swing

Accessible Parking

- Facilitates a wheelchair user getting in and out of a car from either side, and to allow designated access to the boot space
- Minimum clear access zone of 1200mm at the rear side of parking



Front of house

Internal Circulation Areas and Doorways

- All halls/landing provide a minimum clear width of 1100
- All door ways are minimum 900mm

Living, Kitchen and Eating Areas

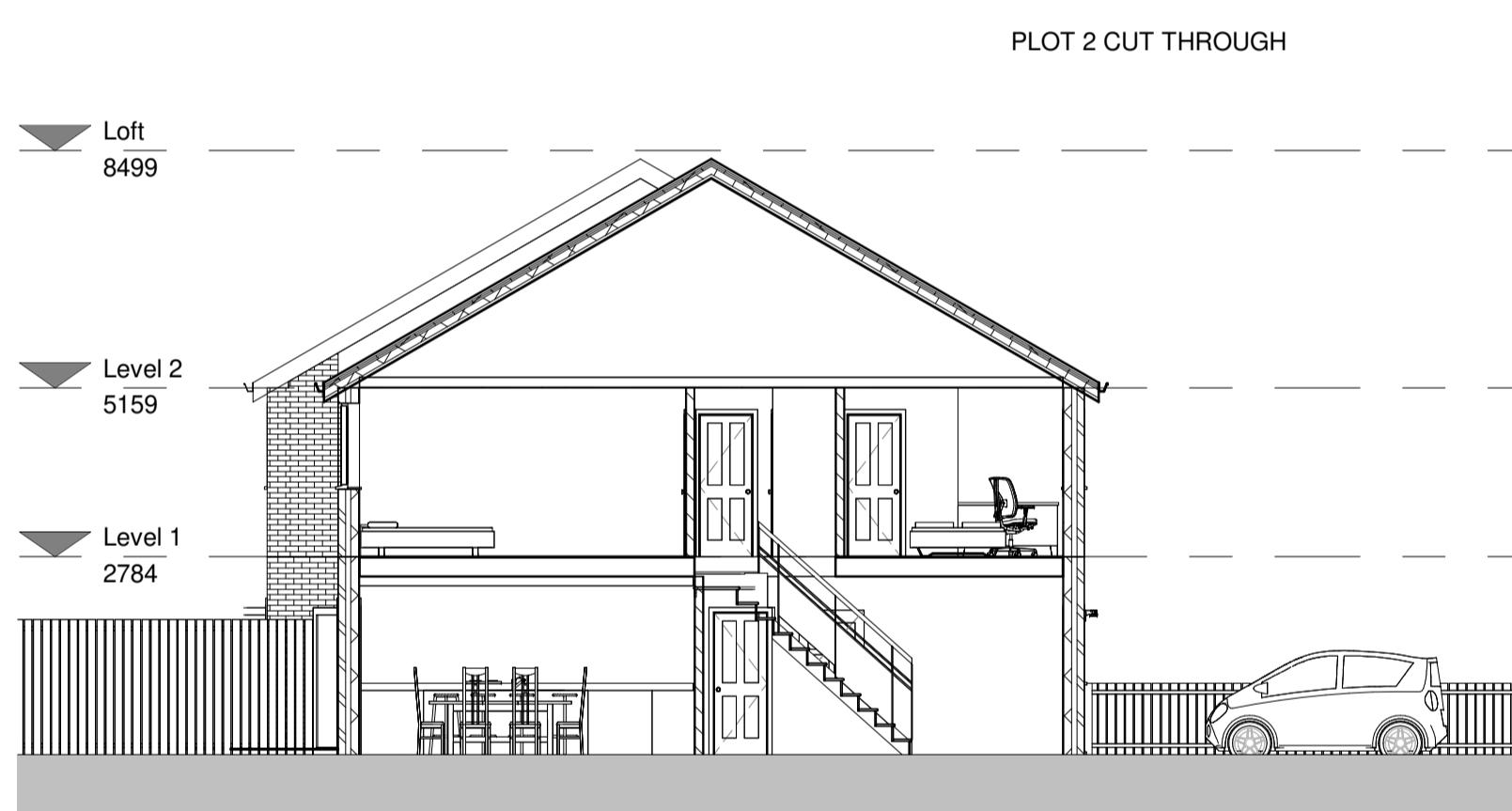
- 1200 clear space from all kitchen units and appliances
- Within the entrance store there is a living room with a kitchen combination

Bedrooms

- Clear access to window and no localised obstructions
- Clear access zone of 1000mm wide on at least one side and at the foot of the bed

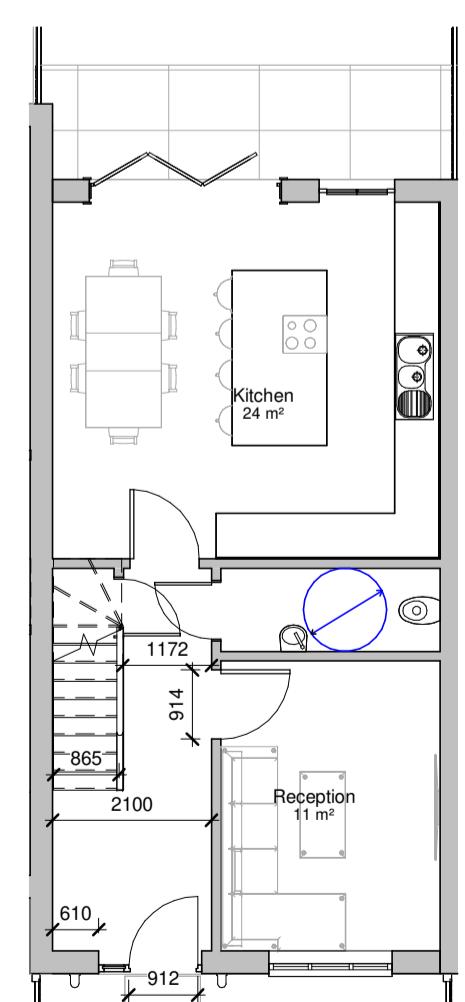
Bathrooms

- Achieves the necessary clear access zones (wheelchair user transfer and manoeuvring space) between bathroom furniture items
- Clear turning circle of 1200mm minimum

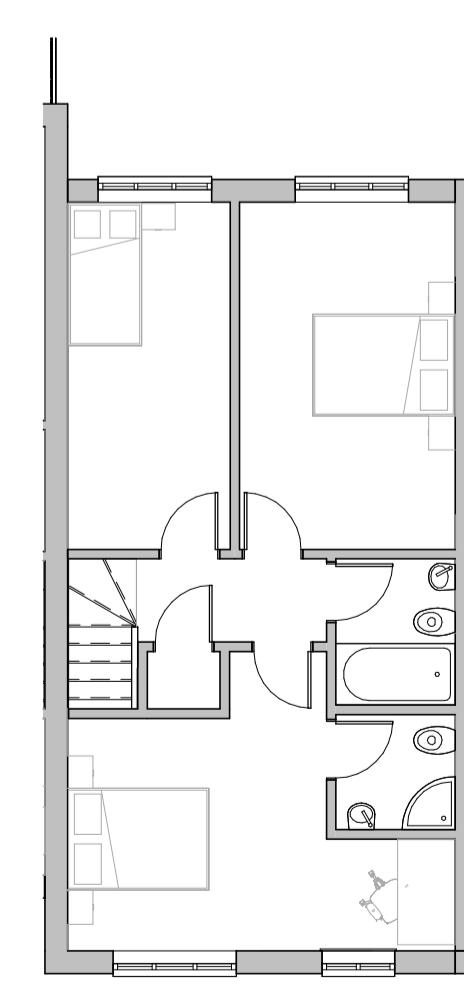


Section - Proposed

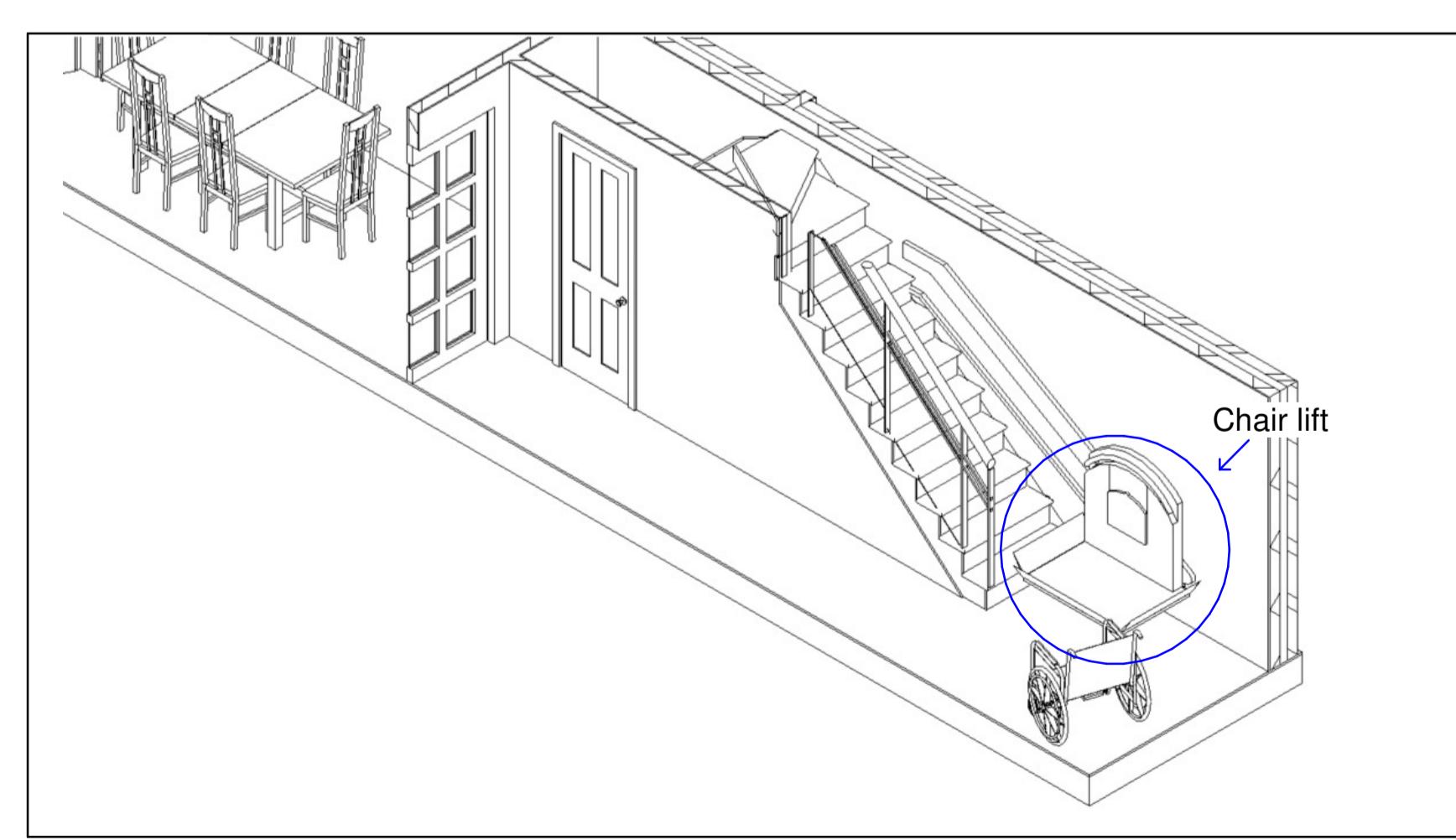
1 : 100



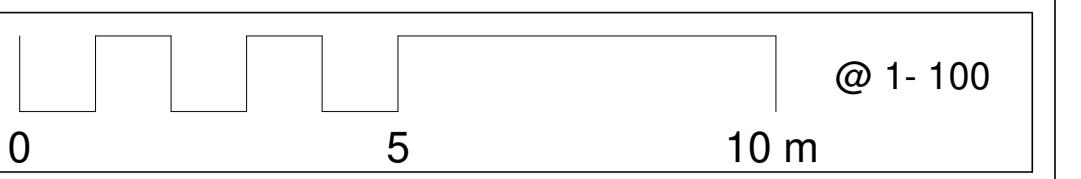
Ground floor



First floor



Ground floor entrance  
cut through



@ 1-100

0 5 10 m

**NOTE**  
This drawing must not be reissued, loaned or copied without the written consent of Consilio Town Planning Ltd. (the originator). All errors, omissions, discrepancies should be reported to the originator immediately. All dimensions to be checked before site fabrication by the contractor, his sub-contractor or supplier. Do not scale plans - use figure or grid dimensions where given. Any deviation from the drawing to be reported to the originator immediately. The Principal Contractor shall carry out a risk assessment of the proposed work and liaise with the principal designer before works commence if there is any doubt as to being able to complete the project in a safe manner compliant with the Construction Design and Management Regulations 2015. All works to comply with the relevant British Standards, Codes of Practice and the Building Regulations.



**CLIENT**  
RRAK PROPERTIES

**ADDRESS**  
19 BEACON CLOSE  
UXBRIDGE  
UB8 1PX

**TITLE**  
PROPOSED DRAWINGS  
ACCESSIBILITY

**SCALE** 1:100 @A1

**DATE** FEB 2023

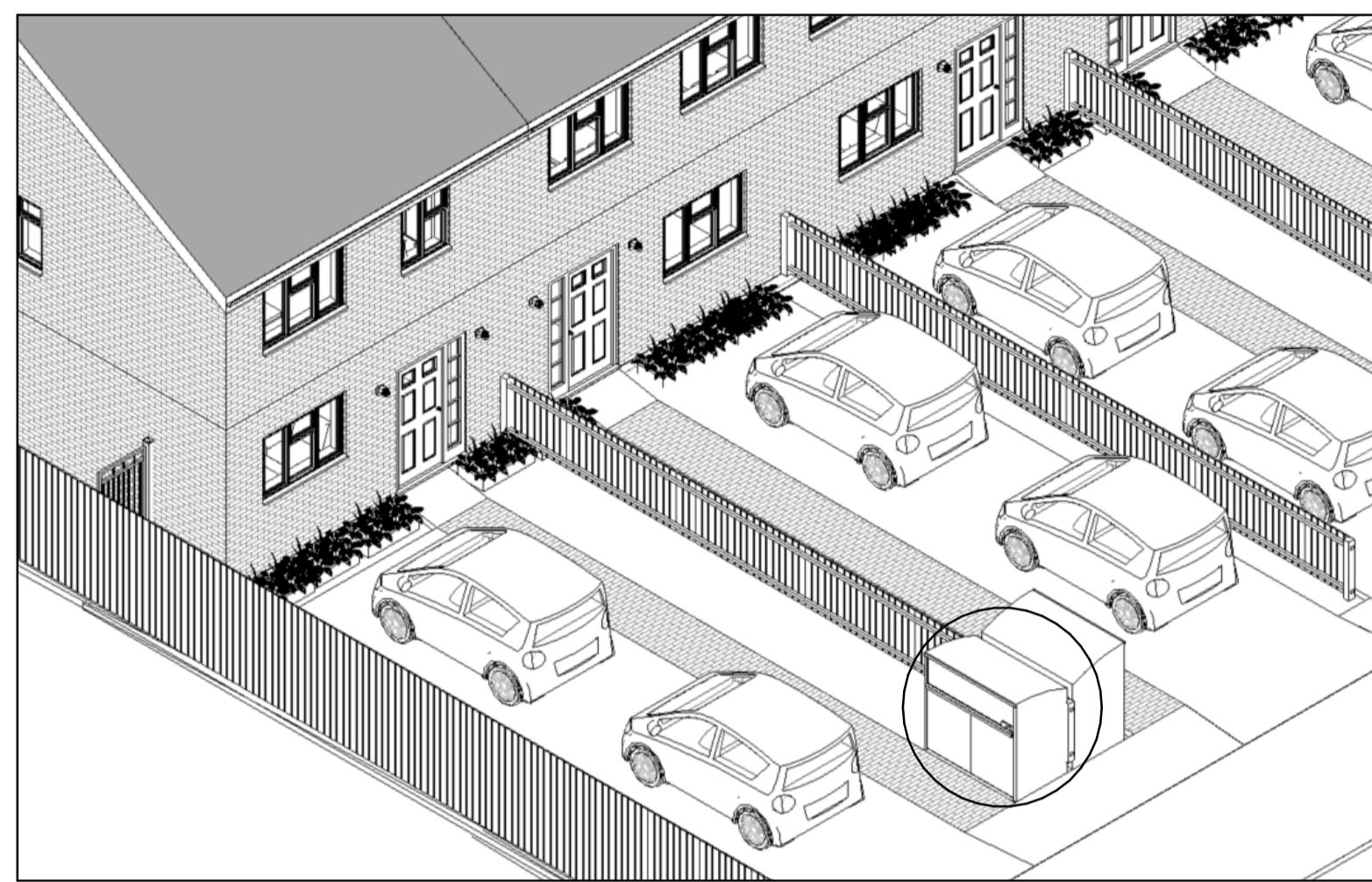
**DRAWN** AH

**CHECKED** HM

JOB NO. 19-22 DRAWING NO.003 REV:

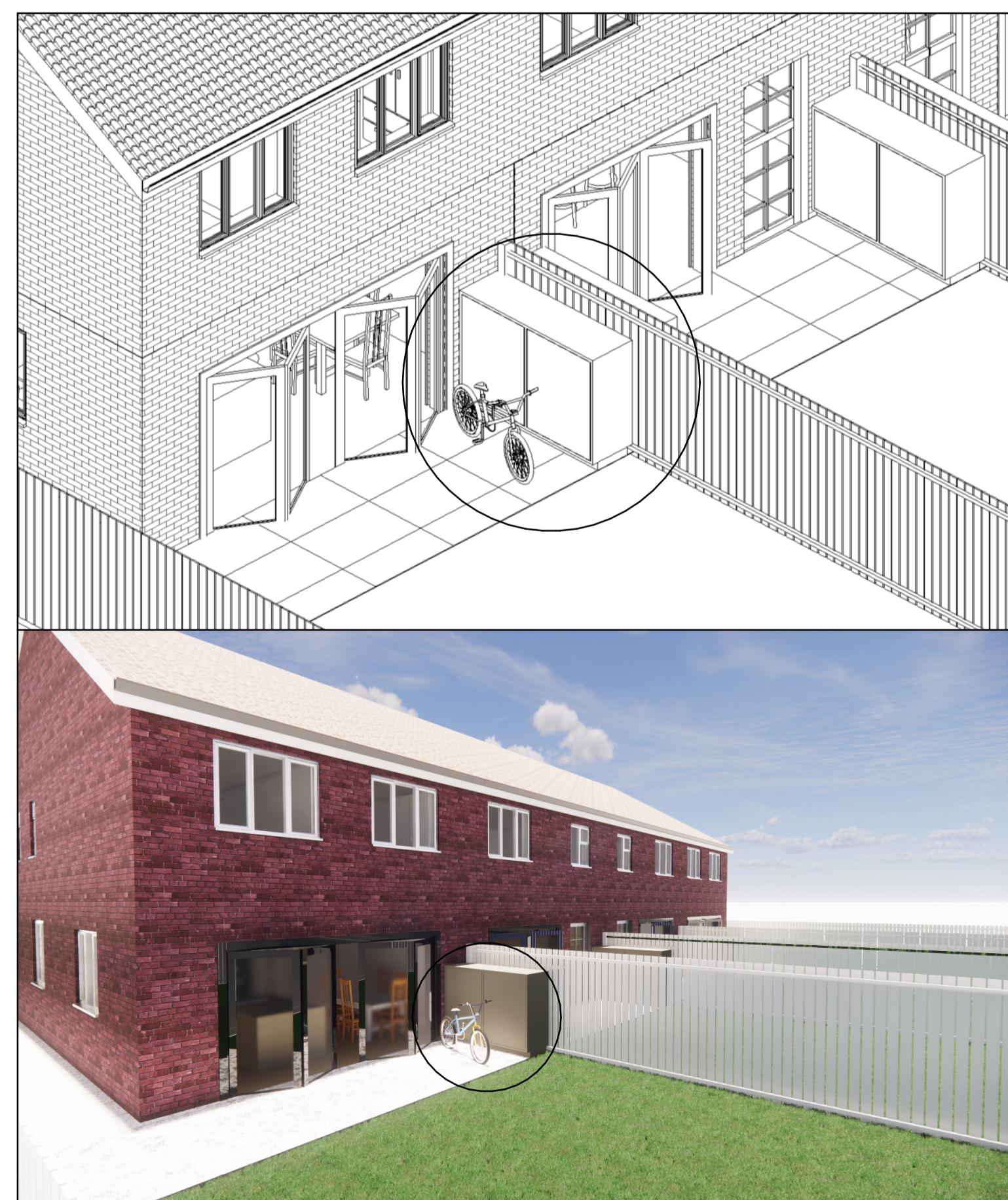
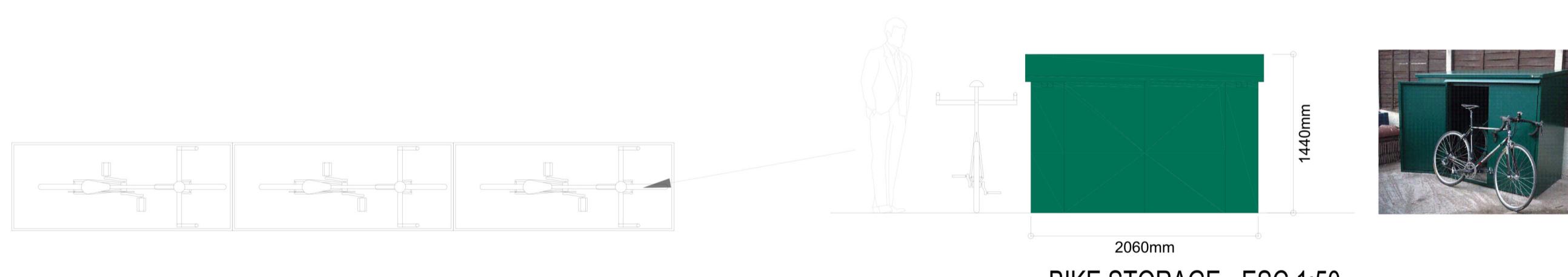
## Bin store

REFUSE TABLE	
BIN TYPE	SIZE
GREEN WHEELIE BIN	80 LITRES
BLACK BOX RECYCLING	55 LITRES
SMALL FOOD WASTE	5 LITRES



NOT TO SCALE

## Bike Storage



**Consilio**



TELEPHONE  
01494932288

EMAIL  
INFO@CONSILIOTOWNPLANNING.CO.UK

WEB  
WWW.CONSIGLIOTOWNPLANNING.CO.UK

CONSILIO TOWN PLANNING LTD.

BROOK HOUSE, 54A COWLEY MILL ROAD  
UXBRIDGE  
MIDDLESEX  
UB8 2FX

**CLIENT**  
RRAK PROPERTIES

**ADDRESS**  
19 BEACON CLOSE  
UXBRIDGE  
UB8 1PX

**TITLE**  
PROPOSED DRAWINGS  
BIN STORE & BIKE STORE

SCALE 1:100 @A1

DATE FEB 2023

DRAWN AH

CHECKED HM

JOB NO. 19-22 DRAWING NO.003 REV: