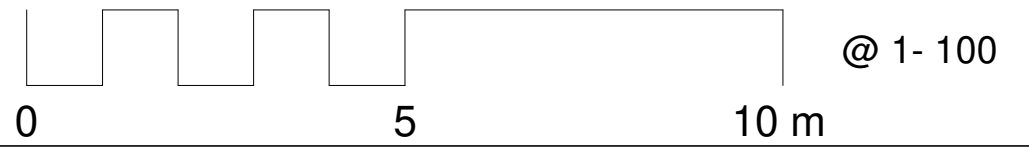


Vehicular tracking and splay



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**TELEPHONE**  
01494932288

**EMAIL**  
INFO@CONSILIOTOWNPLANNING.CO.UK

**WEB**  
WWW.CONSILIOTOWNPLANNING.CO.UK

**CONSILIO TOWN PLANNING LTD.**

BROOK HOUSE, 54A COWLEY MILL ROAD  
UXBRIDGE  
MIDDLESEX  
UB8 2FX

**CLIENT**  
RRAK PROPERTIES

**ADDRESS**  
19 BEACON CLOSE  
UXBRIDGE  
UB8 1PX

**TITLE**  
PROPOSED DRAWINGS  
VEHICULAR TRACKING AND SPLAY

**SCALE** 1:100 @A1

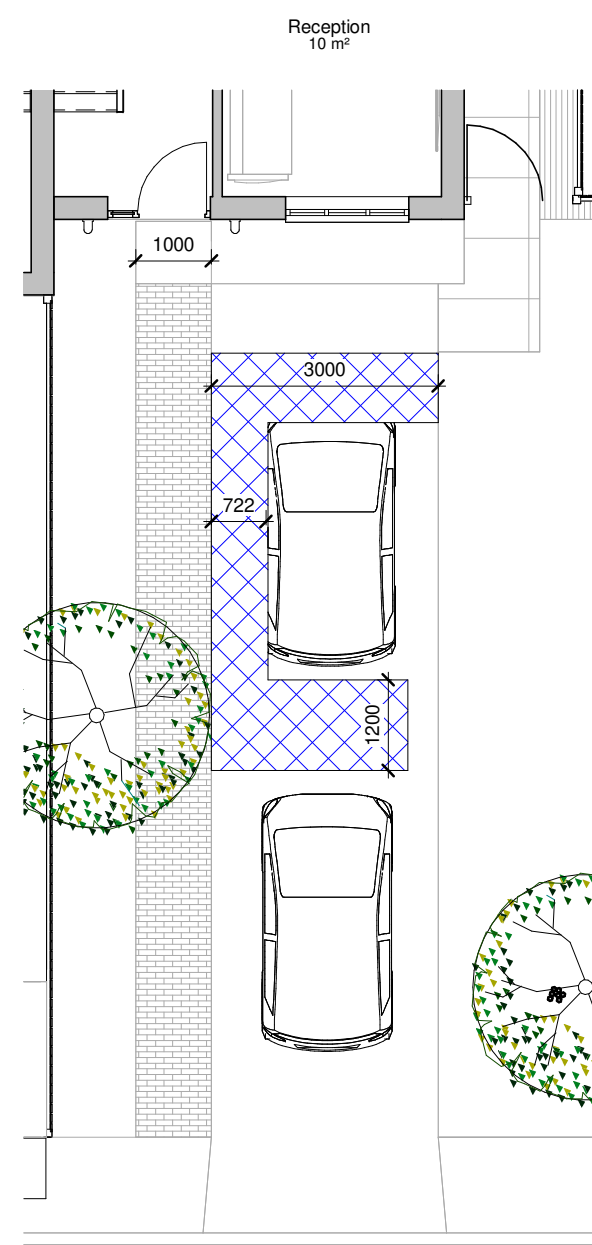
**DATE** FEB 2023

**DRAWN** AH

**CHECKED** HM

JOB NO. 19-22 DRAWING NO.003 REV:



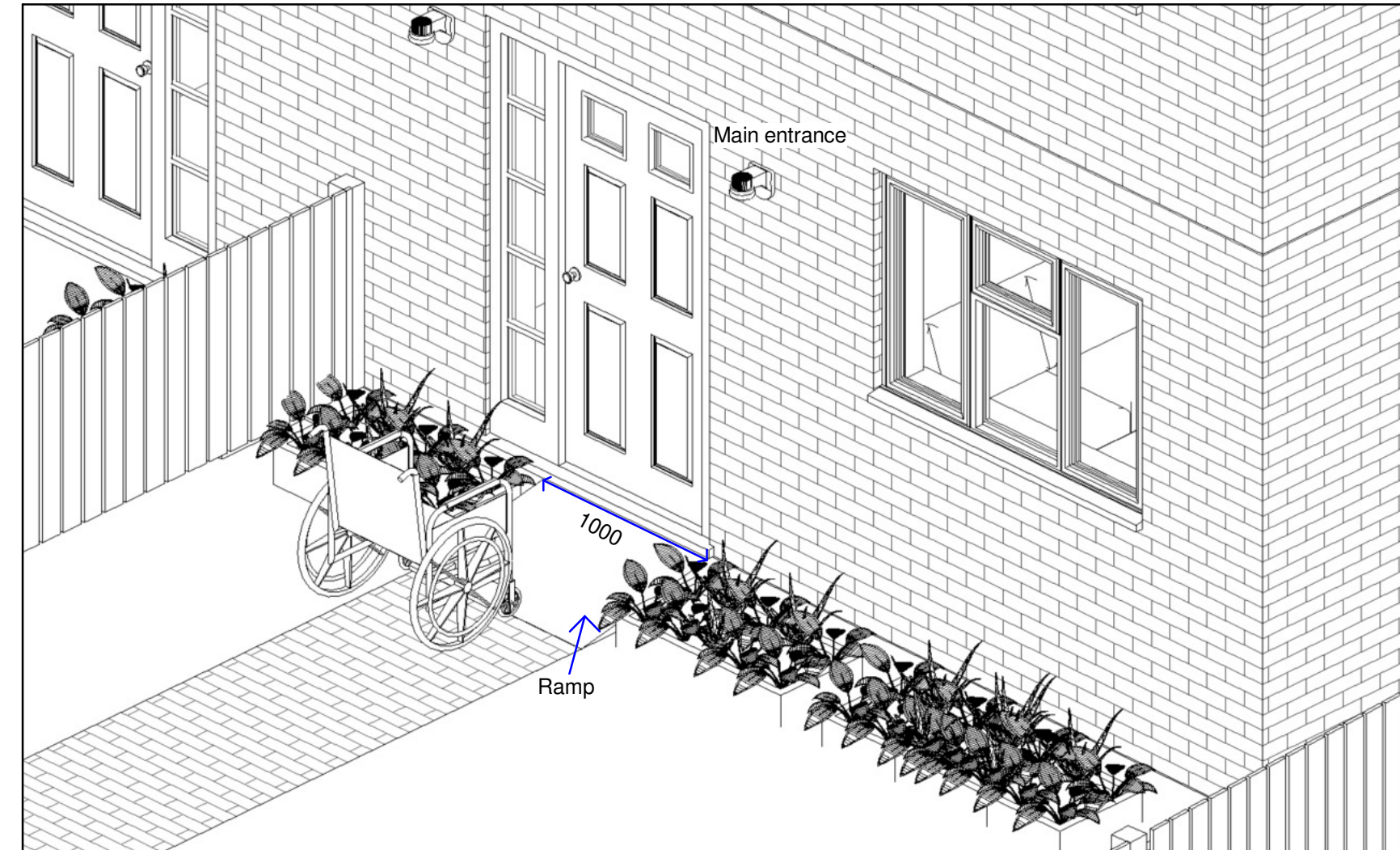


#### Ramp

- Gradient between 1:20 -1:12
- Width of 1000 for private approach route
- Every flight has top and bottom landing clear of any door swing

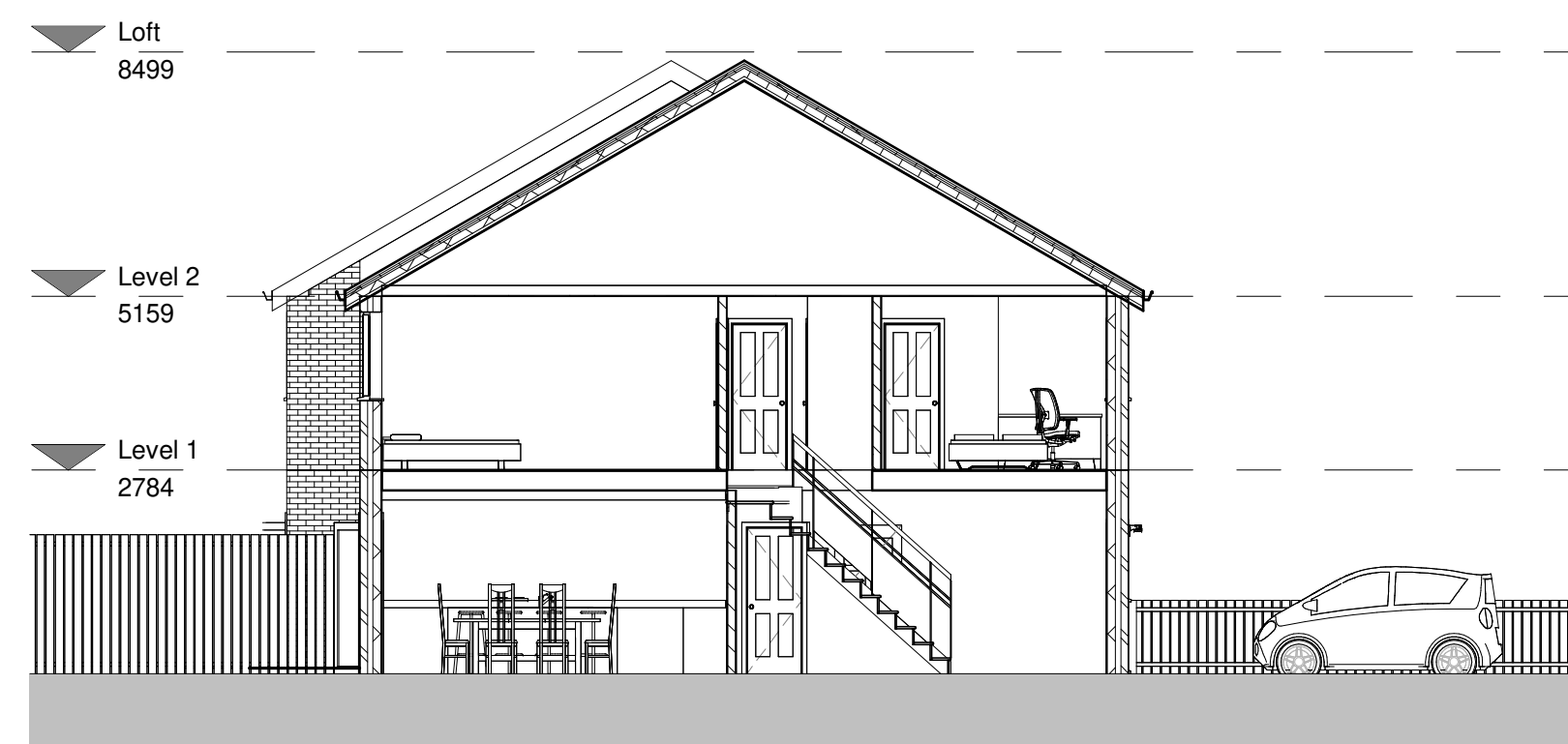
#### Accessible Parking

- Facilitates a wheelchair user getting in and out of a car from either side, and to allow designated access to the boot space
- Minimum clear access zone of 1200mm at the rear side of parking



Front of house

PLOT 2 CUT THROUGH



Section - Proposed  
1 : 100

#### Internal Circulation Areas and Doorways

- All halls/landing provide a minimum clear width of 1100
- All door ways are minimum 900mm

#### Living, Kitchen and Eating Areas

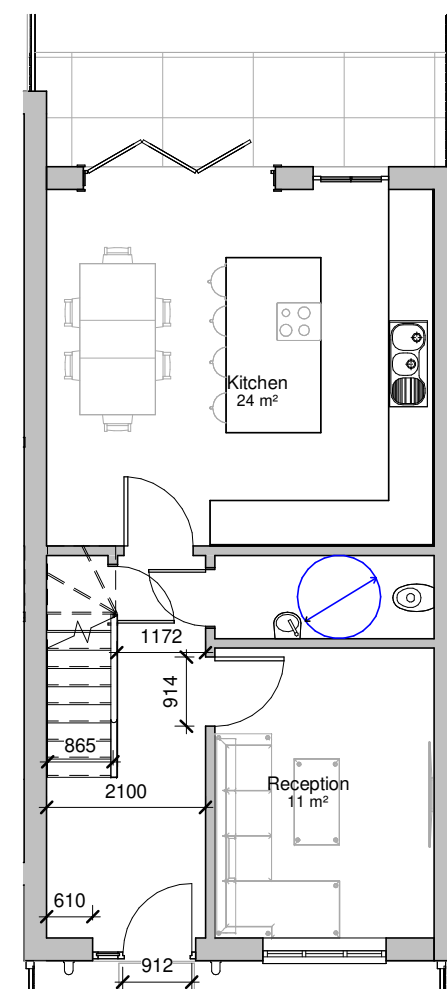
- 1200 clear space from all kitchen units and appliances
- Within the entrance store there us a living room with a kitchen combination

#### Bedrooms

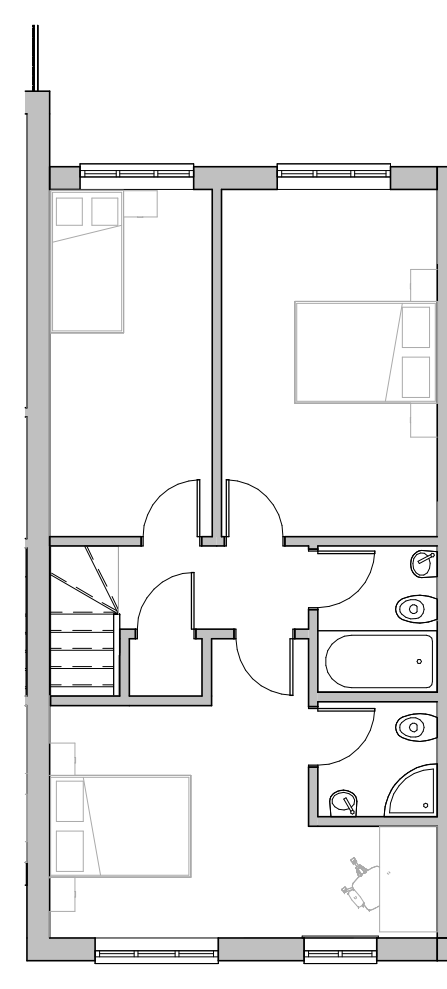
- Clear access to window and no localised obstructions
- Clear access zone of 1000mm wide on at least one side and at the foot of the bed

#### Bathrooms

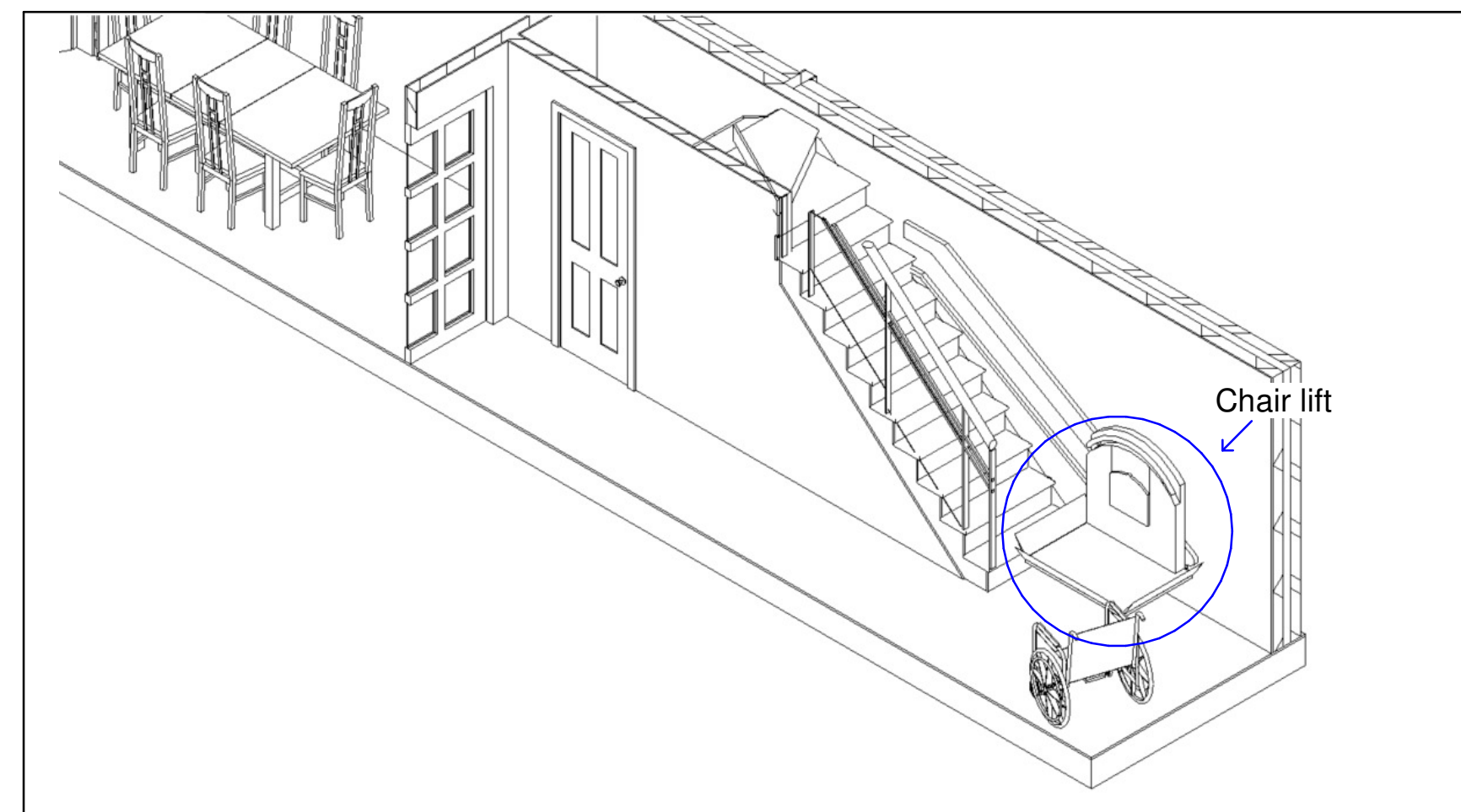
- Achieves the necaessary clear access zones (wheelchair user transfer and manoeuvring space) between bathroom furniture items
- Clear turning circle of 1200mm minimum



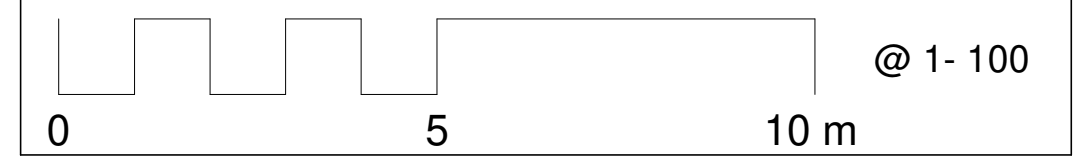
Ground floor



First floor



Ground floor entrance  
cut through



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**Consilio**



**TELEPHONE**  
01494932288

**EMAIL**  
INFO@CONSILIOTOWNPLANNING.CO.UK

**WEB**  
WWW.CONSILIOTOWNPLANNING.CO.UK

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UB8 2FX

#### CLIENT RRAK PROPERTIES

**ADDRESS**  
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UB8 1PX

**TITLE**  
PROPOSED DRAWINGS  
ACCESSIBILITY

**SCALE** 1:100 @A1

**DATE** FEB 2023

**DRAWN** AH

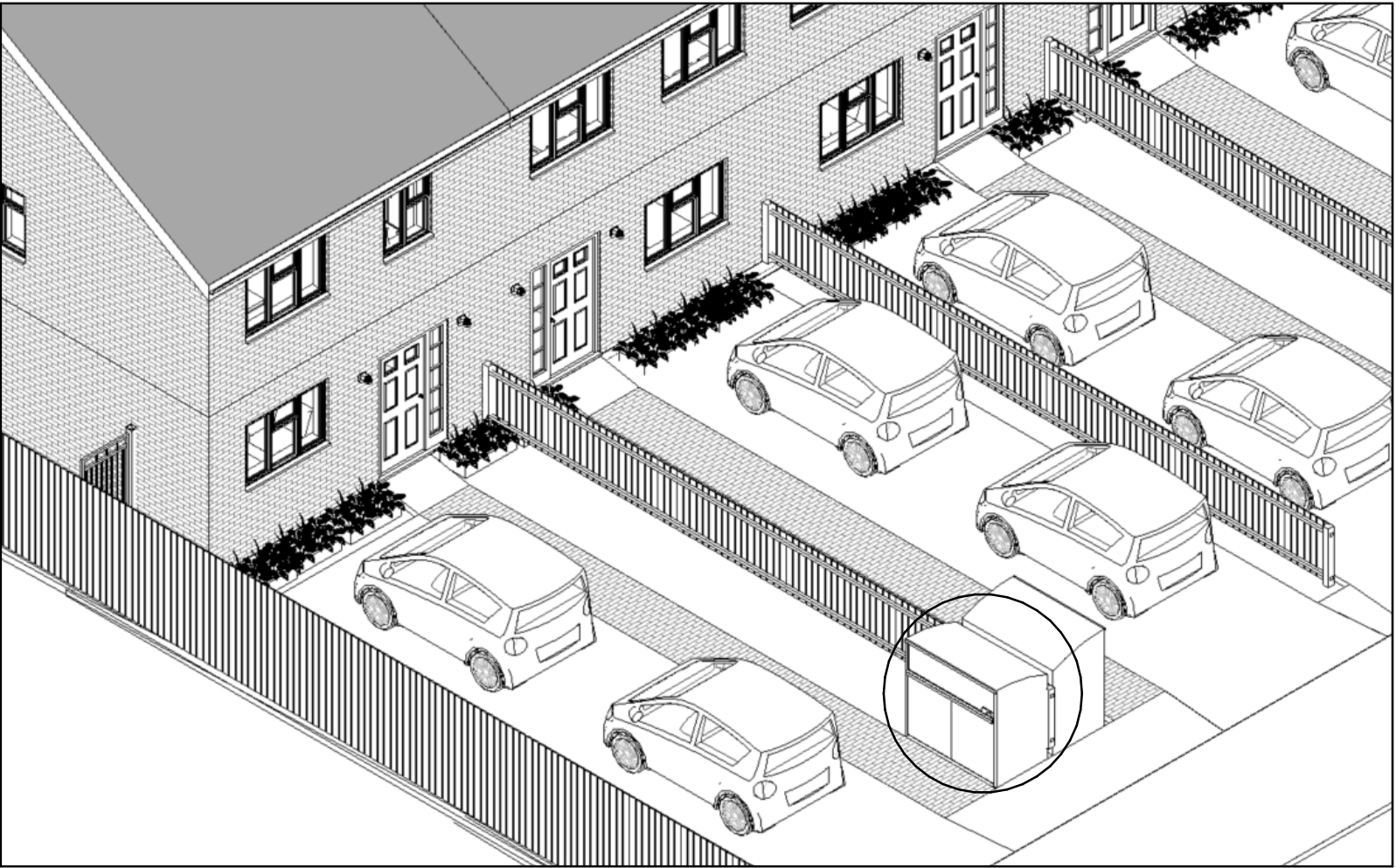
**CHECKED** HM

**JOB NO.** 19-22 **DRAWING NO.** 003 **REV:**



Bin store

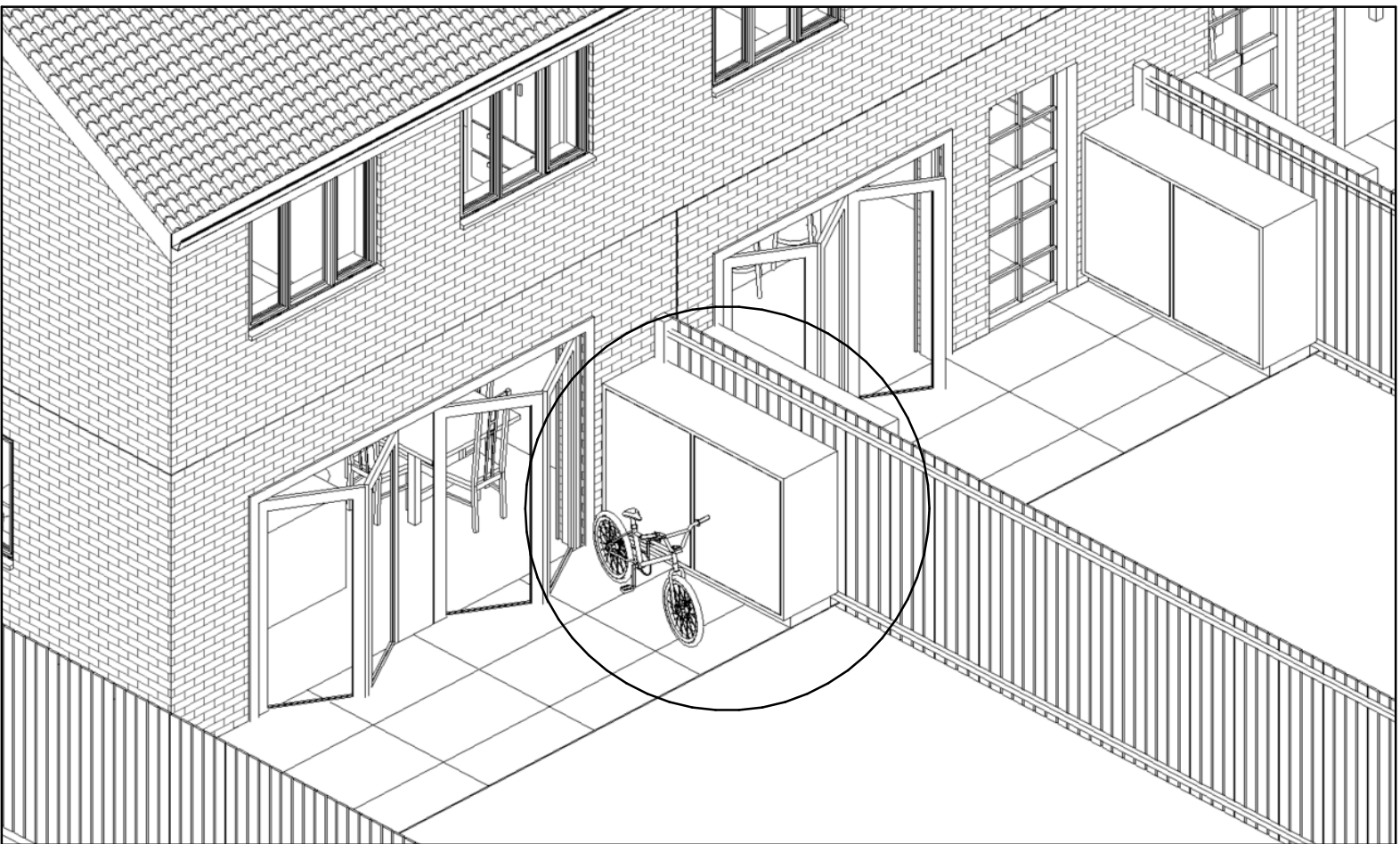
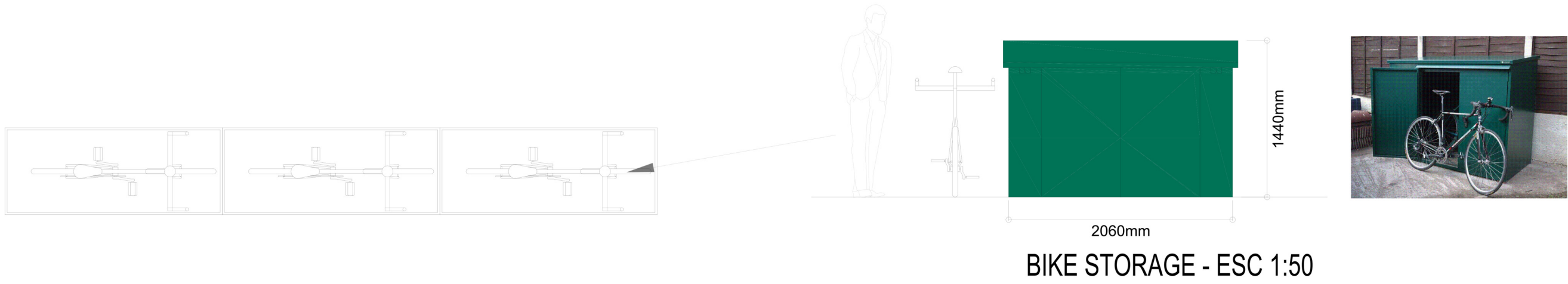
REFUSE TABLE	
BIN TYPE	SIZE
GREEN WHEELIE BIN	50 LITRES
BLACK BOX RECYCLING	50 LITRES
SMALL FOOD WASTE	5 LITRES



NOT TO SCALE

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Bike Storage



**TELEPHONE**  
01494932288

**EMAIL**  
INFO@CONSILIOTOWNPLANNING.CO.UK

**WEB**  
WWW.CONSILIOTOWNPLANNING.CO.UK

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UXBRIDGE  
UB8 1PX

**TITLE**  
PROPOSED DRAWINGS  
BIN STORE & BIKE STORE

**SCALE** 1:100 @A1

**DATE** FEB 2023

**DRAWN** AH

**CHECKED** HM

**JOB NO.** 19-22 **DRAWING NO.** 003 **REV:**