



Planning – Development Control  
London Borough of Hillingdon Council  
Civic Centre  
High Street  
Uxbridge  
UB8 1UW

25<sup>th</sup> March 2026

Ref. SP26-1010

Dear Sir / Madam,

**Town and Planning Act 1990 (as amended)**  
**102 Green Lane, Northwood, HA6 1AJ**  
**Rebuilding of existing dwelling, in a similar form to that approved by earlier planning applications.**  
**Planning Assessment**

Simply Planning Limited ('SPL') is instructed by our client, M & M London Ltd (acting for Mr Kais Issa), to submit the enclosed planning application in respect of the above property, No. 102 Green Lane. The application seeks consent to construct a new home to be occupied by Mr Issa and his family. The dwelling, as proposed, is of a very similar layout, scale and mass to that previously granted consent for extensions to the dwelling on site (ref: 17726/APP/2025/1189) albeit a new lower ground floor is no longer proposed and the rear extension is marginally larger.

This covering letter sets out the factual background to this application, including a description of the application site itself, along with any relevant planning history. We also provide full details of the proposed development, along with an assessment against relevant planning policies and guidance, before drawing our conclusions.

The application is supported by the following information:

Document Title	Author
OS Map and Existing and Proposed Block Plan (Ref: FP-102GL-01)	DE Architectural Consultants Ltd
Existing Floor Plans (Ref: FP-102GL-02)	DE Architectural Consultants Ltd
Existing Elevations (Ref: FP-102GL-03)	DE Architectural Consultants Ltd
Proposed Ground and First Floor Plans (Ref: FP-102GL-04)	DE Architectural Consultants Ltd
Proposed Loft and Roof Plans (Ref: FP-102GL-05)	DE Architectural Consultants Ltd
Proposed Elevations and Sections (Ref: FP-102GL-06)	DE Architectural Consultants Ltd
Fire Safety Strategy	Simply Planning Ltd
Flood Risk Assessment	Simply Planning Ltd

The requisite planning application fee of £673.00 has been made through the Planning Portal upon submission.

## Site and Surroundings

The application site has historically hosted a detached 2-storey dwelling, located on the southern side of Green Lane. The built development was positioned at the eastern end of a short row of 2-storey properties of similar aesthetic. These properties all have dropped kerb access to their frontages from Green Lane and rear south-facing gardens, which are stepped down from the ground floor levels of the properties.

To the east of the site are numbers 20-28 Cervantes Court, a three-storey flatted development with communal gardens. To the north of the site is landscaping and car parking associated with St Helen's school and community Sports Centre. The site is not within a conservation area, nor are there any listed buildings within the immediate vicinity.

The existing property has been the subject of various recent planning applications for extensions and alterations, as set out below. During the implementation of these approved works, significant structural weaknesses were encountered within the original property, which required the demolition of the existing dwelling. It is the intention to rebuild the property in style, scale and manner to the original property, including the previously approved alterations, albeit with some minor alterations, which we explain below.

The application is a self-build property, which will be occupied by the Applicant and his family, upon completion.

## Planning History

The site has been subject to a range of recent planning applications as detailed below:

Application Reference	Details of Proposal	Decision
17726/APP/2025/1189	Erection of a part single storey, part two storey rear extension, and lower ground floor rear extension with rear lightwell and patio. Conversion of roof space to habitable use to include a rear dormer, a side dormer, 1 side roof light and 2 front roof lights, and retention of a crown roof. Conversion of existing integral garage to habitable use.	Approval 07/10/2025
17726/APP/2025/1521	Conversion of roof space to habitable use to include side dormer, side roof light and 2 front roof lights plus conversion of existing integral garage to habitable use. Erection of a two storey rear extension with habitable roof space, rear lightwell and patio. Creation of a basement to rear.	Withdrawn
17726/APP/2025/143	Conversion of roof space to habitable use to include rear dormer, side dormer, side roof light and 2 front roof lights. Conversion of existing integral garage to habitable use.	Approval 28/03/2025
17726/APP/2024/2968	Erection of a ground floor rear extension and lower ground floor rear extension with rear lightwell and patio to residential dwelling	Approval 24/10/2024
17726/APP/2024/2336	Conversion of roof space to habitable use to include a rear dormer, 2 side dormers, and 2 front roof lights (Application for a Certificate of Lawful Development for a Proposed Development)	Withdrawn
17726/APP/2024/2279	Erection of an outbuilding to rear garden. (Application for a Certificate of Lawful Development for a Proposed Development)	Approval 18/10/2024
17726/A/73/2359	Householder development - residential extension	Approval 22/02/1974

As set out above, the recently approved application (Ref: 17726/APP/2025/1189) allowed for part single-storey and part two-storey rear extensions to the property, along with a lower ground floor rear extension and the conversion of the roof space and integral garage to habitable use. The roof alterations also included rear and side dormer windows and roof lights. The decision notice for this application, along with the approved plans are provided at **Document 1**.

Work has commenced on site in connection with this approved development, however during initial site preparation works it became apparent that the existing property had experienced a number of structural failures, such that it required removal, prior to any new development taking place.

It was at this time, in early 2026, that the site was the subject of a visit from Hillingdon Council. Following this visit, a letter was sent to the Applicants (dated 2<sup>nd</sup> February 2026) raising concerns about the demolition of the existing house and alleging that unauthorised works had taken place. This current application, seeks to rectify this matter.

## **Proposed Development**

The description of the development is as follows:

*“Full planning permission for the erection of a dwelling of a similar form, scale and design to the development previously approved by application ref: 17726/APP/2025/1189”*

This application seeks to rebuild the existing house in the same location as the original dwelling, incorporating minor enlargements and design changes to reflect the development previously approved under the earlier applications.

In addition, this application seeks further improvements to create a more cohesive, and less fragmented design, and allowing improved internal circulation and residential functionality for the Applicant and his family.

This proposed application differs from the dwelling previously approved in the following ways:

- Addition of a small porch to the front elevation;
- Alterations to various windows, whilst retaining general proportions and appearance of the existing property;
- Reduction from 2no. to 1no. roof lights to the front roof slope;
- Creation of consistent ridge height across the width of the dwelling;
- Minor increase to the depth of the main house by approximately 1m;
- Minor increase to the depth of the rear single storey projection by approximately 1m;
- Deletion of lower-ground floor development;
- Additional ground floor window to the western side elevation;
- Enlarged dormer window to western side elevation;
- Reduced size of the rear dormer window;
- Inclusion of Juliet balconies to the first floor rear bedrooms;
- Introduction of glazed balustrades to the rear patio;
- Proposed brick finish to all external elevations;

These design alterations result in an improved overall aesthetic and internal layout to better suit the applicant's needs. Overall, including the omission of the previously approved lower ground floor (c.90m<sup>2</sup>), the changes will result in a loss of approximately 20m<sup>2</sup> of floor area of the dwelling. The resulting property will provide a comfortable family dwelling, with up to 5 en-suite bedrooms, along with reception rooms and ample private garden space and car parking.

## Planning Policy Context

Section 38 (6) of the Planning and Compulsory Purchase Act 2004 states that when determining a planning application, regard is to be had to the Development Plan and that determination shall be made in accordance with the Development Plan, unless material considerations indicate otherwise.

The Development Plan comprises the Hillingdon Local Plan, Part 1 (2012) and Part 2 (2020), along with the London Plan (2021). In addition, the National Planning Policy Framework (NPPF) and the Planning Practice Guidance (PPG) also form material planning considerations within assessment of this application.

The key policies for consideration in the assessment of this application are set out below:

Hillingdon Local Plan Part 1 (2012)	
Policy BE1	Built Environment
Policy EM6	Flood Risk Management

Hillingdon Local Plan Part 2 (2020)	
Policy DMH 1	Safeguarding Existing Housing
Policy DMHB 11	Design of New Development
Policy DMHB 12	Streets and Public Realm
Policy DMHB 14	Trees and Landscaping
Policy DMHB 18	Private Outdoor Amenity Space
Policy DMEI 9	Management of Flood Risk
Policy DMT 6	Vehicle Parking
Policy DMHD 1	Alterations and Extensions to Residential Dwellings

London Plan (2021)	
Policy D4	Delivering Good Design
Policy D6	Housing Quality and Standards
Policy D12	Fire Safety

## **Matters at Issue**

The main planning considerations are discussed under the relevant headings below:

### **Principle of Development**

The proposed development includes the retrospective demolition of the original property, due to structural deficiencies, and the rebuilding of a high-quality dwelling, of reduced overall size to that previously approved, and is considered acceptable in principle.

The site benefits from an established lawful residential use, and the proposal represents a continuation and enhancement of that use, making efficient use of previously developed land, in accordance with NPPF objectives.

The scale and massing of the replacement dwelling have been carefully designed to remain proportionate to the plot and its surroundings, ensuring it would not result in any overdevelopment of the site. As such, the principle of redevelopment is firmly supported, with the scheme offering an opportunity to deliver a more sustainable, energy-efficient, well-designed dwelling that responds positively to its context.

The proposed dwelling has been designed in close collaboration with the Applicant, to provide a functional and accessible family dwelling. The property will be built by persons employed by the Applicant, who will reside in the property, once completed. As a result, the proposal meets the definition of a self-build / custom-build dwelling, as defined by the Self-Build and Custom Housebuilding Act 2015 (as amended). As such, the application is exempt from Biodiversity Net Gain and Community Infrastructure Levy requirements.

### **Design and Character**

Policy BE1 of the Hillingdon Local Plan Part 1 requires new developments to achieve a high quality of design and development that enhances local distinctiveness and contributes to a sense of place. Policy DMHB 11 of the Hillingdon Local Plan Part 2, requires new development to be designed to the highest standard and complement or improve the character and appearance of the area.

The proposed development will replace the existing property, where extensive alterations and extensions have been approved by previous applications, with a new dwelling which has an overall similar appearance, scale and form to that which resulted from the previous approvals. The development will, therefore, still achieve a high-quality design, which is appropriate within the context of its surroundings and includes architectural features reflective of the original property. The resulting development is therefore considered to fully comply with Local Plan policies BE1 and DMHB 11.

### **Impact on the street scene and surroundings**

The previously approved development in 2025 (Ref: 17726/APP/2025/1189) was considered acceptable in line with relevant policies within the Development Plan, including those that seek to preserve and enhance the character and appearance of the area.

This application seeks to replace the original property, incorporating an overall similar scale and appearance to the previously approved development, but creating a more cohesive design.

In terms of the impact of the proposed development on the street scene, the visible changes will be limited to the introduction of a small front porch, the use of external brickwork and an alteration to the main roof design. These

changes will still retain the overall character of the original property, but will introduce an element of diversity that will sit comfortably at the transition point between the existing row of detached dwellings and the adjacent brick-built Cervantes Court directly to the east of the site.

The resulting dwelling is not considered to have a dominant impact on the street scene, and it will remain in-keeping with the character and appearance of the surrounding area which is not an area that is subject to any special control. The proposed development is therefore considered to comply with Policy BE1 of the Hillingdon Local Plan Part 1 and Policies DMHB 11 and DMHB 12 of the Hillingdon Local Plan Part 2.

### **Residential Amenity**

The previously approved development included both two-storey and single-storey extensions to the rear of the property, which were fully assessed and concluded not to cause any amenity harm to the adjacent properties. This application seeks a new dwelling in the same location to the original property, including a minor increase to the depth of the main footprint and including a minor increase to the single-storey projection to the rear.

These design amendments, when viewed within the context of the previously approved development, are not considered to introduce any significant amenity issues in relation to loss of light, privacy, overlooking or overbearing impact to any adjacent residential units. The proposal therefore considered to comply with Policy BE1 of the Hillingdon Local Plan Part 1, as well as Policy DMHB 11 of the Hillingdon Local Plan Part 2.

It is considered that all the proposed habitable rooms within the new property would maintain an adequate outlook and source of natural light, therefore complying with Policy D6 of the London Plan (March 2021). Furthermore, the property would provide good quality and useable private outdoor amenity space that meet the Council's standards and would comply with Policies DMHB 18 of the Hillingdon Local Plan Part 2.

### **Highways and Access**

The proposed development is for a single dwelling which is of a similar scale to that previously approved. The proposed development is not considered to introduce any increase in vehicle movements or added car parking pressure over and above that previously approved. The application site has a driveway that is capable of accommodating three vehicles. This provision is considered acceptable in accordance with Policy DMT 6 of the Hillingdon Local Plan Part 2.

### **Flood Risk**

The application site is located within the Flood Map for Surface Water and within the Critical Drainage Area. Policy DMEI 9 of the Hillingdon Local Plan Part 2 seeks to ensure that developments provide appropriate management of flood risk. The application is supported by a Flood Risk Assessment, which confirms that the proposal will not increase the risk of flooding on this site, or increase the risk of flooding elsewhere. This adopts the same principles as the Flood Risk Assessment and Drainage Strategy submitted in connection with the previously approved development on the site (ref: 17726/APP/2025/1189), which was deemed acceptable. In addition, water run-off from the site will be directed to a soakaway, tank or permeable surface to introduce sustainable drainage systems as part of this proposal.

### **Conclusions**

The proposed development has arisen due to structural deficiencies within the original dwelling, which prevented the implementation of the previously approved extensions and alterations. This application seeks to rebuild a



dwelling on this established residential plot, with a modestly larger, high-quality home, that will provide an enhanced living environment for the Applicant, who will reside in the completed property. The proposed new dwelling is proportionate in scale to the surrounding dwellings and will complement the character of the street scene. The proposed development respects the amenity of neighbouring properties and provides suitable private amenity space and car parking provision to support the proposed use. Overall, the scheme complies with the Development Plan and represents an acceptable form of residential redevelopment.

A handwritten signature in blue ink, appearing to read 'R. Birtles', with a long horizontal stroke extending to the right.

**Roger Birtles**

Director

Enc.



102 Green Lane, Northwood, HA6 1AJ

Planning application

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## Document 1

Previously approved development

Ref: 17726/APP/2025/1189

Mr Ross Lakani  
Homes Design Ltd  
40 Wise Lane  
Mill Hill  
London  
NW7 2RE

Application Ref: 17726/APP/2025/1189

Date of Decision: 7th October 2025

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)

GRANT OF PLANNING PERMISSION

The Council of the London Borough of Hillingdon as the Local Planning Authority within the meaning of the above Act and associated Orders **GRANTS** permission for the following:-

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**Application number:** 17726/APP/2025/1189

**Date your planning application was submitted:** 20th May 2025

**Site location:** 102 Green Lane Northwood

**Description:**

Erection of a part single storey, part two storey rear extension, and lower ground floor rear extension with rear lightwell and patio. Conversion of roof space to habitable use to include a rear dormer, a side dormer, 1 side roof light and 2 front roof lights, and retention of a crown roof. Conversion of existing integral garage to habitable use.

**Application submitted by:** Mr Ross Lakani

**Plans that this decision was based on:** See attached Schedule of Plans

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**Permission is subject to the condition(s) listed below:-**

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

**REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall not be carried out except in complete accordance with the

details shown on Drawing Refs:

Site Location Plan

Block Plan

ABC503/1005 Proposed Lower Ground Floor & Ground Floor Plans

ABC503/1006 Rev A Proposed First Floor & Loft Floor Plans

ABC503/1007 Rev A Proposed Roof Plan

ABC503/1008 Rev A Proposed Elevations

ABC503/1009 Rev A Proposed Sections B-B & C-C

ABC503/3000 Rev A Proposed Extension in Relation to Adjoining Properties

#### REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020), and the London Plan (March 2021).

3. The development hereby permitted shall not be carried out except in complete accordance with the flood risk measures set out in the Flood Risk Assessment.

Thereafter the development shall be retained/maintained in accordance with these details for as long as the development remains in existence.

#### REASON

To ensure the development does not increase the risk of flooding in accordance with Policy PT1.EM6 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policy DMEI 9 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

4. The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building and shall thereafter be retained as such.

#### REASON

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building and the surrounding area in accordance with Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) and Policies DMHB 11 and DMHB 12 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

5. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 (as amended) (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls of the development hereby approved facing 100 Green Lane and 20-28 Cervantes Court .

#### REASON

To prevent overlooking to adjoining properties in accordance with Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

6. The side windows facing 100 Green Lane shall be glazed with permanently obscured glass to at least scale 4 on the Pilkington scale and be non-opening below a height of 1.7 metres taken from internal finished floor level for so long as the development remains in existence.

#### REASON

To prevent overlooking to adjoining properties in accordance with Policy DMHB 11 of the

Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

7. The side rooflight facing 20-28 Cervantes Court shall be glazed with permanently obscured glass to at least scale 4 on the Pilkington scale and be non-opening below a height of 1.8 metres taken from internal finished floor level for so long as the development remains in existence.

**REASON**

To prevent overlooking to adjoining properties in accordance with Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020).

8. Access to the flat roof over the ground floor rear extension hereby approved shall be for maintenance or emergency purposes only and the flat roof shall not be used as a roof garden, terrace, balcony, patio or similar amenity area.

**REASON**

To prevent overlooking to adjoining properties in accordance with Policy DMHB 11 of the Hillingdon Local Plan: Part Two - Development Management Policies (January 2020)

### **INFORMATIVES**

1. The application site is located within the Flood Map for Surface Water and within the Critical Drainage Area, as identified in the Surface Water Management Plan (SWMP) for Hillingdon, and part of the rear garden is located within Flood Zone 2. All developments in this area must contribute to managing the risk of flooding from surface water by reducing surface water runoff from the site. Therefore the applicant should minimise the water from the site entering the sewers. No drainage to support the extension should be connected to any existing surface water sewer, other than as an overflow. Water run off from any roof or hard paving associated with e development should be directed to a soakaway, or tank or made permeable. This includes any work to front gardens not part of the planning application, which must be permeable or be collected and directed to a permeable area, otherwise it would need an additional permission. A water butt should be incorporated.
2. You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application may have to be submitted. The validity of this planning permission may be challengeable by third parties if the development results in any form of encroachment onto land outside the applicant's control for which the appropriate Notice under Article 13 of the Town and Country Planning (Development Management Procedure) (England) Order 2015 has not been served.
3. On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant Local Plan Part 2 (2020), then London Plan Policies (2016). Hillingdon's Full Council adopted the Hillingdon Local Plan: Part 1 - Strategic Policies on 8 November 2012 and the Hillingdon Local Plan Part 2 on 16 January 2020.

### **STANDARD INFORMATIVES**

1. The decision to **GRANT** planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family

life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

#### Part 1 Policies

PT1.BE1 (2012) Built Environment

PT1.EM6 (2012) Flood Risk Management

#### Part 2 Policies

DMHB Design of New Development  
11

DMHB Streets and Public Realm  
12

DMHB Trees and Landscaping  
14

DMHB Private Outdoor Amenity Space  
18

DMHD 1 Alterations and Extensions to Residential Dwellings

DMEI 9 Management of Flood Risk

LPP D6 (2021) Housing quality and standards

2. The decision to **GRANT** planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
3. You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.
4. You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application may have to be submitted. The validity of this planning permission may be challengeable by third parties if the development results in any form of encroachment onto land outside the applicant's control for which the appropriate Notice under Article 13 of the Town and Country Planning (Development Management Procedure) (England) Order 2015 has not been served.
5. Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works,

and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Residents Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 558170).

6. You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).
7. The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner purposes to:
  - carry out work to an existing party wall;
  - build on the boundary with a neighbouring property;
  - in some circumstances, carry out groundworks within 6 metres of an adjoining building.Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in 'The Party Walls etc. Act - 1996 - Explanatory Booklet' published by the Department for Communities and Local Government.
8. Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.
9. Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-
  - A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.
  - B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.
  - C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance' The Control of dust and emissions from construction and demolition.
  - D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the

Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

10. You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act 1980.
11. To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO2) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.
12. The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

For Private Roads: Care should be taken during the building works hereby approved to ensure no damage occurs to the verge of footpaths on private roads during construction. Vehicles delivering materials to this development shall not override or cause damage to a private road and where possible alternative routes should be taken to avoid private roads. The applicant may be required to make good any damage caused.

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**Date of Decision:** 7th October 2025

*R Johnson*

Roz Johnson  
**Head of Development Management and Building Control**

**END OF SCHEDULE**

**Address:**  
**Development Management**

Directorate of Place  
Hillingdon Council  
3 North, Civic Centre, High Street, Uxbridge UB8 1UW  
[www.hillingdon.gov.uk](http://www.hillingdon.gov.uk)

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)

GRANT OF PLANNING PERMISSION

Application Ref: 17726/APP/2025/1189

SCHEDULE OF PLANS

ABC503/1005 Proposed Lower Ground Floor & Ground Floor Plans.	Received	23-09-2025
ABC503/1006 Rev A Proposed First Floor & Loft Floor Plans.	Received	23-09-2025
ABC503/1007 Rev A Proposed Roof Plan.	Received	23-09-2025
ABC503/1008 Rev A Proposed Elevations.	Received	23-09-2025
ABC503/1009 Rev A Proposed Sections B-B & C-C.	Received	23-09-2025
ABC503/3000 Rev A Proposed Extension in Relation to Adjoining Properties.	Received	23-09-2025
ABC503/1000 Existing Ground & First Floor Plans.	Received	28-04-2025
ABC503/1001 Existing Roof Plan & Section AA.	Received	28-04-2025
ABC503/1002 Existing Elevations.	Received	28-04-2025
ABC503/1003 Existing Site Rear Levels with Adjoining Premises Plans.	Received	28-04-2025
Basement Impact Assessment.	Received	28-04-2025
Block Plan.	Received	28-04-2025
Covering Letter.	Received	28-04-2025
Design and Access Statement.	Received	28-04-2025
Fire Safety Reasonable Exception Statement.	Received	28-04-2025
Fire Statement Letter.	Received	28-04-2025
Flood Risk Assessment.	Received	28-04-2025
Local Biodiversity Checklist.	Received	28-04-2025
Site Location Plan.	Received	28-04-2025

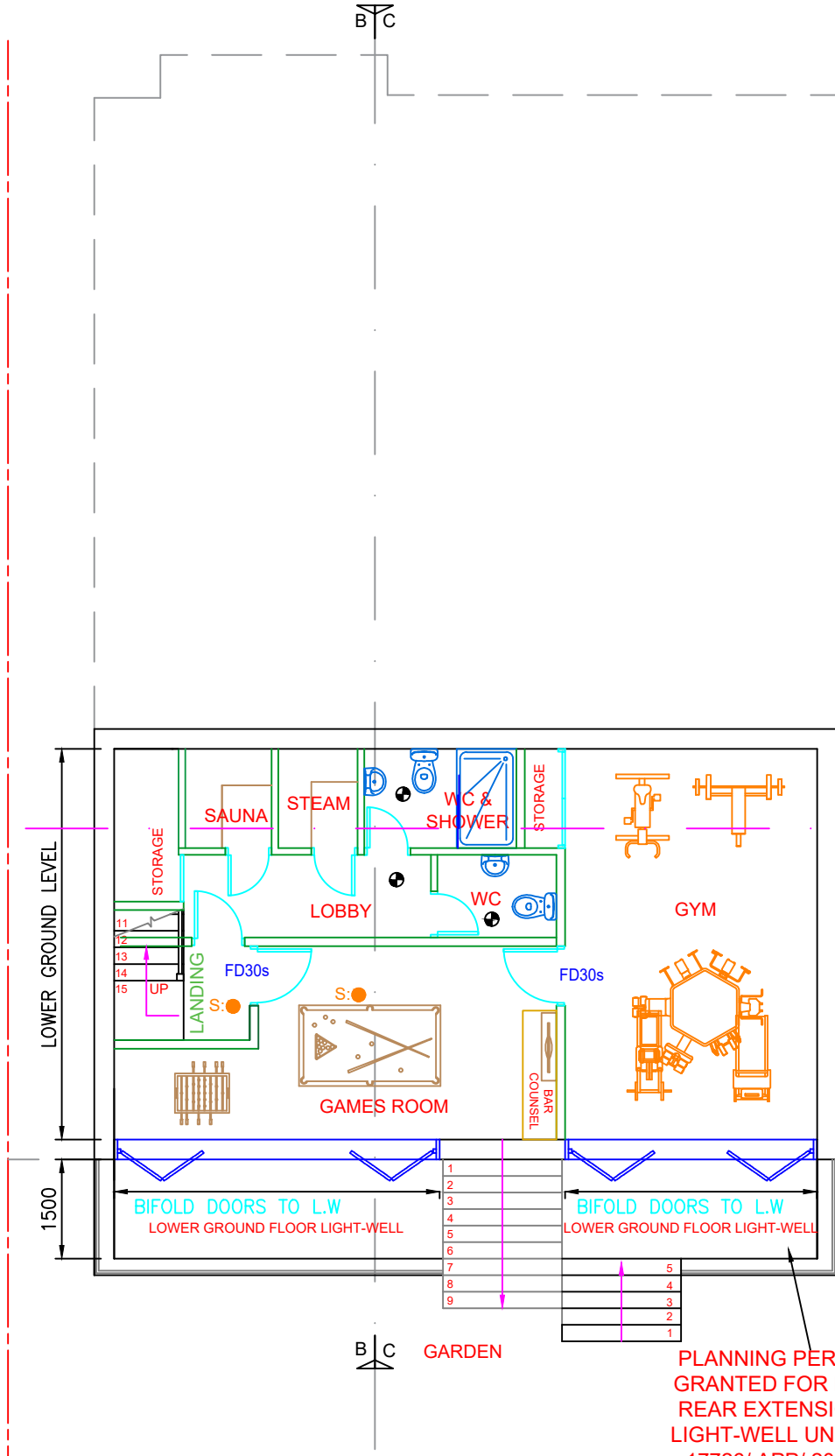


40 WISE LANE  
MILL HILL  
LONDON  
NW7 2RE  
MOB:  
07946 872537  
www.homesdesignltd.co.uk

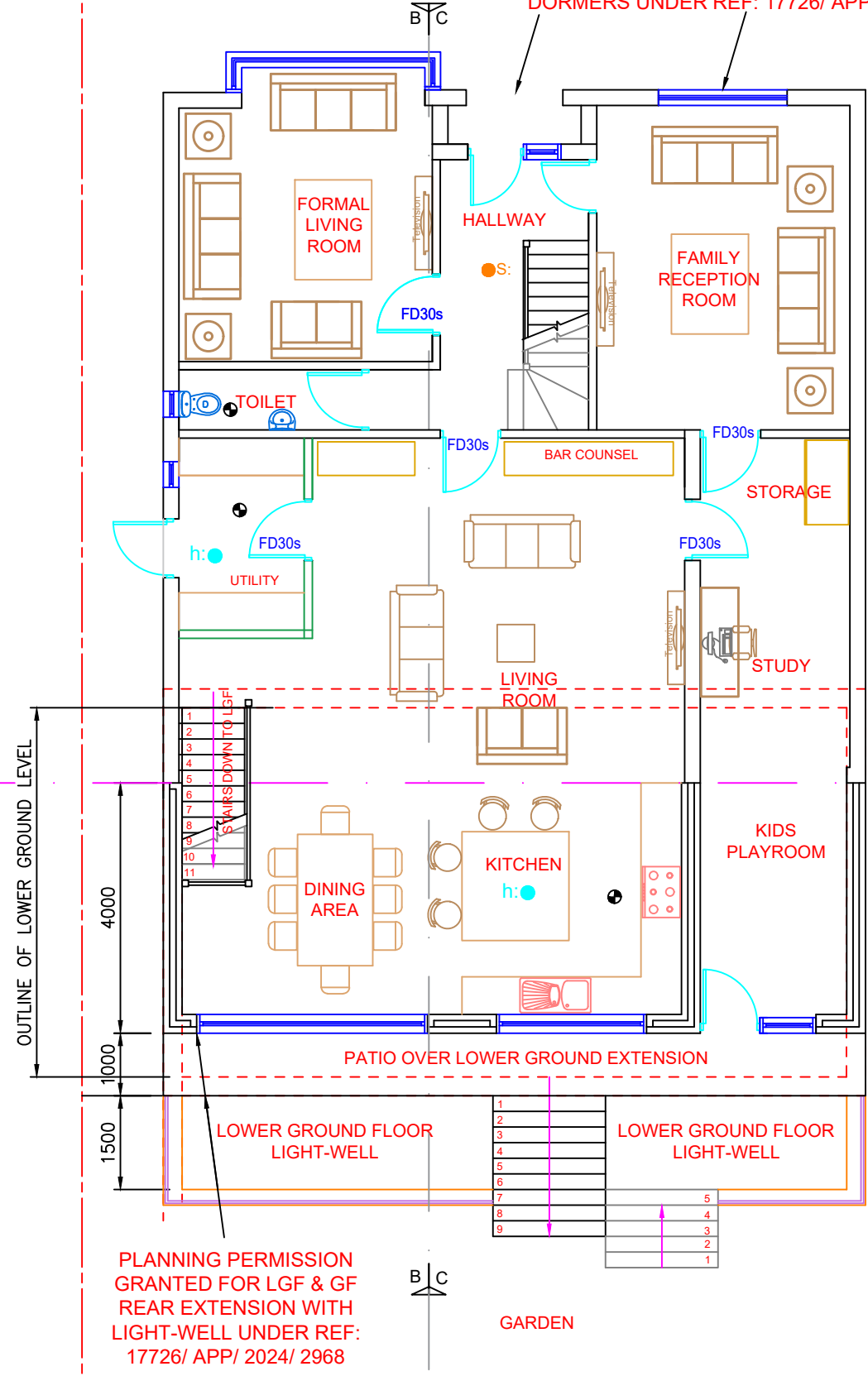
title PROPOSED LOWER GROUND FLOOR AND GROUND FLOOR PLANS  
project 102 Green Lane Northwood Middlesex HA6 1AJ  
drawing no ABC503/1005  
drawn by R. L contract no. ABC503  
scale 1:100 @ A3 date 04/2025

- h: HEAT DETECTORS TO ALL KITCHEN AREAS & CONNECTED TO SMOKE DETECTOR'S CIRCUIT
- S: SMOKE DETECTOR SYSTEM CONNECTED TO INDEPENDENT CIRCUIT & BRITISH STANDARDS. SMOKE DETECTORS AT ALL FLOORS TO BE POSITIONED CENTRAL TO THE HALLWAYS ABOVE THE LANDINGS.
- MECHANICAL EXTRACT FANS. KITCHEN WITH (30L/s) & BATH AREAS TO BE 15L/s EXTRACT FAN FITTED TO LIGHT SWITCH WITH 15MINUTES OVER RUN IN ACCORDANCE TO APPROVED DOC-F

PLANNING PERMISSION GRANTED FOR GARAGE CONVERSION AT GROUND FLOOR WITH ALTERATION TO FRONT ENTRANCE DOOR PLUS LOFT CONVERSION WITH ROOF EXTENSION DORMERS UNDER REF: 17726/ APP/ 2025/ 143

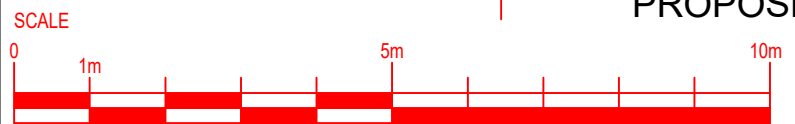


PROPOSED LOWER GROUND FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

OUTLINE OF ORIGINAL REAR ELEVATION OF DWELLING

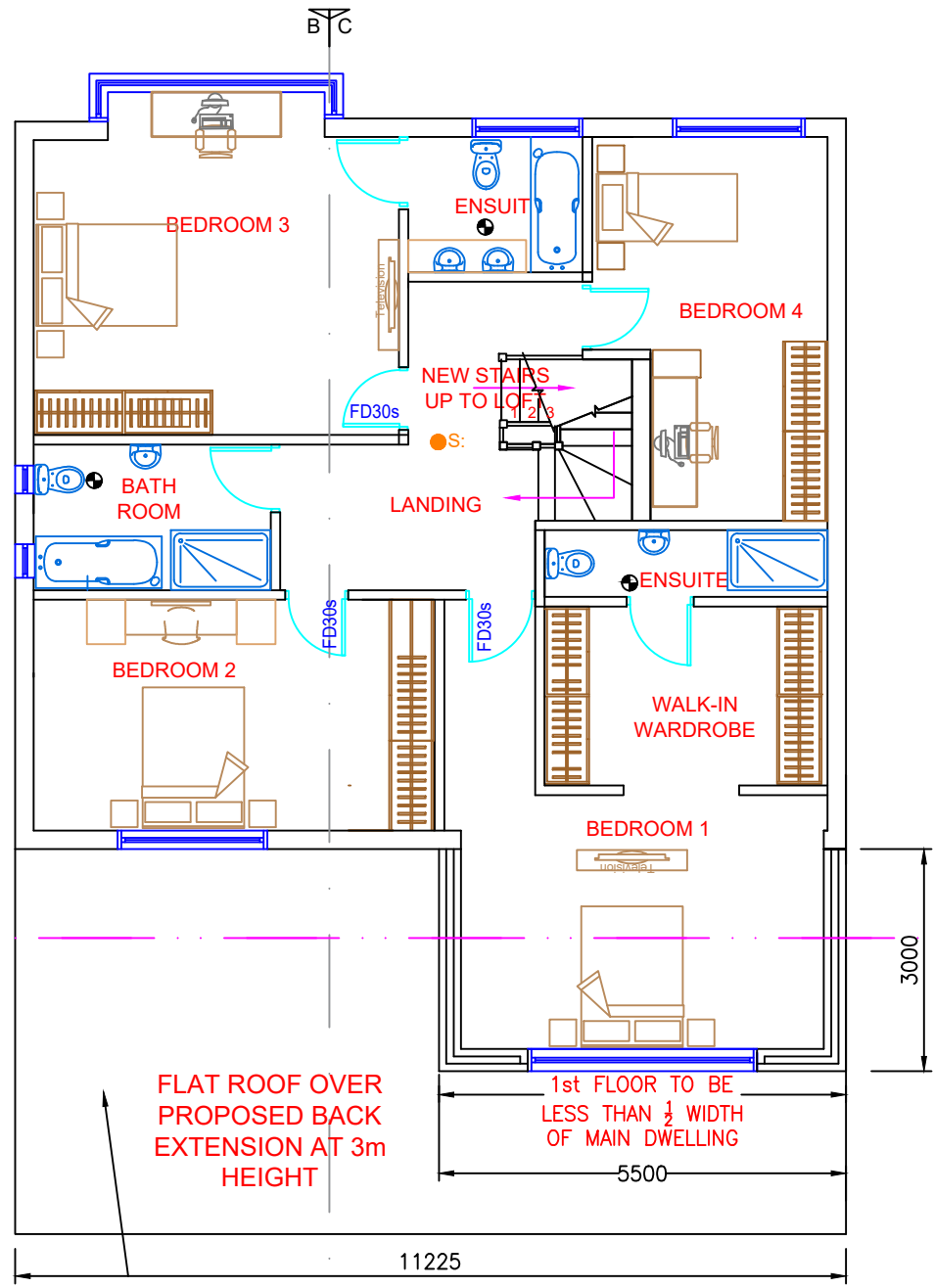




40 WISE LANE  
MILL HILL  
LONDON NW7 2RE  
MOB: 07946 872537  
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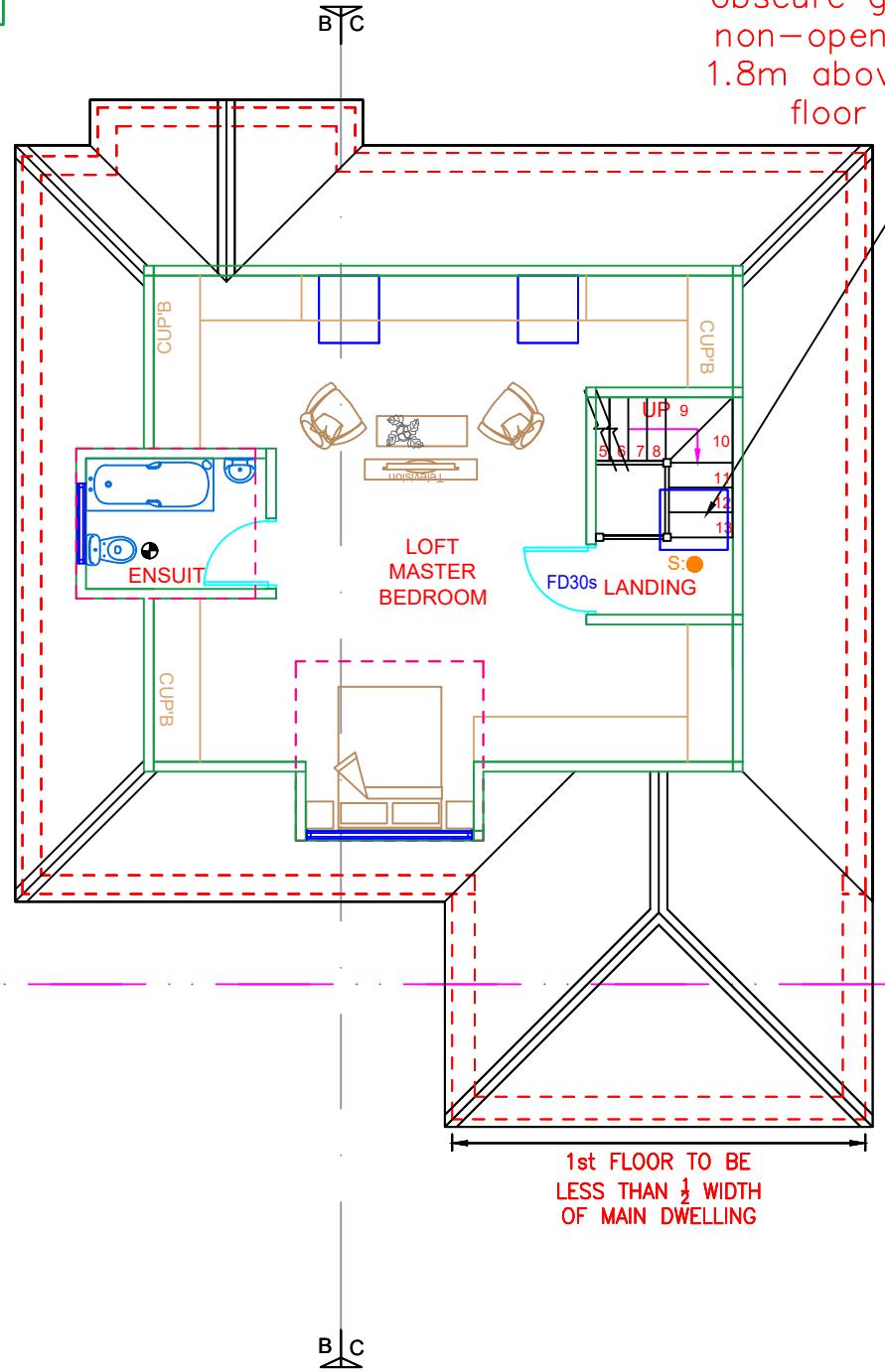
title	PROPOSED FIRST FLOOR & LOFT PLANS	
project	102 Green Lane Northwood Middlesex HA6 1AJ	
drawing no	ABC503/1006	
drawn by	R. L	contract no. ABC503
scale	1:100 @ A3	date 04/2025

Proposed side rooflight on the eastern side elevation would also be obscure glazed and non-opening below 1.8m above finished floor levels



PLANNING PERMISSION GRANTED FOR LGF & GF REAR EXTENSION WITH LIGHT-WELL UNDER REF: 17726/ APP/ 2024/ 2968

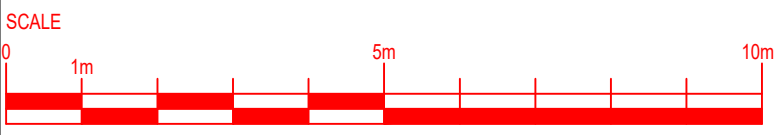
PROPOSED FIRST FLOOR PLAN



PLANNING PERMISSION GRANTED FOR GARAGE CONVERSION AT GROUND FLOOR WITH ALTERATION TO FRONT ENTRANCE DOOR PLUS LOFT CONVERSION WITH ROOF EXTENSION DORMERS UNDER REF: 17726/ APP/ 2025/ 143

PROPOSED ROOF PLAN

OUTLINE OF ORIGINAL REAR ELEVATION OF DWELLING





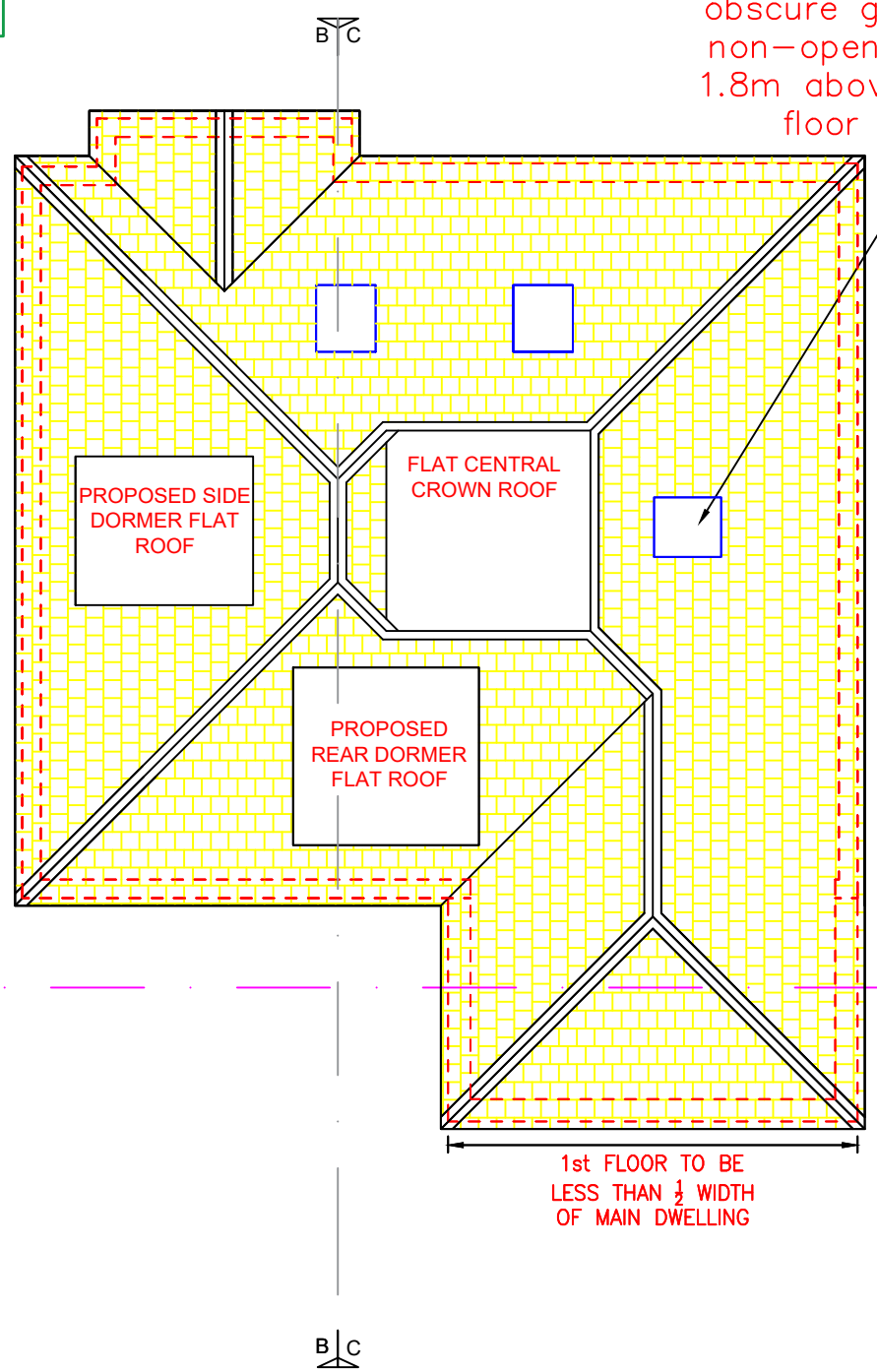
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MILL HILL  
LONDON NW7 2RE  
MOB: 07946 872537  
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title		PROPOSED ROOF PLANS	
project		102 Green Lane Northwood Middlesex HA6 1AJ	
drawing no		ABC503/1007	
drawn by	R. L	contract no.	ABC503
scale	1:100 @ A3	date	04/2025

Proposed side rooflight on the eastern side elevation would also be obscure glazed and non-opening below 1.8m above finished floor levels

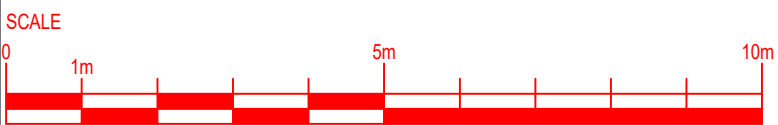
PLANNING PERMISSION GRANTED FOR LGF & GF REAR EXTENSION WITH LIGHT-WELL UNDER REF: 17726/ APP/ 2024/ 2968

PLANNING PERMISSION GRANTED FOR GARAGE CONVERSION AT GROUND FLOOR WITH ALTERATION TO FRONT ENTRANCE DOOR PLUS LOFT CONVERSION WITH ROOF EXTENSION DORMERS UNDER REF: 17726/ APP/ 2025/ 143



OUTLINE OF ORIGINAL REAR ELEVATION OF DWELLING

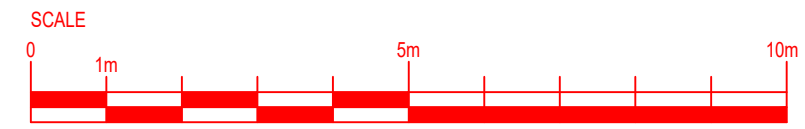
PROPOSED ROOF PLAN



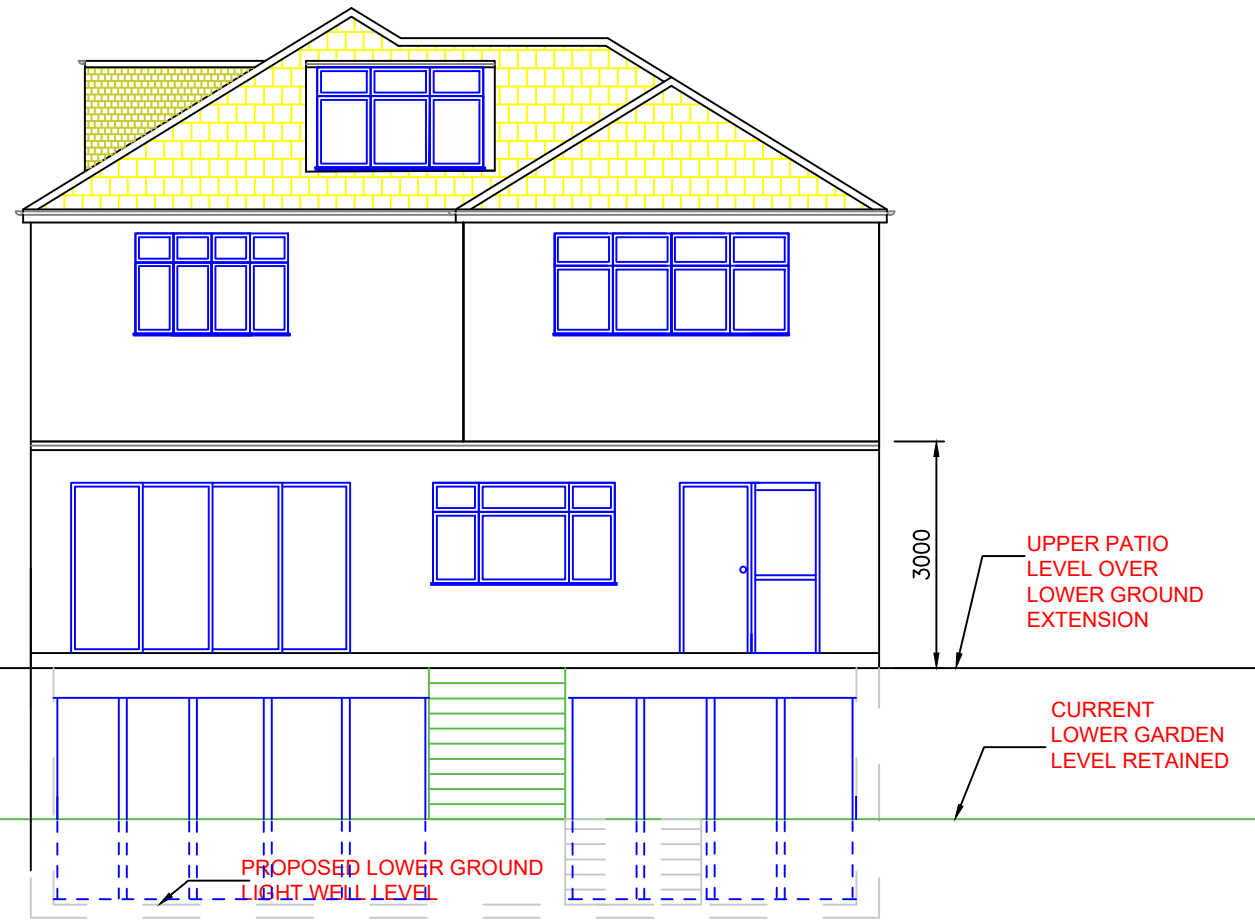


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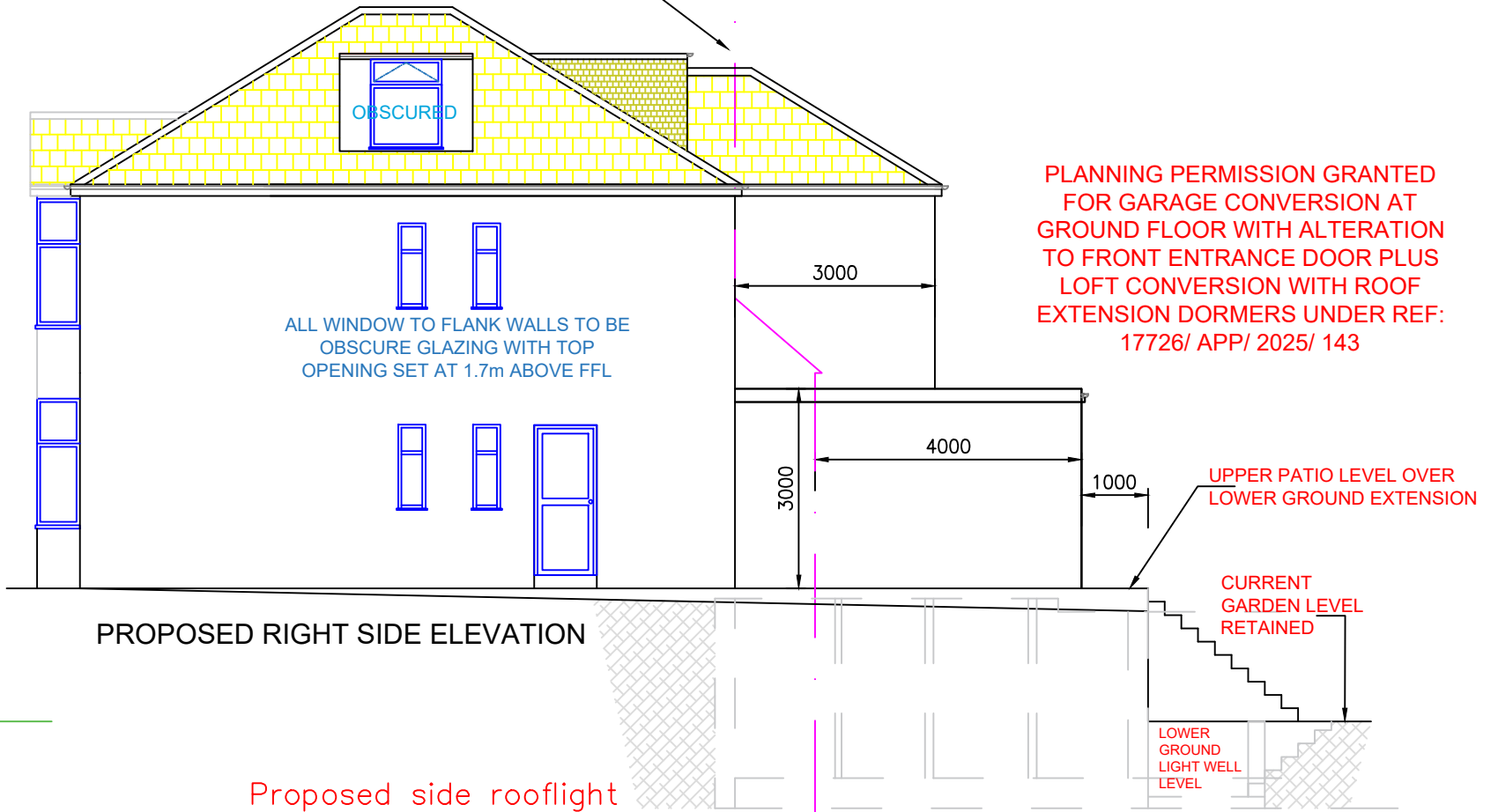
title PROPOSED ELEVATIONS	
project 102 Green Lane Northwood Middlesex HA6 1AJ	
drawing no ABC503/1008	
drawn by R. L	contract no. ABC503
scale 1:100 @ A3	date 04/2025



OUTLINE OF ORIGINAL REAR ELEVATION OF DWELLING



PROPOSED REAR ELEVATION



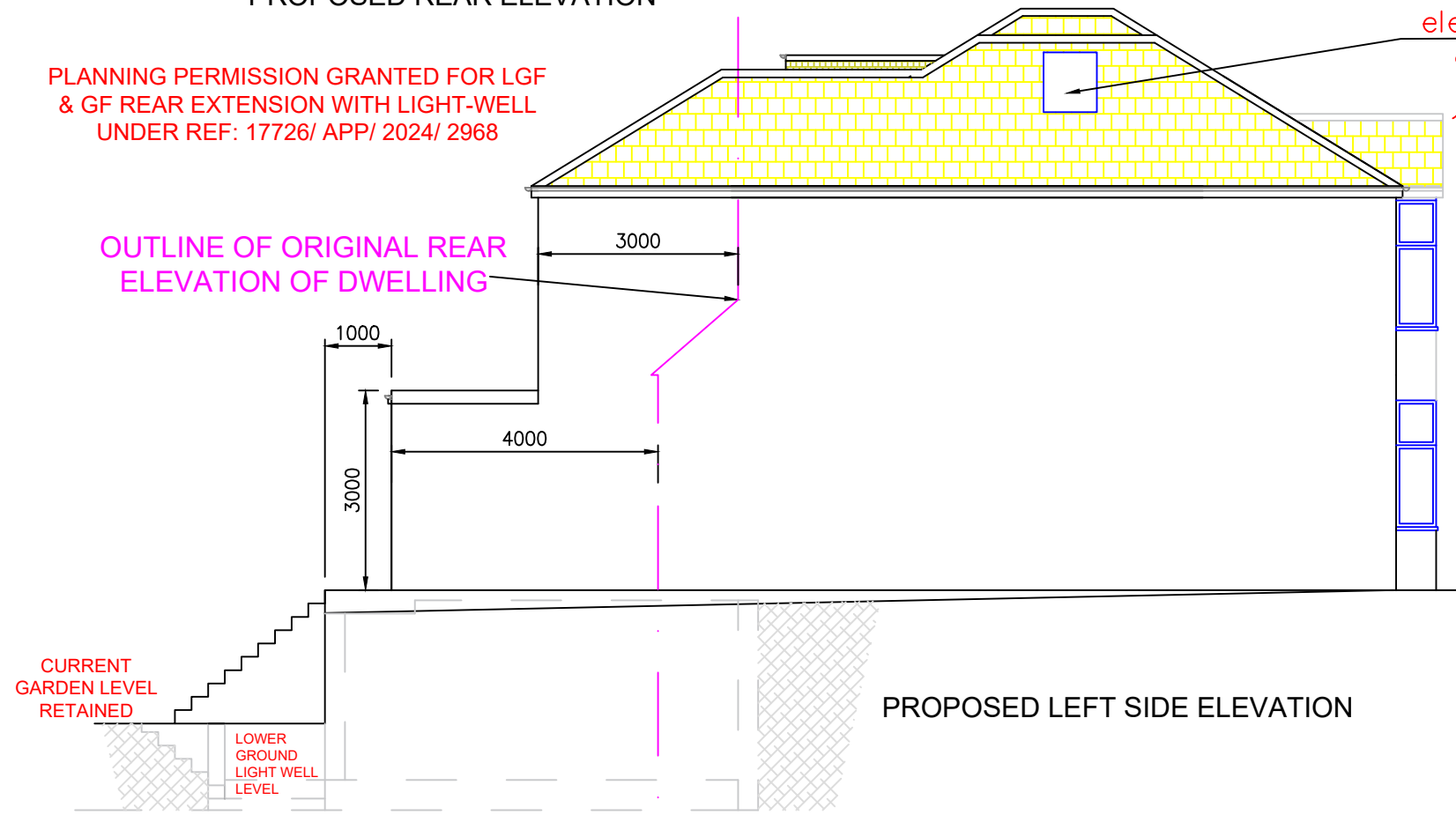
PROPOSED RIGHT SIDE ELEVATION

PLANNING PERMISSION GRANTED FOR GARAGE CONVERSION AT GROUND FLOOR WITH ALTERATION TO FRONT ENTRANCE DOOR PLUS LOFT CONVERSION WITH ROOF EXTENSION DORMERS UNDER REF: 17726/ APP/ 2025/ 143

Proposed side rooflight on the eastern side elevation would also be obscure glazed and non-opening below 1.8m above finished floor levels

PLANNING PERMISSION GRANTED FOR LGF & GF REAR EXTENSION WITH LIGHT-WELL UNDER REF: 17726/ APP/ 2024/ 2968

OUTLINE OF ORIGINAL REAR ELEVATION OF DWELLING



PROPOSED LEFT SIDE ELEVATION



PROPOSED FRONT ELEVATION

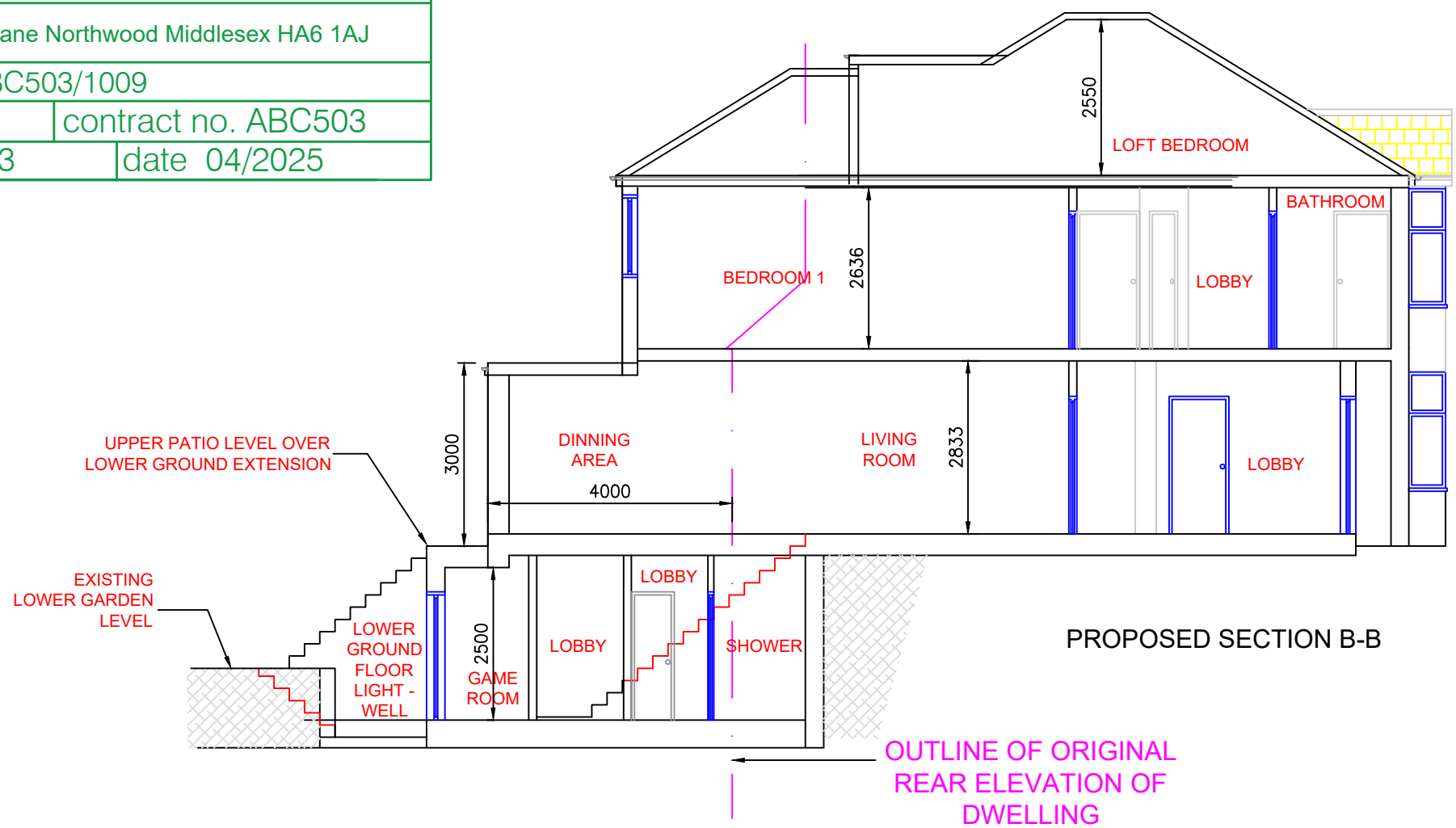


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title	PROPOSED SECTION	
project	102 Green Lane Northwood Middlesex HA6 1AJ	
drawing no	ABC503/1009	
drawn by	R. L	contract no. ABC503
scale	1:100 @ A3	date 04/2025

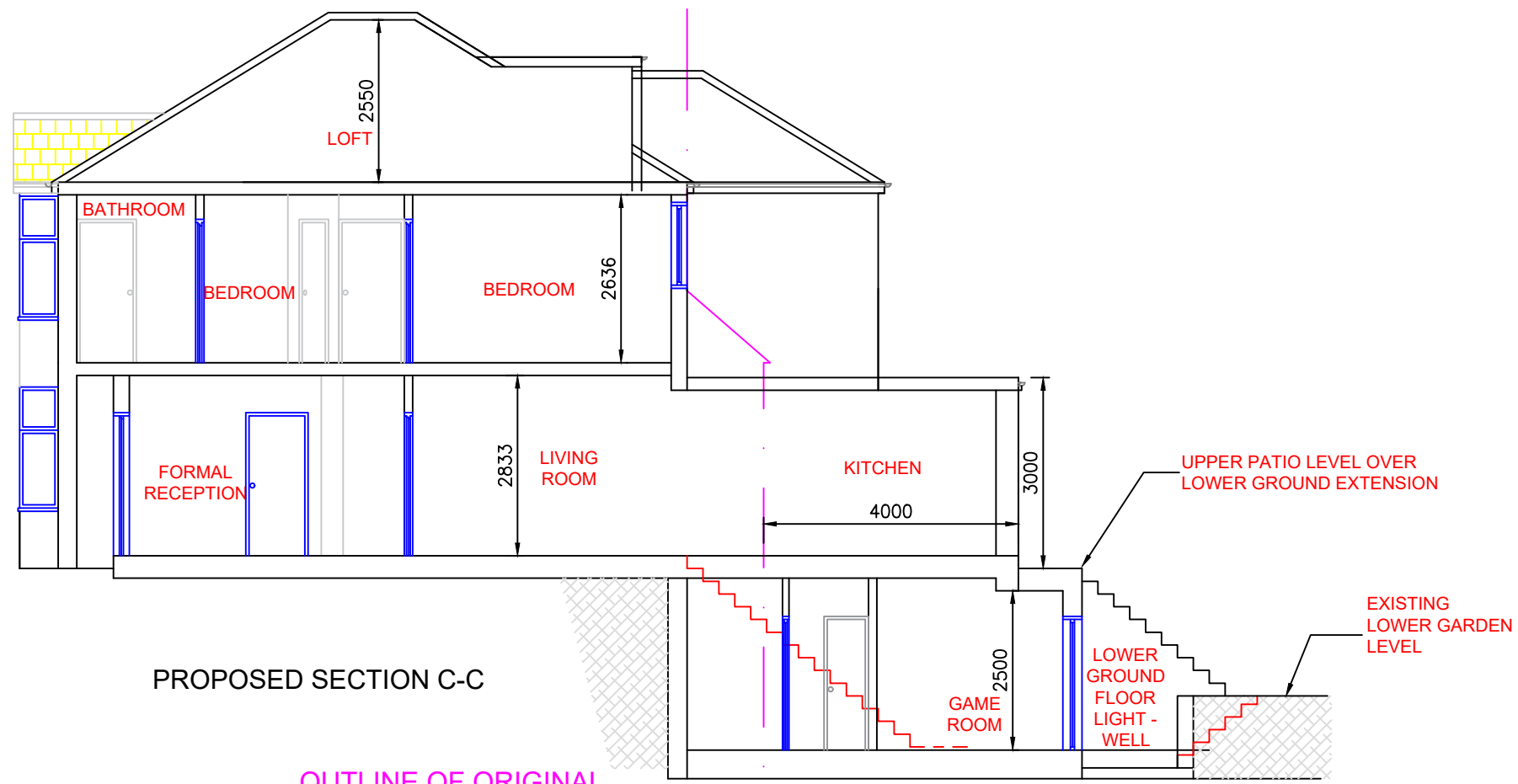
PLANNING PERMISSION GRANTED FOR GARAGE CONVERSION AT GROUND FLOOR WITH ALTERATION TO FRONT ENTRANCE DOOR PLUS LOFT CONVERSION WITH ROOF EXTENSION DORMERS UNDER REF: 17726/ APP/ 2025/ 143

PLANNING PERMISSION GRANTED FOR LGF & GF REAR EXTENSION WITH LIGHT-WELL UNDER REF: 17726/ APP/ 2024/ 2968



PROPOSED SECTION B-B

OUTLINE OF ORIGINAL REAR ELEVATION OF DWELLING



PROPOSED SECTION C-C

OUTLINE OF ORIGINAL REAR ELEVATION OF DWELLING

LOWER GROUND LEVEL PLAYROOM AND GYM AS PART OF FAMILY UNIT

