



Design & Access Statement

Client; MR JATINDER

This design & access statement is to be read in conjunction with all submitted relevant planning drawings.

First floor extension, Householder application

Design Access Statement

Introduction

This design and access statement has been prepared to accompany an application for planning permission behalf of Mr. Jatinder. The application is to obtain permission to be granted for 4.9m side extension on the first floor for the property at the address 175 West end lane, Harlington, UB3 5LY. The proposed development will create extra space for the home owners to provide more space for their growing family. Currently they are welcoming more kids and going to be living with their parents, therefore more space is needed to make sure family lives in adequate living space.

Assessment

Physical

The property is situated on 175 West end lane, Harlington, UB3 5LY which is located near to the major bus route goes from M4 and connects to Heathrow Airport which is only 5-minute drive from the current house. The main road is 15-minute walking distance away from the address and the buses run every 10 to 15 minutes on a normal day and runs every 30 minutes every night.



Figure 1: Location of the property marked



Figure 2: Street view of the property

Flood Risk

The site is not in a flood risk zone.

The development will also take into consideration surface water run-off to avoid any potential flooding issues by connecting into the existing sewage system, SuD's and natural falls to prevent the need for any pumping systems. The scheme will be designed to prevent any increase in flood risk elsewhere by using permeable external finishes where possible.

Social

The property is located within Coventry, with a population of 316,900.

Economic

The proposed works to be carried out on the property will have a positive effect on the local economy, by providing the need for contracting workforce.

Planning Policy

The proposal has been considered for impact on the neighbouring properties and the style has been kept to be in keeping with the surrounding area and in conjunction with local policies and the NPPF listed below:

1. PS09 – Potential Development Areas (PDAs)
2. PS09a - Proposed PDA Uses Within the Strategic Regeneration Area
3. PS10 - Residential Amenity and New Development
4. AM01 – The Impact of Development of Pedestrians and People with Limited Mobility.
5. AM11 – Parking Provision with Non-residential Development
6. AM12 – Residential Car Parking Provision
7. H01 – New Housing Development Proposals
8. H03 – Density
9. BE20 – Flood risk

Involvement

The client has discussed the proposed works to the property with his adjoining neighbours.

The Application Proposal

Use

Planning permission is sought for a 175-west end lane, Harlington, UB3 5LY. The client wishes to extend the side of his house, this development does not require any ground extracting. The first floor storey will be built over ground floor supporting walls. The application is sought to extend the property because the family is expecting more kids and current household arrangement doesn't provide enough space for this. The client also works from home so area for work and bedroom for kids is needed. Family is also going to shelter their parents very soon therefore this application partially covers these rooms too. The extension is going to be full house length and 4.9m wide, which currently has the sufficient room to build this. The privacy of the other neighbour has been taken into consideration and no windows added to side walls.

Design

The basis behind the proposals is as described above. The external features and finishes of the proposed will match those existing and those used in and around the immediate neighbouring properties. As part of the proposal the new build will only have access from the main entrance and the back from the garden as usual.

Amount

The total site area is approximately 179 square metres. The existing floor print is approximately 100 square metres, of the site. The proposed dwellings come to an overall footprint of approximately 149 square metres, of the site, hence an 49% increase of in footprint.



Figure 3: Proposed site layout

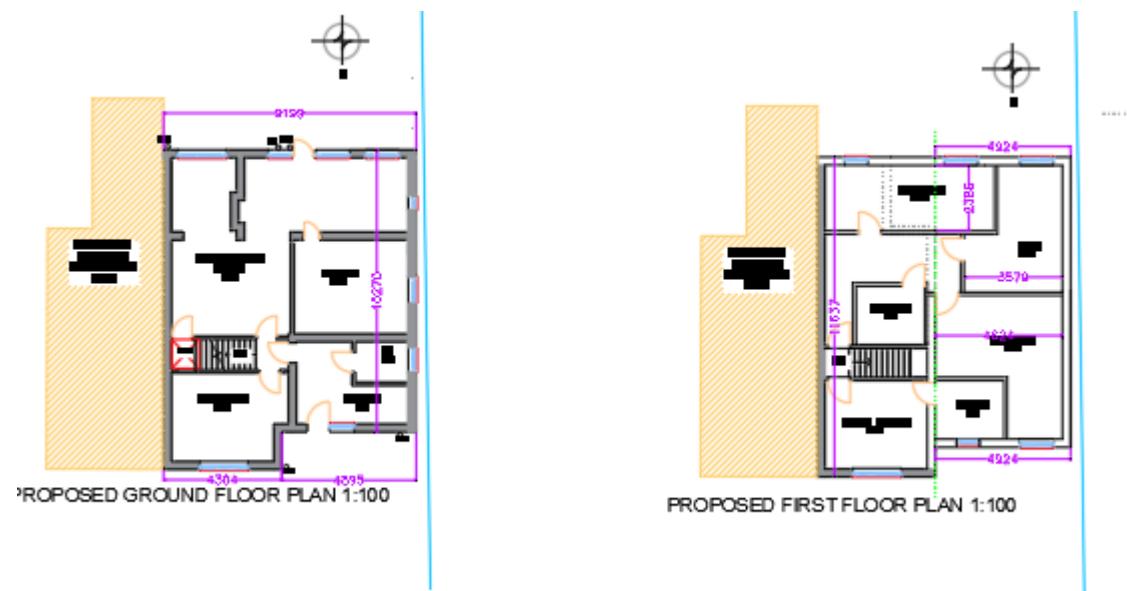


Figure 4. Proposed Plans of Ground Level and First Floor Level

Scale

It is recognised that the scale of the building and relationship with both the existing and surrounding area is important.

We feel the massing and the external treatment complement the local neighbouring properties and the extension has been carried out delicately to create a tasteful extension.

Landscaping

No trees will be removed or damaged as part of the design or during the works and the erection of the proposed.

Appearance

Currently the materials used on this dwelling is rendered chip stone external finish on the walls, double glazed windows and glass panels, Tudor brown clay tiles for the porch roof and grey fibre cement tiles on the roof of the dwelling and it is proposed to keep these materials the same on the proposed design as well to match with the dwelling and the neighbouring buildings to keep the same architectural information the same.

Accessibility

Access to the site and property will remain as the existing.

Summary

We consider the proposals to be coherent, its impact on neighbouring properties has been carefully considered and the external finishes and design are in keeping with the surrounding area. The single storey first floor side extension and has been designed sensitively and provides the necessary additional space for the growing family needs.

Signed

BS

16.05.24