

DESIGN, ACCESS & IMPACT STATEMENT

LOCATION:

No.6, Newlyn Close, Uxbridge, UB83PA

PROPOSAL:

Erection of 2 Bedroom semi detached House, and provisions of off street car parking with associated facilities site at Land Adjoining No.6 Newlyn Close, Uxbridge.

1-INTRODUCTION

The statement has been prepared in support of the planning application submitted by Mr Vinod Takkar . The application relates to the erection of new residential house on a vacant land situated at the side of existing house.

The statement represents reasoned justification for the proposed development and has been prepared to comply with National Guidance, Strategic and local planning policies.

The planning submission has regard to the nature of the site, its surrounding, characteristics, constraints and need to improve this property.

2-SITE BACK GROUND

The application site comprises of a three bedroom end of terrace house with a large vacant land at side, front and rear. . The site is situated on Newlyn Close. Newly close is residential parade with semi detached houses in the parade.

Total area of site is 660.14 Sqm including existing dwelling house .

Photograph showing Front view of the existing House



The application site contains a large amount of land along front, side and rear of existing dwelling house. There is existing garage in front of existing house within site boundary .The garage can contain two car parking spaces .(referred to existing site plan)

Planning History

A Planning application referenced 17607/APP/2024/641 , was submitted for erection of a detached house towards the North- East of existing building was submitted to LPA . The application was withdrawn due to LPA's concerns about following issues

- 1- Character and appearance of area and new building
- 2- Quality of Accommodation
- 3- Neighbouring amenity
- 4- Highways
- 5- Accessibility

PROPOSAL:

Revised proposal is being submitted by addressing issues raised in previously withdrawn application and new dwelling house is proposed at a position which addresses the issues raised above.

3-DESIGN CONSIDERATIONS FOR THE PROPOSAL

The application site has large area, surrounded by residential built up environment, and contains more potential for further improvement to benefit the future occupants and fulfil the needs of residential housing.

- 1- Site is a large open land itself which makes this development more appropriate for residential use
- 2- The new premises are designed adjoining the existing building, thus maintaining the semi detached character of dwelling houses within the parade.
- 3- The new building will maintain continuity of terrace , building lines and appearance
- 4- All other properties along the Newlyn Close contain similar character
- 5- The residential units will have their own front and rear gardens , thus making view very much attractive for future occupants

- 6- The proposed building would be well set apart from surrounding residential premises within adjoining gardens

Photograph showing the view of the semi detached Properties within the Parade



- 7- Proposed new dwelling house will reflect the continuity of terrace with similar character , scale and appearance within street
- 8- The existing dwelling house has approximately 9.2 M land (referred to proposed site plan) in width towards the west , however reducing 5 m towards the south . This reduction of width however , still have adequate width to accommodate acceptable living standards
- 9- It is believed that the proposal will not affect the adjoining properties in terms of detrimental impact, Daylight/ sunlight impacts due to the pitched roof design and being detached from all surrounding properties
- 10- The height of proposed building will match than those of adjoining property . The houses in the parade are double storey buildings with gable end pitched roof characters
- 11- The provision of the refuse & Recycle bin space is being provided within front garden adjacent to the side footways (referred to site plan)
- 12- There is no any impact to existing green features to the surrounding area
- 13- The overall scale of the development in terms of height has the regard of the adjoining buildings

14- The privacy of future occupants at all levels is maintained
 15- A large front and rear gardens are provided for both residential dwellings.

4- AMOUNT OF PROPOSED DEVELOPMENT

It is proposed to develop 2x4 Bedroom (5 People) houses by creating a new two storey building. Proposal involves the provision of the 2 off Street car parking spaces in the front gardens (referred to proposed plans).

SCHEDULE OF AREAS

Unit Name	Floor Area	No of Bedroom	Location	Car Parking	Cycle Park
H1	83	2	Ground & First	2	4

5- SCALE OF PROPOSED DEVELOPMENT

The development would be a semi detached building, in line with existing terrace along Newlyn Close . The height of the building matches with the existing properties in the parade and built up environment

6-LANDSCAPING

The design proposal takes into account the hard and soft landscaping of the proposed development in terms individual and its context with the adjoining buildings. It is clear that the proposed development does not dominate the existing buildings in term of size and scale. It reflects style, proportion, materials and details to existing townscape of the area and street.

The design of new development demonstrates that high priority has been given to the objective of positively preserving or enhancing the character of appearance of area by using the matching materials

The houses character along the street is detached terraces of semi detached houses with off street car parking spaces and garages.

New plantation and trees are proposed and are referred to proposed site plan.

7-APPEARANCE OF PROPOSED DEVELOPMENT

It is taken into account in the design, Layout, Size, scale and materials that appearance of the building to be to reflect the existing character of townscape of area and street. All materials to be matched with existing materials used in the adjoining properties.

- I. The scheme is designed to respect the townscape of area with an architecturally sympathetic building and roof to the townscape of area , forming a foreground car parking spaces
- II. The newly proposed building enhance the street scene , scale , character and creates a more coherent urban setting and ensuring appropriate privacy relationship with adjacent properties

8-ACCESS, FIRE AND SAFETY

Access:

There is no change in the existing access to the building from Newlyn Close. There is an existing private Road leading from Newlyn Close. The

Photograph showing private Access Road to the Site



The following Considerations are being made regarding Access Concerns

- 1- The private Access Road which is lead from Newlyn Close – Cul de sec to the existing site , however there is adequate width of the Access Road (3.150 M , which is more than required width of a single lane
- 2- The Newlyn Close Cul-de Sec is yellow route non stopping and no parking road
- 3- All of the dwelling-houses surrounding Cul de Sec contain the private car parking garages, therefore, none of car being parked in Cul de Sec.
- 4- Proposed house would also benefit of its own private garden and car parking spaces similar than those of existing dwelling house at No.6
- 5- Proposal provides 2 car parking spaces for each house situated in the front of houses
- 6- The access road leading from Newlyn Close Cul De Sec is walled is not shared with any of the adjoining properties in the parade

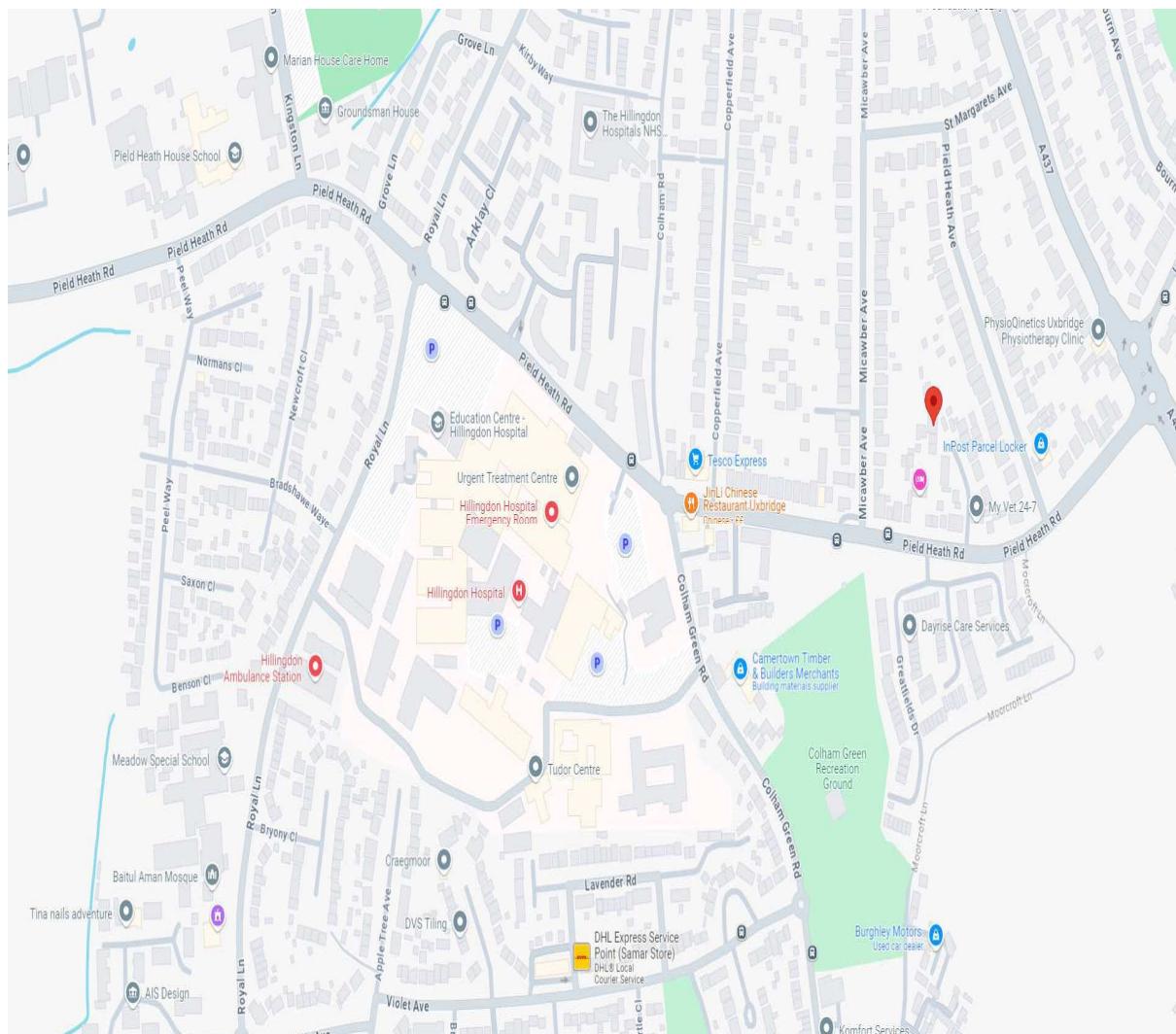
Disabled Access

Disabled ramp is proposed to provide access for all users at front doors. All doors of liveable rooms at ground floor are proposed to be comply with doc “M” of building regulations. The ground floor lounge and bedroom would be compatible with policy D5 Accessible Housing and document M4 (2) & M4 (3) of building regulations. The proposal involves the provision of disabled toilet at ground floor.

ACCESS TO AND FORM

The site is within built up residential environment with close proximity of the public services, transport, shopping, leisure and health facilities

Google Map showing Facilities with reference to No.6 Newlyn Close



Hillingdon Hospital situated at distance of 0.4 M at 7 minutes Walk

**Colham Green Recreation Ground situated at distance of
0.4 M 7 Minutes Walk**

Colham Primary School situated at distance of 0.5 M 10 minutes Walk

FIRE SAFETY:

Service vehicles and fire engines would be able to serve the site from the Newlyn Close. Fire alarm system to be installed to further enhance the fire safety at site.

FIRE SAFETY STATEMENT

London Plan Policy D12 requires development proposals to achieve the highest standards of fire safety. The following elements are to be proposed to make proposed houses to achieve maximum level of fire safety.

Fire Rated Constructions:

All rooms, stud walls, solid walls, ceilings to be constructed for minimum 30 min fire rated materials

Usage of Fire Rated Doors

All doors to used are being proposed to be of 30 minutes fire resistance

Fire Rated Stairs

All stairs would be made 30 minutes fire resistant

Structural Components

All structural components , steel columns , steel beams would be made minimum 60 minutes fire resistant by dry lining them with the fire rated boards

Smoke Alarms

Radio-interlinked smoke alarms and heat alarms, from battery powered smoke detectors to certified to BS 5839 Part 6 Grades D2 for new domestic premises to be installed in newly developed premises . All smoke detectors are linked to each other via radio system and if any of the device detect the fire in any part of building, all other devices would also start the sound to inform the residents.

Refuse collection:

The reuse and recycle bins are proposed to be placed in the front gardens of each unit.

9-PRIVACY & OVERLOOKING

It is considered that proposal will not compromise the privacy and overlooking onto and into the adjacent buildings. All adjoining properties are well apart from the proposed newly developed house.

10- DAYLIGHT/ SUNLIGHT

Following considerations are made in relation to impact of daylight/ sunlight

- I. The scale of the proposed building is almost matched than those of the properties in parade in terms of height.

II. The building is sited adjoining the existing building , and is uniformity in scale than those of properties in the parade in terms of height

11-CONCLUSION

The proposal will facilitate the development of a large site to facilitate the future needs of residential premises, while maximising the aesthetic sense of the parade. The scale of the proposed building does not dominate than those of neighbouring properties. The proposed development keeps the character, scale, and shape than those of the properties in the parade and will appear the integral part of townscape.

It is envisaged that the development of the site by a well designed building using sympathetic materials to serve as an example of an environmental friendly development on a location with good public transport accessibility as encouraged by government guideline. The scheme also offer significant benefits in terms of urban renewal, aesthetic quality, and increased density of Residential premises.