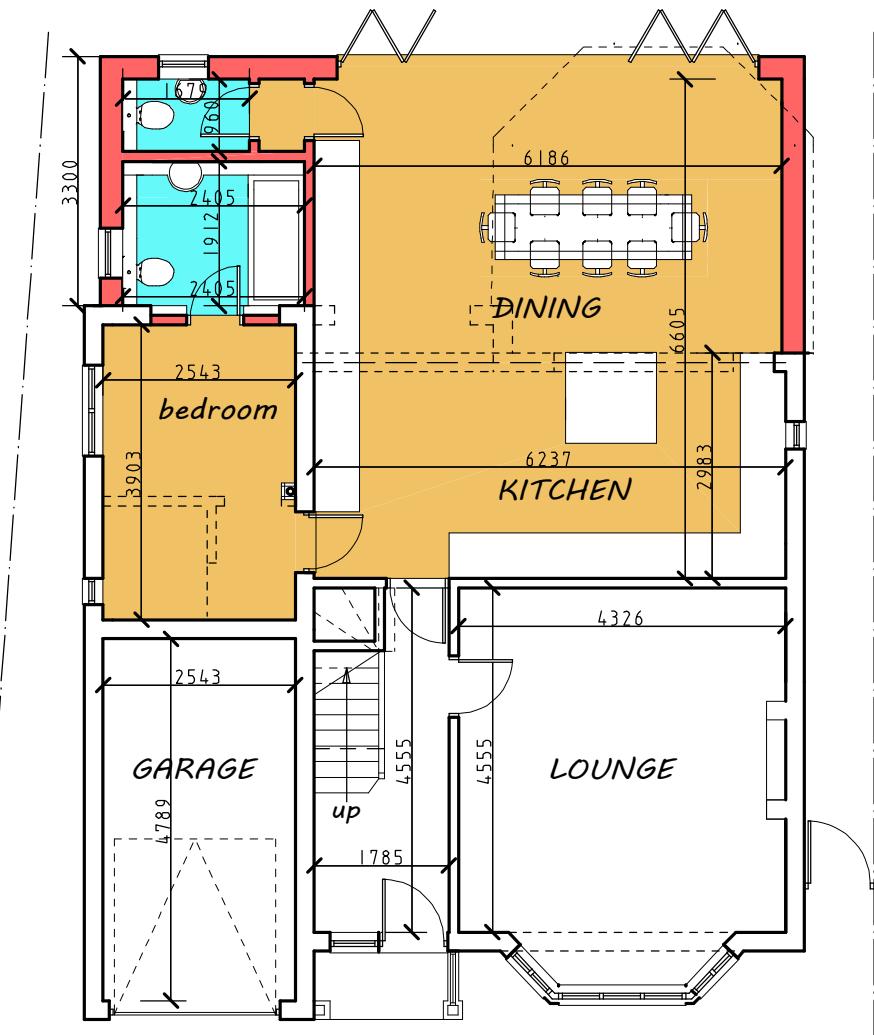
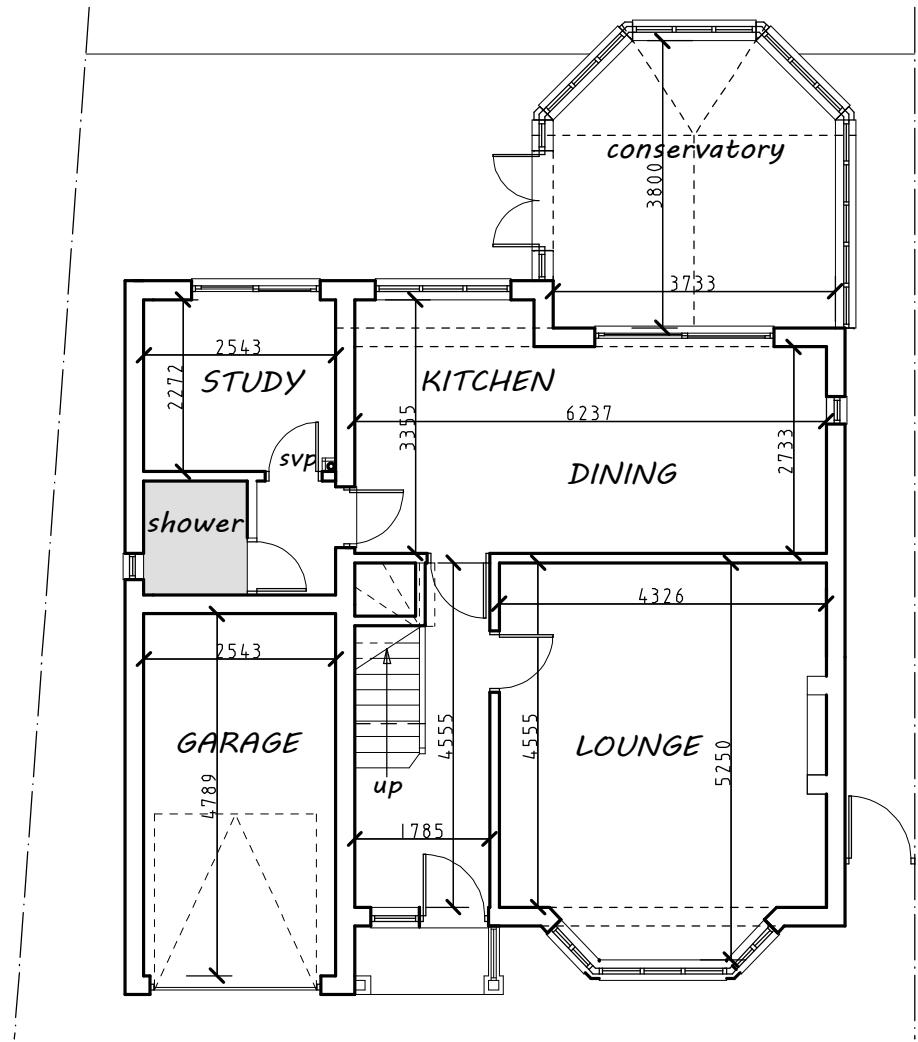


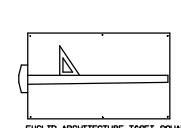
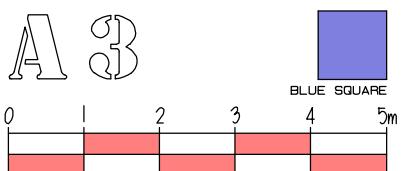
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 STRUCTURAL ENGINEER'S DETAILS & ALL RELEVANT STATUTORY APPROVAL DRAWINGS. THIS DRAWING MUST NOT BE USED
 AS THE SOLE BASIS FOR PREPARING STRUCTURAL CALCULATIONS. ALL DIMENSIONS, WALL THICKNESSES AND STRUCTURAL
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 AND CONDITIONS ON SITE. ANY OMISSIONS AND DISCREPANCIES MUST BE NOTIFIED TO THE SUPERVISING OFFICER PRIOR TO
 PROCURING MATERIALS OR COMMENCING CONSTRUCTION.

NOTE APPLICABLE TO ALL SITE BOUNDARIES:
 FOR EXCAVATIONS WITHIN 3 METRES OF A NEIGHBOURING OWNERS BUILDING OR WORKS ON A BOUNDARY LINE OR PENETRATIONS INTO PARTY WALLS,
 ATTENTION IS DRAWN TO THE PARTY WALL ETC. ACT 1996 UNDER WHICH AGREEMENT SHOULD BE OBTAINED FROM ADJOINING NEIGHBOURS IN WRITING, ONE
 MONTH PRIOR TO COMMENCEMENT OF THE WORKS. BOUNDARY LINE POSITIONS SHOWN ARE ASSUMED ONLY. THESE MUST BE VERIFIED & ESTABLISHED WITH
 ADJOINING OWNERS AND LOCAL AUTHORITIES CONSENT, BEFORE COMMENCING WORKS. NO ENCROACHMENT ACROSS BOUNDARY LINES.

DO NOT UNDER ANY CIRCUMSTANCES USE THIS DRAWING FOR PREPARING STRUCTURAL CALCULATIONS. ALL DIMENSIONS,
 WALL THICKNESSES AND STRUCTURAL CONDITIONS MUST BE VERIFIED ON SITE PRIOR TO PREPARING STRUCTURAL DETAILS.



THIS IS A
PLANNING DRAWING



THIS DRAWING IS COPYRIGHT AND MUST NOT BE REPRODUCED WITHOUT PRIOR PERMISSION.

CLIENT:

PROJECT TITLE:

PROPOSED DEVELOPMENT WORKS AT
179 JOEL STREET, PINNER HA5 2PD

EL SHADDAI PLANNING DRAWINGS

MOBILE: (07901) 068346

TITLE: EXISTING & PROPOSED GROUND FLOOR PLANS

DATE: march 2023

SCALE: 1:100
@ A3

DRAWING NO. ST/PD/01

REV.

PROJECT NO.