



DESIGN & ACCESS STATEMENT 39 PEMBROKE ROAD, RUISLIP, HA4 8NQ

INTRODUCTION

This Design & Access Statement supports a revised application for roof alterations, loft conversion and a minor ground-floor extension at 39 Pembroke Road. The revised design responds directly to issues raised in the previous refusal (ref. 17772/APP/2025/949).

Key amendments include:

- Retention of the main hipped roof, preserving the existing roof character of Pembroke Road.
- A modest roof-form adjustment to the existing rear section, redesigned as a gable while keeping the same ridge height and width. This rear change is not visible from the street and will not have any negative impact on neighbours.
- Ground-floor layout unchanged from previous scheme, as the previous officer confirmed the ground-floor extension was acceptable.

The revised design is intentionally conservative from the public realm, while providing necessary internal improvements for the homeowner.

SITE AND LOCAL CONTEXT

39 Pembroke Road is a detached bungalow which benefits from a front drive and a rear garden with access to the back from a side access.

It is located in a mixed-character area, situated within the borough of Hillingdon. The statement appropriately sets the context, noting that the street includes a variety of dwellings—bungalows, two-storey houses, and flats. The property has a bungalow to the left and a replacement two storey home following demolition of the old bungalow in 1983.



Front Elevation



Rear elevation of rear extension



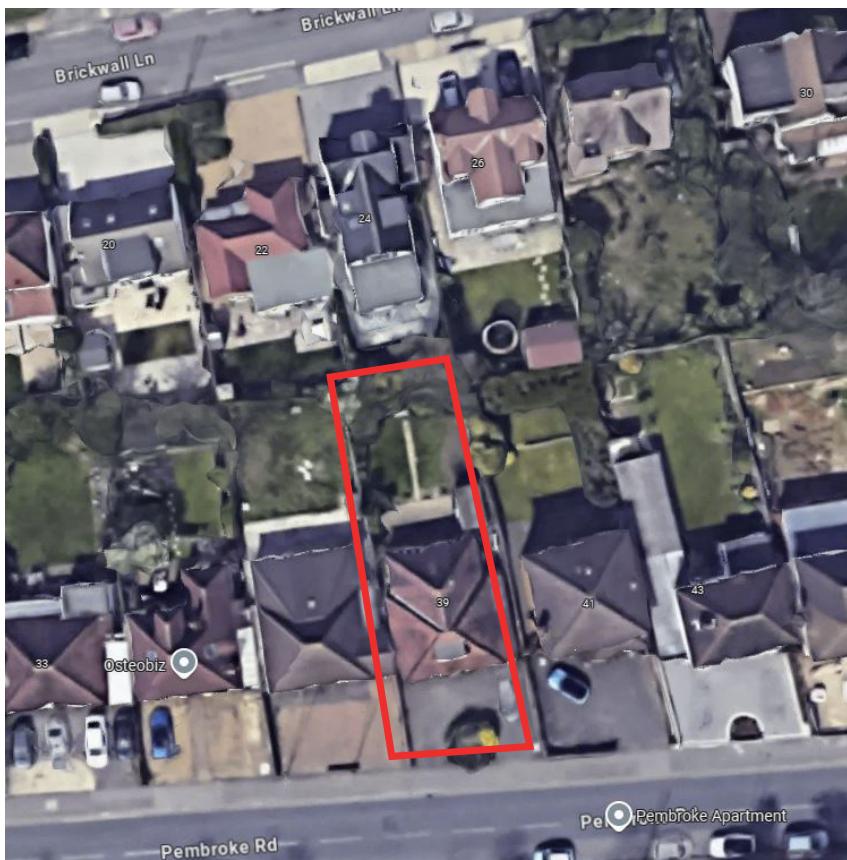
Rear Garden



EXISTING SITE

The properties along Pembroke Road share a consistent hipped roof form. To the rear, the site adjoins properties on Brickwall Lane, where a clear and established pattern of gable-end roof forms exists both facing the street and the rear gardens — including Nos. 20, 24, 26, 28, 30 and 7A. These examples form strong contextual precedent.

The below aerial view show the existing site in context.



Recent Planning History and Officer Feedback

The previous refusal cited concerns regarding:

- The loss of the hipped roof and resulting harm to the uniformity of the street scene.
- Cumulative bulk of roof alterations and dormers.

The officer also concluded:

- The ground-floor rear extension is acceptable in scale and impact.
- The proposal did not cause harmful loss of daylight, sunlight or privacy.
- Rear-facing additions would not affect the public realm.

The revised scheme directly addresses these points.

Previous planning History

- Loft Conversion with roof extension over rear extension
- Single storey rear extension



THE REVISED PROPOSAL

1) Rear Roof – Gable Adjustment (Not Visible from the Street Scene)

The existing rear section of the roof is modestly redesigned as a gable end while retaining:

- The same ridge height,
- The same width, and
- Complete screening from the street.

Given the strong rear-gable character of Brickwall Lane properties whose gardens adjoin the site, this design is in keeping with the character of the rear context.

The functionality of the bedroom space in the rear extension relies on the width that the rear gable projection provides in order to provide functional floorspace with head-height of minimum 2m as sufficient head-height space is required for circulation and to walk around the bed.

2) Ground Floor Extension (Unchanged and Previously Accepted)

The ground-floor extension remains identical to the previously submitted scheme, which the officer confirmed complies with depth, height, and amenity policies.

3) The front dormer has been reconstructed to modern construction with new insulation.

NEIGHBOURING PROPERTIES AND PRECEDENT

The properties to the rear on Brickwall Lane present a well-defined rhythm of gable-ended roofs and gabled rear extensions. Several of these structures appear long-standing in nature, indicating that gable-end forms have been present in the area for a considerable period. Whether original or the result of historic alterations, these examples demonstrate that gable ends are an established characteristic of the local roofscape. The proposed modest rear gable at No. 39 therefore responds appropriately to this prevailing architectural context.

Daylight and Privacy:

No loss of light or overlooking occurs as a result of this scheme.

External materials

Existing materials consist of small details of painted brick with mostly pebble-dashing. The proposed finishes seek to harmonise with the existing building and surrounding area, proposing pebble dash or render finish.

Amenity Space & Access

The revised proposal maintains the conclusions already reached by the officer that:

- there is no unacceptable loss of privacy, no harmful loss of daylight or sunlight, no overbearing impact and the ground-floor extension is compliant with DMHD1.

The rear garden is greater in area than the required 100m² and meets requirements of Policy DMH6. Existing side access routes are maintained.

Parking

The forecourt currently has space to park between 2-3 cars. This will remain and meets parking standards (Policy DMT 6).



Concluding remarks:

This revised proposal is a contextually sensitive, policy-compliant scheme that:

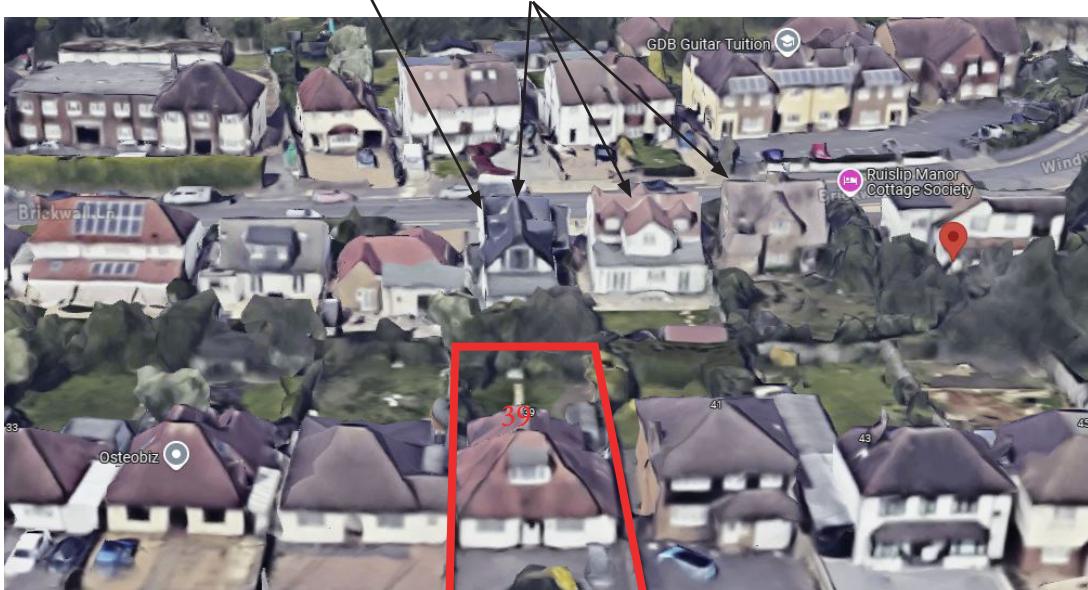
- retains the hipped main roof
- introduces a modest and proportionate rear change to create a gable in line with established local character,
- removes the massing and roof bulk concerns of the previous application,
- retains the ground-floor layout previously accepted by the council,
- and has no harmful impact on neighbouring amenity.

The design is sympathetic to both the public and private contexts and delivers a high-quality, functional improvement for the occupants while maintaining compliance with the Hillingdon Local Plan, London Plan, and NPPF.

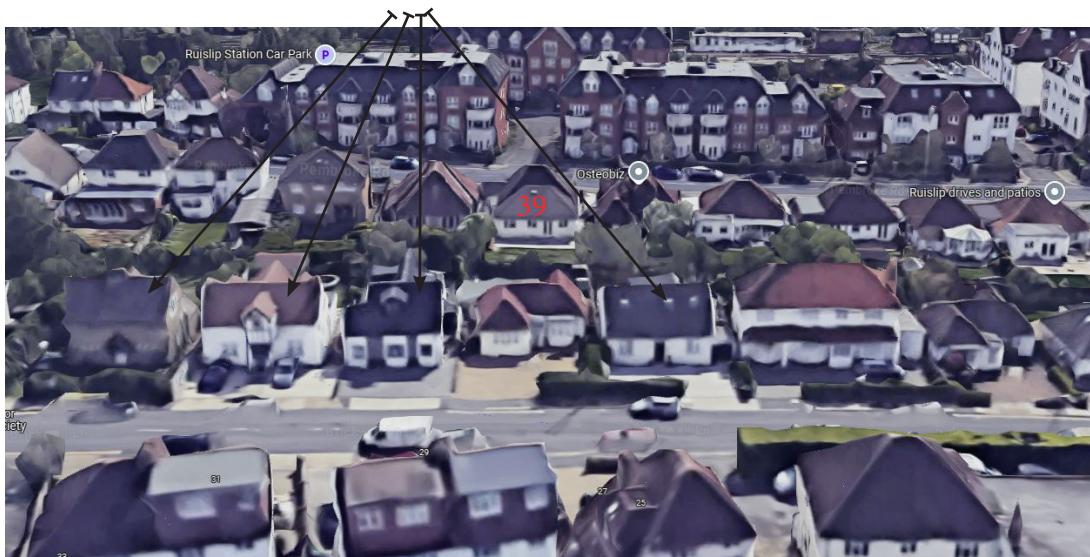
In relation to the above and submitted drawings, we conclude by asking for your support and planning acceptance of this scheme.



24 Brickwall Lane Roof with gable end towards the garden, with dormers.



Main roof with side gable end roofs. Some with front dormers





LIVEWELL ARCHITECTURE