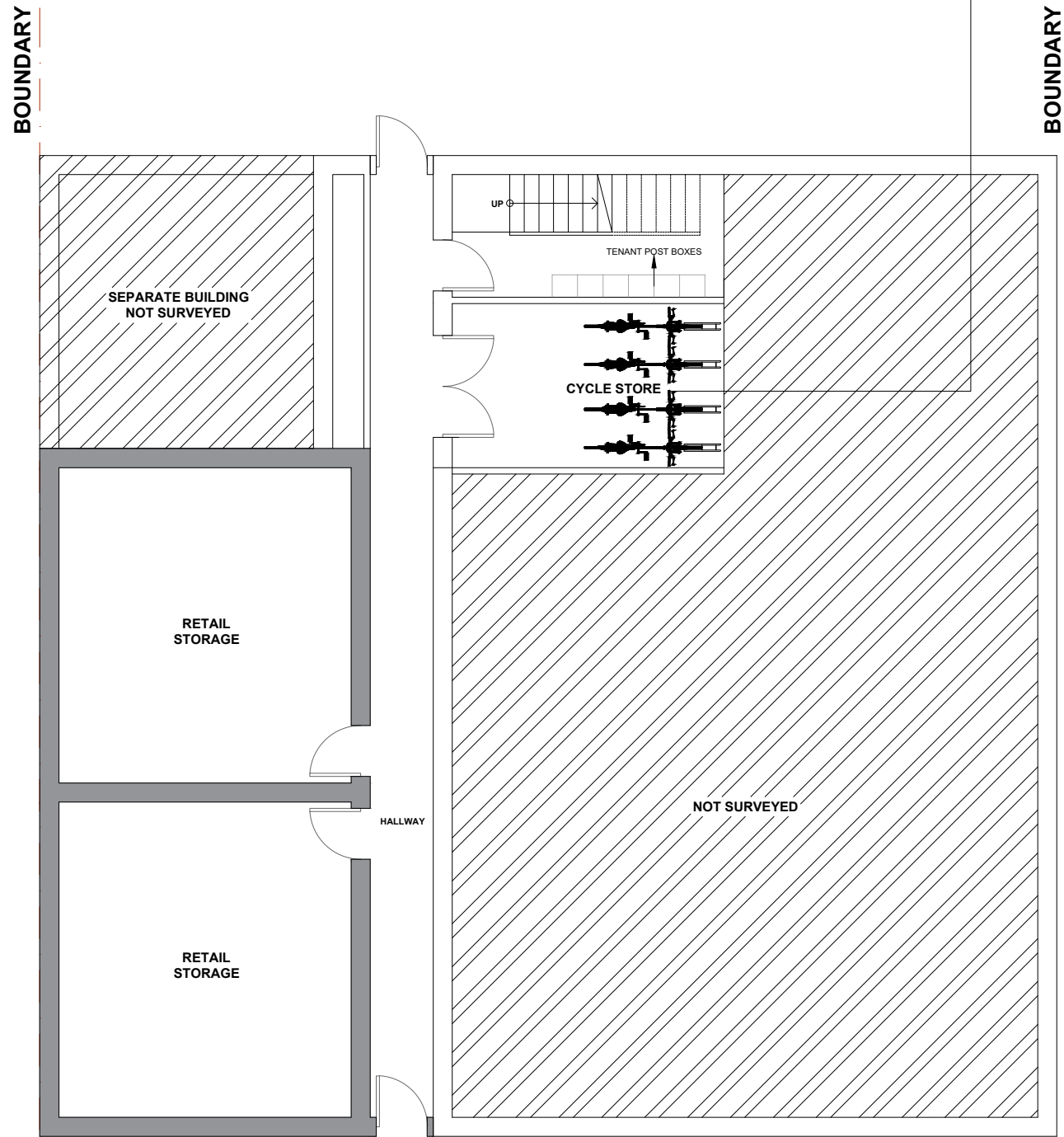


BIKE STORE (TO LA APPROVAL): TWO TIER BIKE RACK WITH GAS STRUTS (10 BIKES)

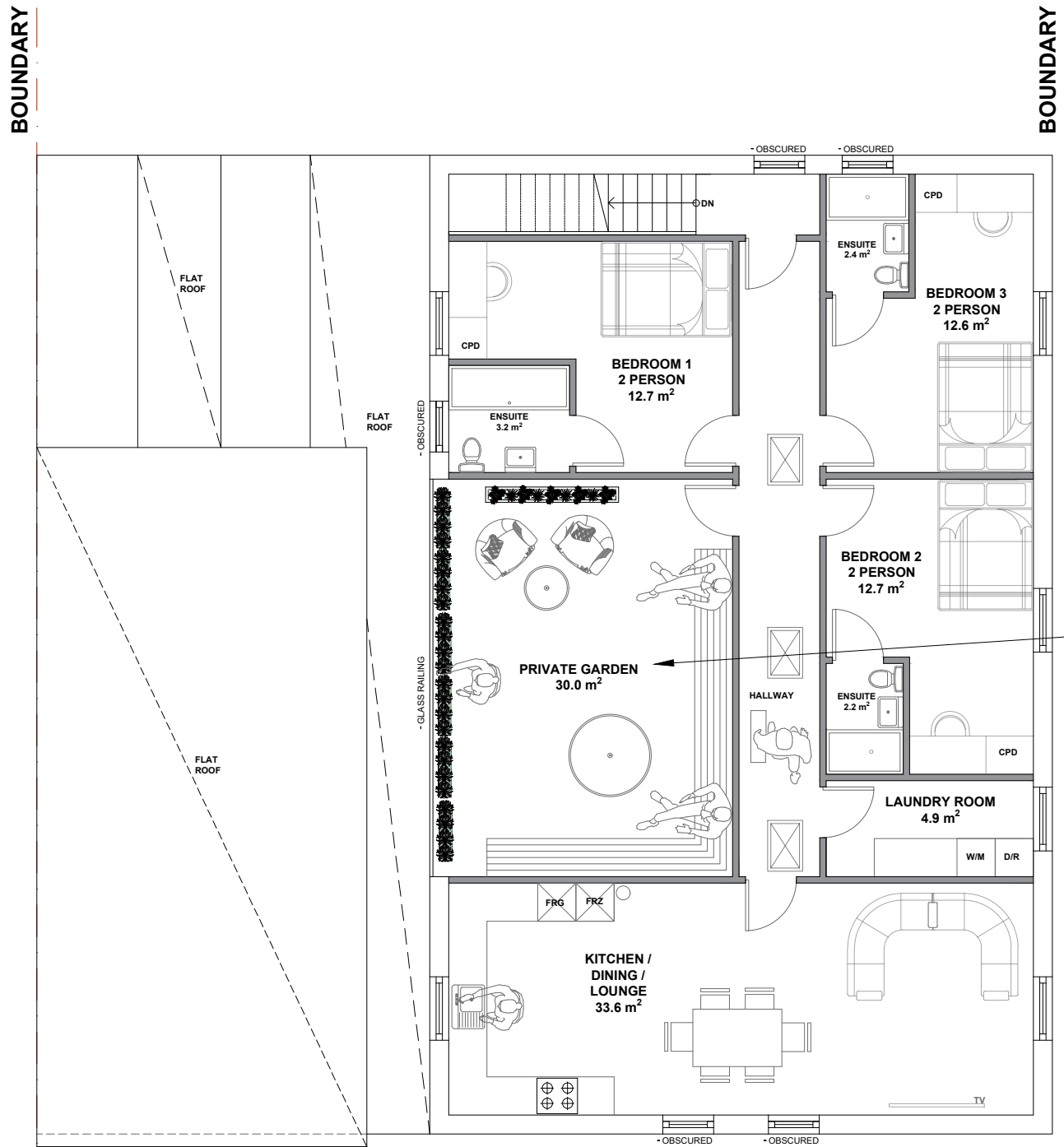
WWW.BIKEDOCKSOLUTIONS.COM

PARKING CENTRES OF 325MM RACK FINISH-GALVANISED FRAME BOLTED TOGETHER USING M10 BOLTS, SECURED TO GROUND USING M12 SHEETH ANCHORS 10 BIKES - 2250MM.

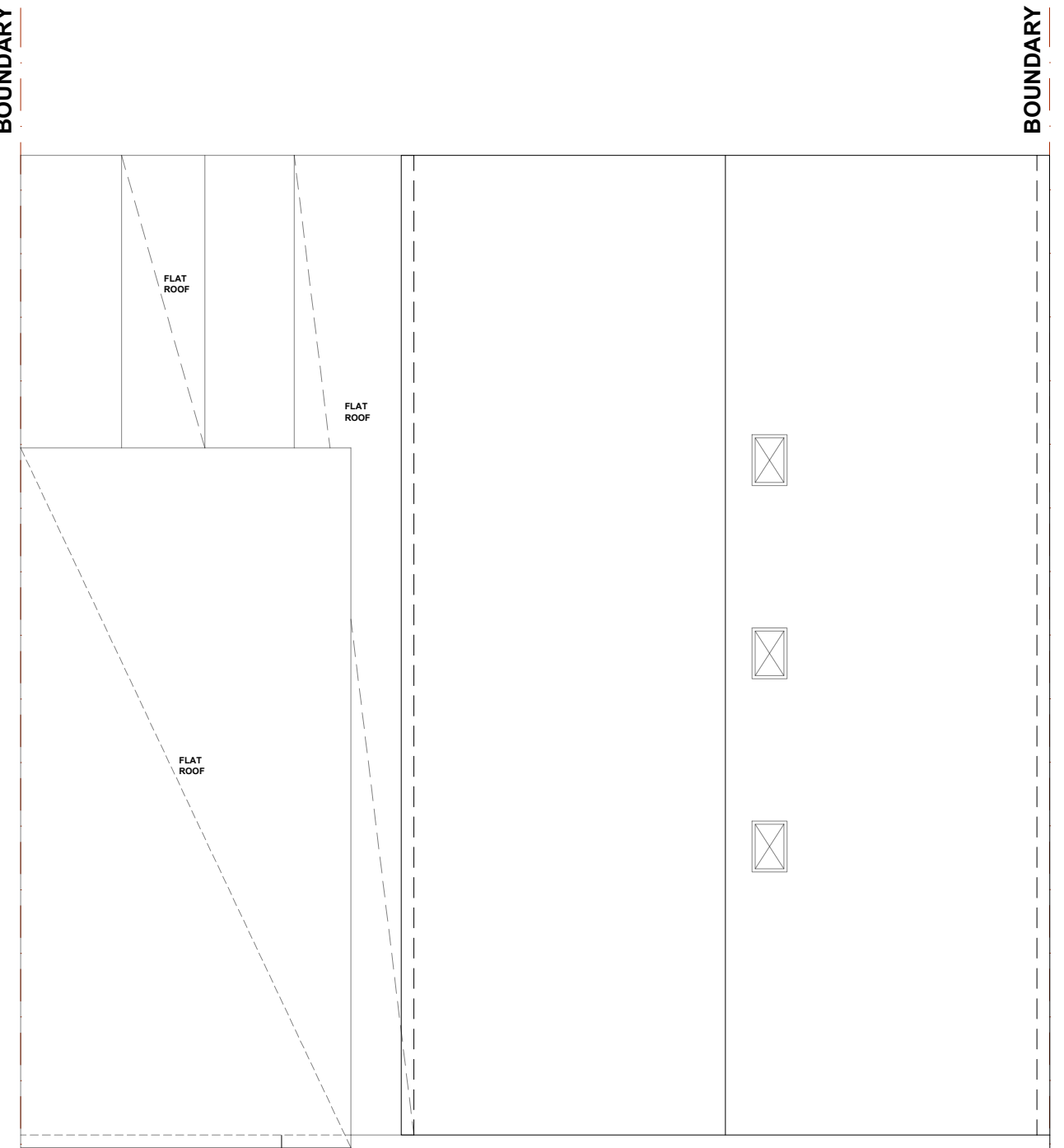
THE TWO TIER BIKE RACK CAN ACCOMMODATE ALL TYPES OF BICYCLES, SUCH AS MOUNTAIN BIKES AND ROAD BIKES, WHICH CAN BE CHAINED OR UNLOCKED ON TO THE TWO TIER BIKE RACK FOR ADDED SECURITY. THE BICYCLE IS WELL SUPPORTED BY WHEEL CHANNELS AND THE BACK WHEEL IS STABILISED BY A GUTTER TO LOCK THE BICYCLE FIRMLY INTO PLACE.



PROPOSED GROUND FLOOR PLAN
SCALE 1:100



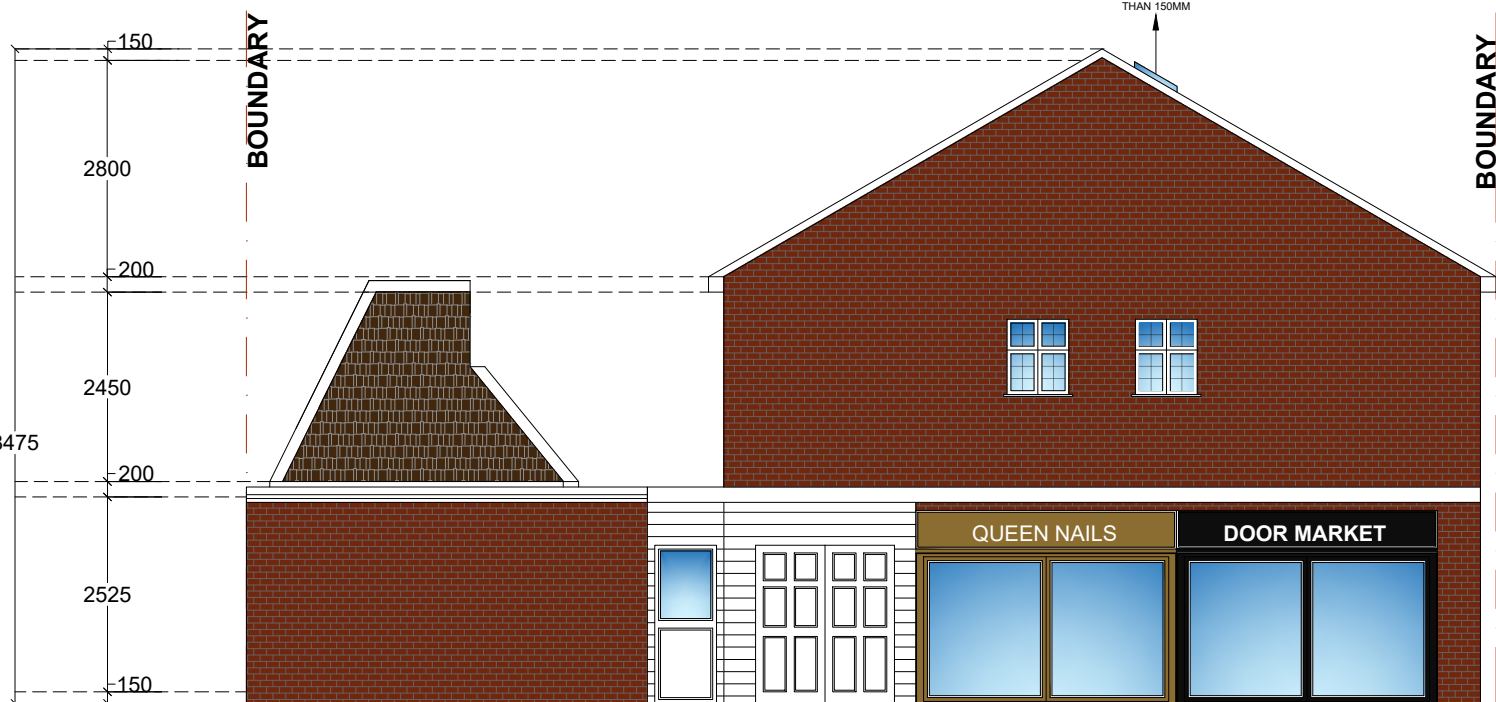
PROPOSED FIRST FLOOR PLAN
SCALE 1:100



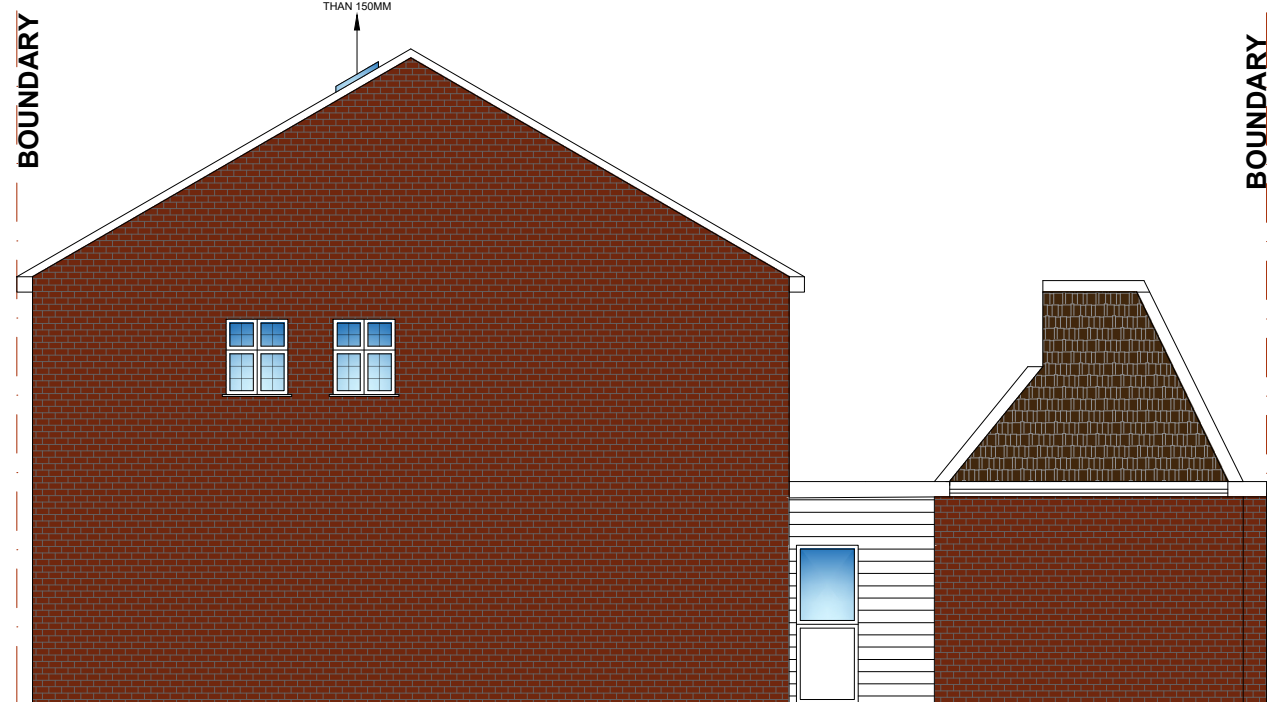
PROPOSED ROOF PLAN
SCALE 1:100

HMO FACILITIES			
ROOM	AREA	HOUNSLOW COUNCIL HMO GUIDANCE	ACHIEVED
KITCHEN/ LIVING/ DINING 1	33.6 m²	5 PERSON MORE THAN 12 m²	YES
FOUR RING HOB, OVEN, GRILL AND MICROWAVE TO BE PROVIDED IN EACH KITCHEN			
SINGLE SINK AND DISHWASHER TO BE INSTALLED IN ALL KITCHENS			
300 MM TILED SPLASHBACK OR ITS EQUIVALENT TO BE PROVIDED TO THE SINK/DRAINER, WORKTOP AND ANY COOKER WITHOUT AN INTEGRAL SPLASHBACK			
ONE SUITABLY LOCATED ELECTRICAL SOCKET FOR EACH DEDICATED APPLIANCE SUCH AS A COOKER, REFRIGERATOR AND WASHING MACHINE. IN ADDITION, 4 SOCKETS (IN EITHER DOUBLE OR SINGLE COMBINATIONS) TO BE PROVIDED ABOVE THE WORKTOP. IF 6 AND ABOVE OCCUPANTS AN ADDITIONAL 2 SOCKETS IS REQUIRED			
IMPERVIOUS AND WASHABLE FLOOR COVERING TO COVER THE FLOOR AREA OF THE KITCHEN.			
ONE DOUBLE WALL CUPBOARD OR ONE SINGLE BASE CUPBOARD MAY BE PROVIDED WITHIN INDIVIDUAL LETS.			
THE BASE UNIT BELOW THE SINK/DRAINER IS NOT ACCEPTABLE FOR FOOD STORAGE			
A SHARED KITCHEN, EQUIVALENT OF 2 WORKTOP HEIGHT REFRIGERATORS BOTH WITH FREEZER COMPARTMENTS, OR 1 WORKTOP HEIGHT FRIDGE AND 1 WORKTOP HEIGHT FREEZER. IF 6 AND ABOVE OCCUPANTS, AN ADDITIONAL WORKTOP HEIGHT REFRIGERATOR WITH FREEZER COMPARTMENT.			
NEWLY CONVERTED KITCHENS MUST HAVE A MECHANICAL EXTRACTOR REGARDLESS OF WHETHER THERE IS AN OPENABLE WINDOW.			
APART FROM AN EXTRACTOR HOOD, FIXTURES AND FITTINGS ARE NOT TO BE DIRECTLY ABOVE COOKING APPLIANCES.			
SUFFICIENT REFUSE STORAGE TO BE PROVIDED FOR THE NUMBER OF OCCUPIERS.			
ROOMS MUST HAVE A MINIMUM FLOOR TO CEILING HEIGHT OF AT LEAST 2.14m OVER 75% OF THE FLOOR AREA, ANY FLOOR AREA WHERE THE CEILING HEIGHT IS LESS THAN 1.53m IS DISREGARDED. (AS STATED ON GUIDANCE ON HMO STANDARDS, REDBRIDGE COUNCIL WEBSITE)			
WHERE A SHOWER CUBICLE IS PROVIDED, IT MUST BE OF A SUFFICIENT SIZE THAT THE USER CAN BATHE AND DRESS WITHOUT INJURY.			

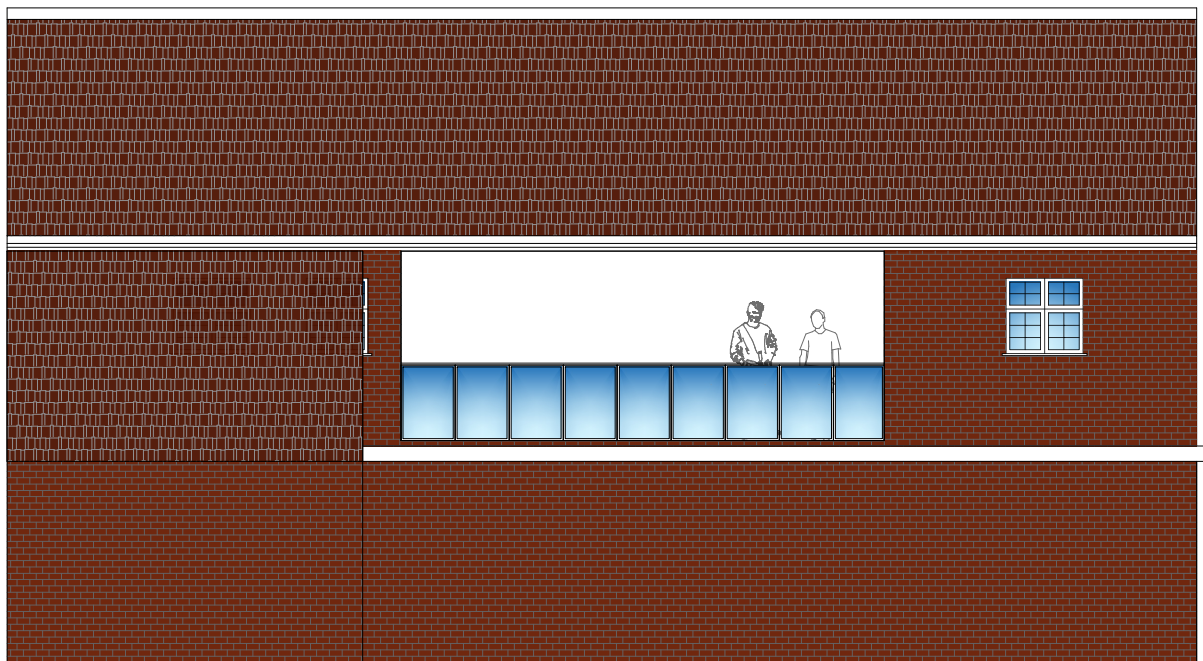
FIRST FLOOR HMO TABLE OF AREAS				
LOCATION	OCCUPANCY NUMBER	ROOM AREAS	HOUNSLOW COUNCIL REQUIREMENTS	ACHIEVED
BEDROOM 1	2	12.7 m²	MORE THAN 10.22 m²	YES
BEDROOM 2	2	12.7 m²	MORE THAN 10.22 m²	YES
BEDROOM 3	2	12.6 m²	MORE THAN 10.22 m²	YES



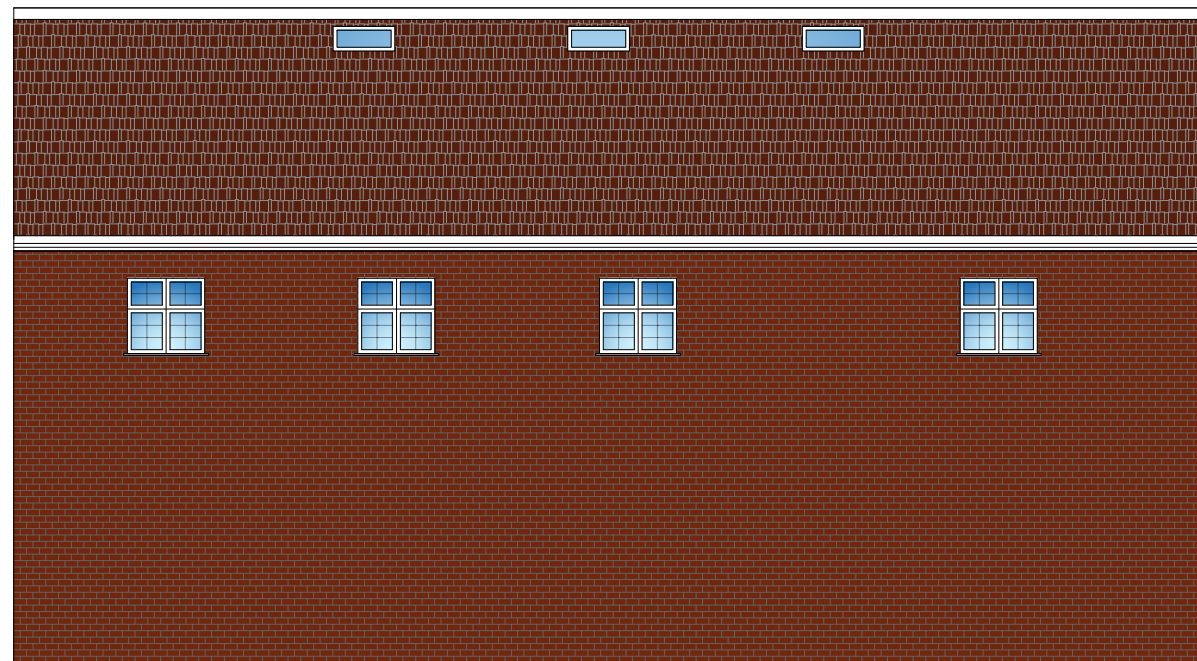
PROPOSED FRONT ELEVATION
SCALE 1:100



PROPOSED REAR ELEVATION
SCALE 1:100



PROPOSED SIDE ELEVATION
SCALE 1:100



PROPOSED SIDE ELEVATION
SCALE 1:100



LANDMARK GROUP

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CLIENT / JOB ADDRESS:
15B STATION ROAD
HAYES
UB3 4BD

DRAWING TITLE / DESCRIPTION
PROPOSED DRAWINGS

SUBMISSION / REF
PLANNING APPLICATION

DRAWING TITLE
PLANS AND
ELEVATIONS (2)
DRAWING No.
15B/ST/PL/110

SCALE : 1:xx ON A1
DRAWN BY : CK
DATE : 07.03.2024
CHECKED BY : SB

REVISION DESCRIPTION

DRAWN BY DATE

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DRAFT DRAWINGS
NOTE: DRAWINGS AND CALCULATIONS TO BE APPROVED BY LOCAL AUTHORITY OR APPROVED BUILDING CONTROL INSPECTOR BEFORE WORK COMMENCES.