

A scale bar marked from 0 to 9 meters, with a scale factor of 1:100 indicated.

A scale bar marked from 0 to 20 in increments of 2, with a label '2m' at the 2 mark. The text 'SCALE BAR 1:200' is printed to the left of the scale.



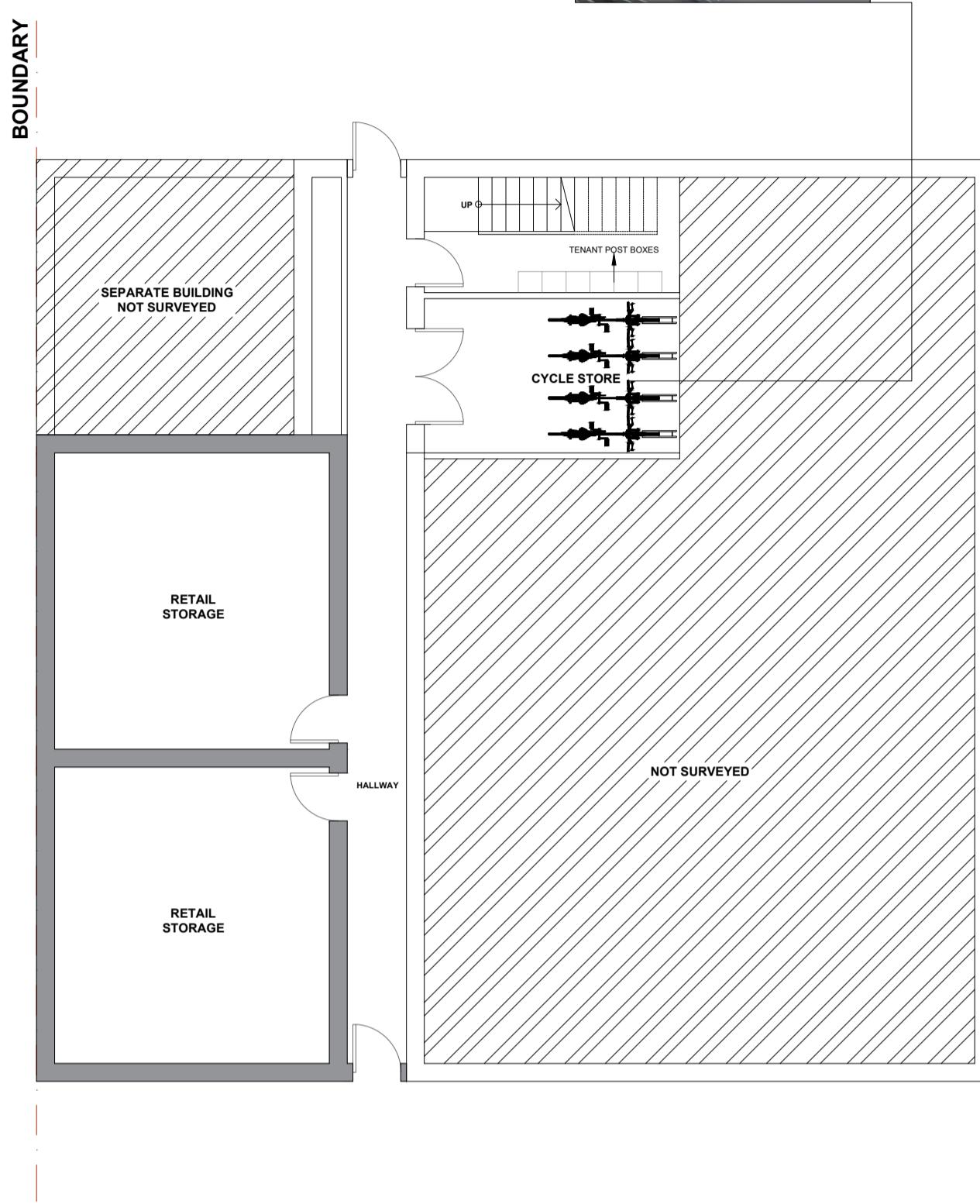
**BIKE STORE (TO LA APPROVAL): TWO TIER BIKE RACK WITH GAS STRUTS (10 BIKES)**

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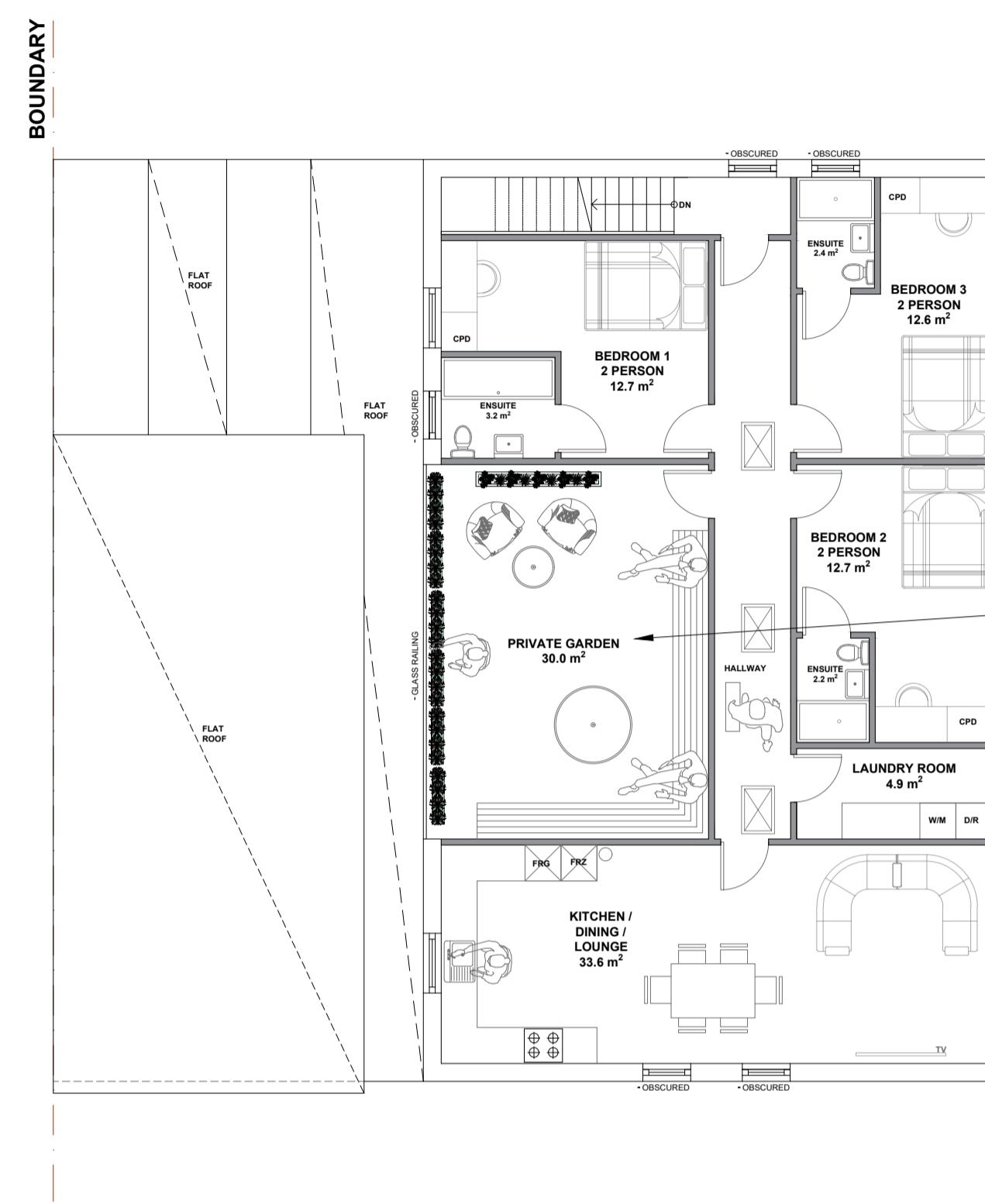
PARKING CENTRES OF 325MM  
RACK FINISH-GALVANISED FRAME BOLTED TOGETHER USING M10 BOLTS, SECURED TO GROUND USING M12 SHEETH ANCHORS 10 BIKES - 2250MM.

THE TWO TIER BIKE RACK CAN ACCOMMODATE ALL TYPES OF BICYCLES, SUCH AS MOUNTAIN BIKES AND ROAD BIKES, WHICH CAN BE CHAINED OR D-LOCKED ON TO THE TWO TIER BIKE RACK FOR ADDED SECURITY. THE BICYCLE IS WELL SUPPORTED BY WHEEL CHANNELS AND THE BACK WHEEL IS STABILISED BY A GUTTER TO LOCK THE BICYCLE FIRMLY INTO PLACE.

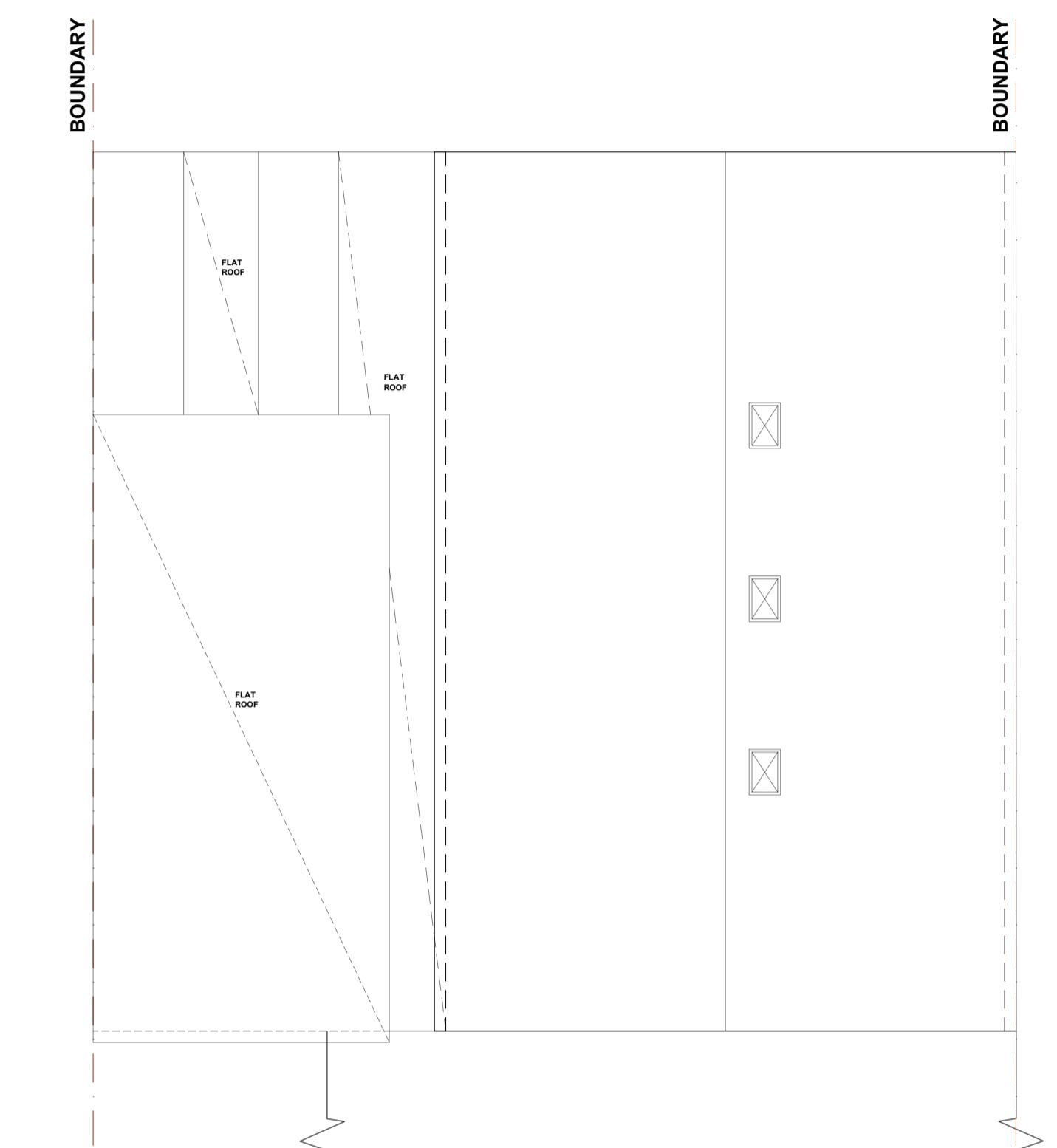




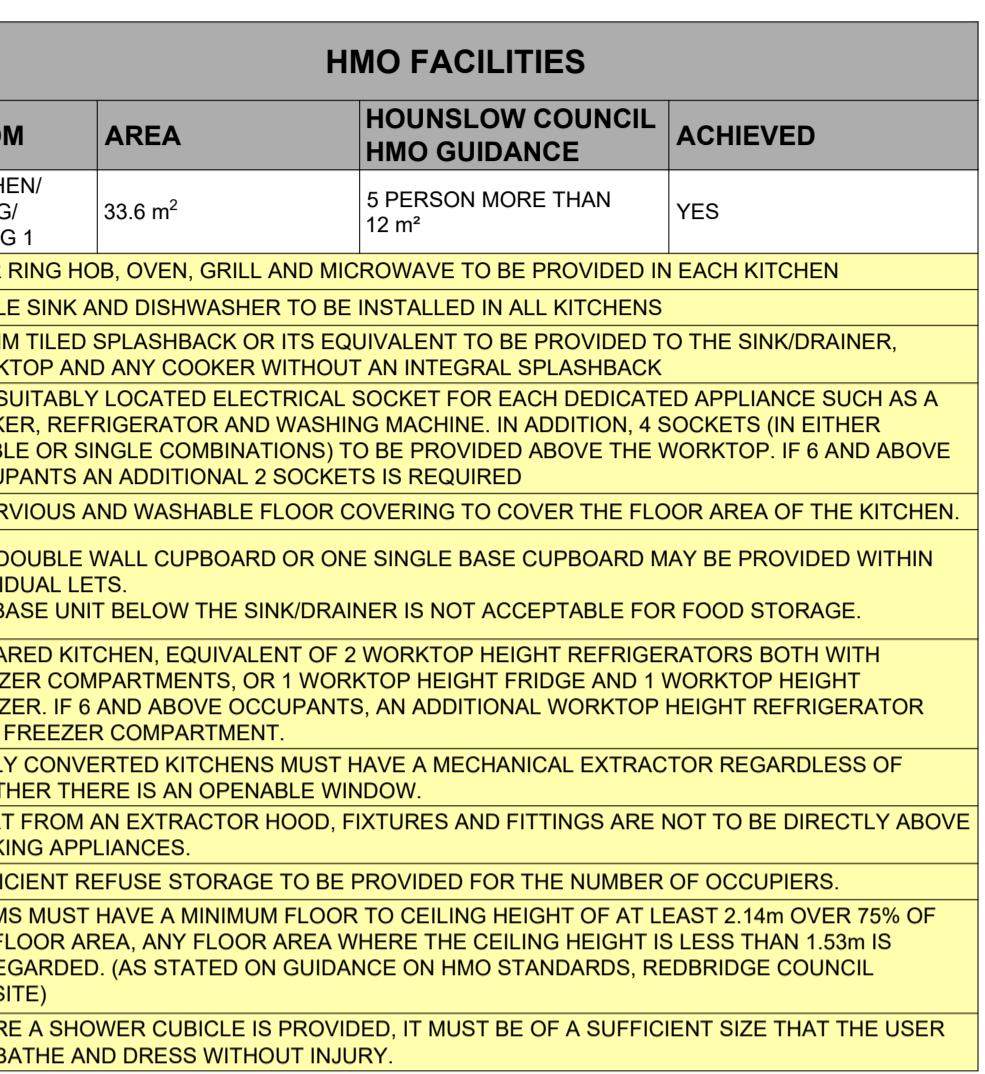
**PROPOSED GROUND FLOOR PLAN  
SCALE 1:100**



**PROPOSED FIRST FLOOR P  
SCALE 1:100**



**PROPOSED ROOF P  
SCALE 1:100**

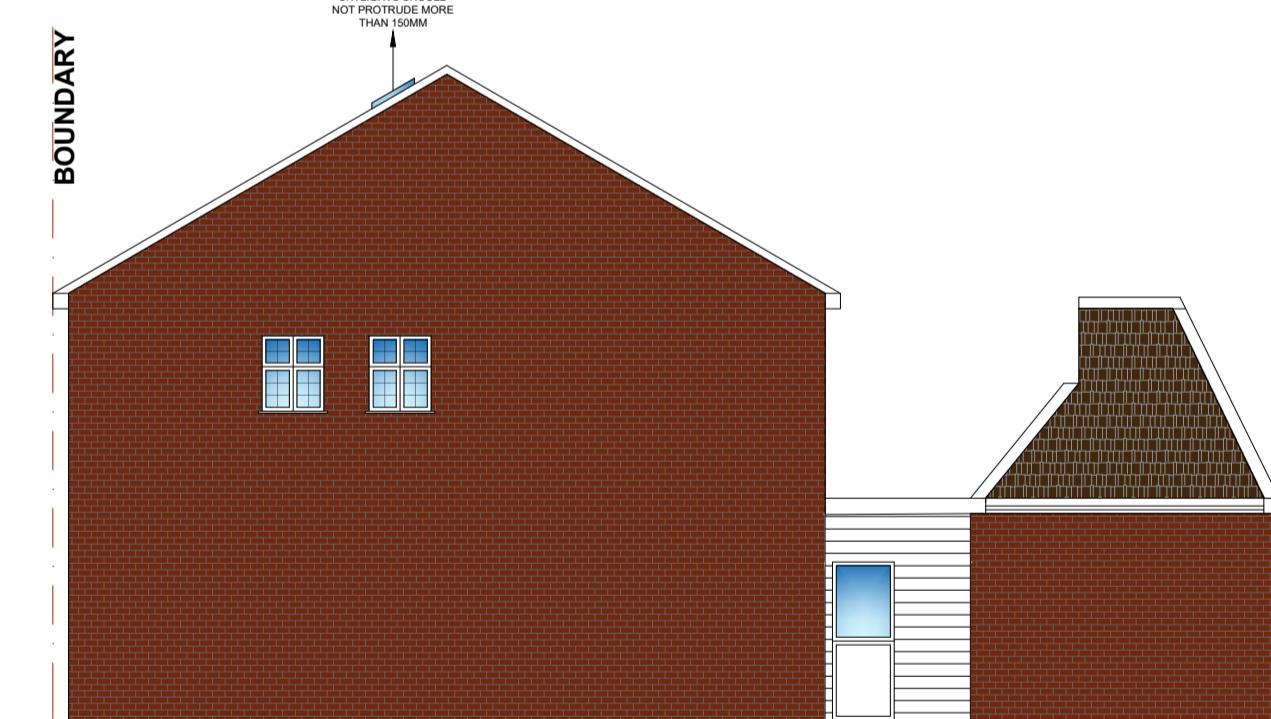


## **FIRST FLOOR HMO TABLE OF AREAS**

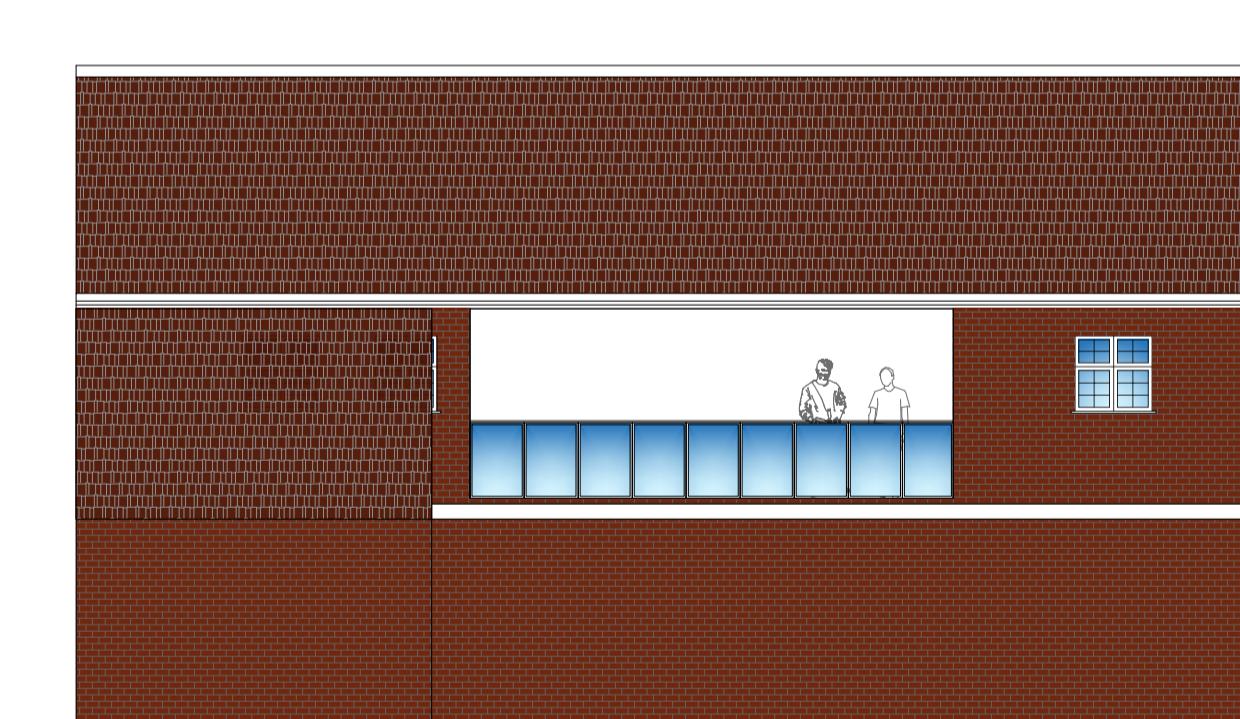
STATION	OCCUPANCY NUMBER	ROOM AREAS	HOUNSLOW COUNCIL REQUIREMENTS	ACHIEVED
ROOM 1	2	12.7 m <sup>2</sup>	MORE THAN 10.22 m <sup>2</sup>	YES
ROOM 2	2	12.7 m <sup>2</sup>	MORE THAN 10.22 m <sup>2</sup>	YES
ROOM 3	2	12.6 m <sup>2</sup>	MORE THAN 10.22 m <sup>2</sup>	YES



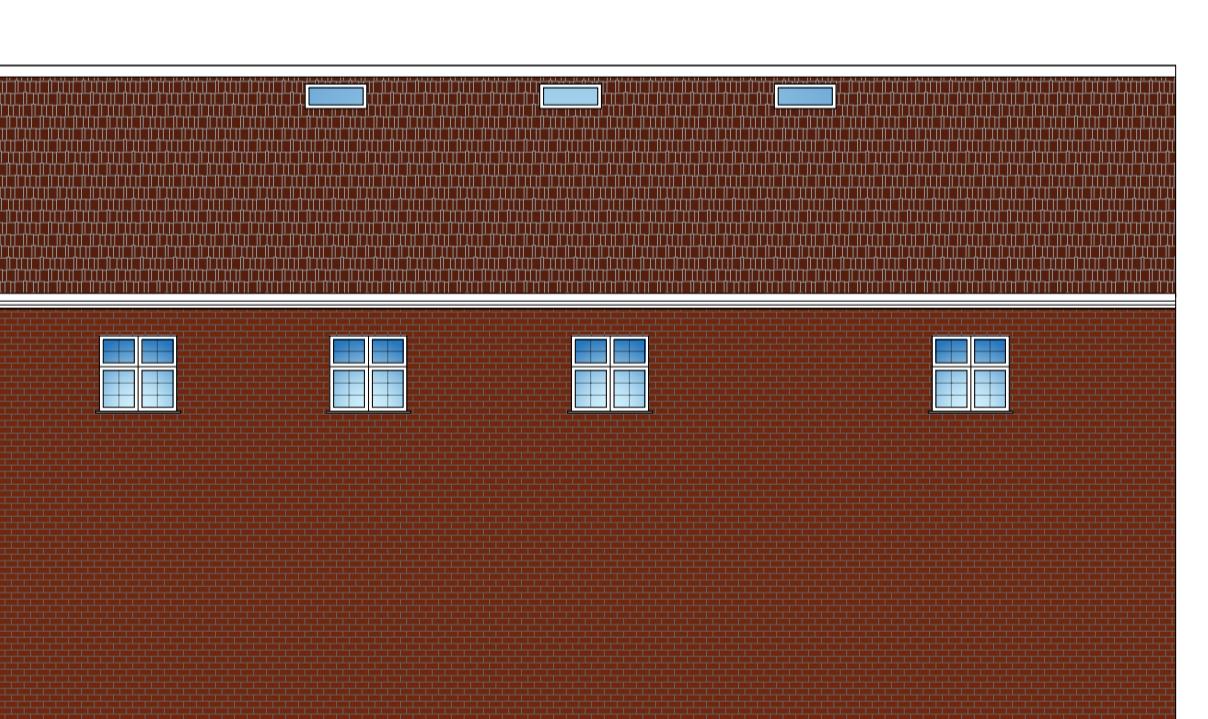
**PROPOSED FRONT ELEVATION  
SCALE 1:100**



**PROPOSED REAR ELEVATION**  
**SCALE 1:100**



**PROPOSED SIDE ELEVAT  
SCALE 1:100**



**PROPOSED SIDE ELEVATION  
SCALE 1:100**

SCALE BAR 1:500

0 10m 20 30 40 50 60 70 80 90 100 110 120



# LANDMARK GROUP



**CIOB**  
THE CHARTERED INSTITUTE OF BUILDING

THE PILLARS  
SLADE OAK LANE,  
GERRARDS CROSS  
BUCKINGHAMSHIRE, SL9 0QE

The logo for RTPI Chartered Town Planners. It features a blue 3D block graphic on the left and the text 'RTPI Chartered Town Planners' on the right.

<b>CLIENT / JOB ADDRESS:</b> 15B STATION ROAD HAYES UB3 4BD		<b>SUBMISSION / REF</b> PLANNING APPLICATION		ALL MEASUREMENTS TO BE CHECKED ON SITE. ANY DISCREPANCIES TO BE REPORTED TO LANDMARK ARCHITECTURE AND PLANNING LTD, LANDMARK GROUP OR ANY OF THEIR AFFILIATED COMPANIES. PARTY WALL (ETC) ACT 1996 TO BE AGREED WITH ADJOINING NEIGHBOURS PRIOR TO ANY WORK TO THE SATISFACTION OF LOCAL AUTHORITY INSPECTORS. NO DEVIATION FROM THESE DRAWINGS WHATSOEVER UNLESS AGREED IN WRITING WITH LANDMARK ARCHITECTURE AND PLANNING, LANDMARK GROUP OR ANY OF THEIR AFFILIATED COMPANIES.	
<b>DRAWING TITLE / DESCRIPTION</b> PROPOSED DRAWINGS	<b>DRAWING TITLE</b> PLANS AND ELEVATIONS (2)	<b>SCALE :</b> 1:xx ON A1			NEITHER LANDMARK ARCHITECTURE AND PLANNING LTD NOR LANDMARK GROUP OR ANY OF THEIR AFFILIATED COMPANIES ACCEPT ANY RESPONSIBILITY OR LIABILITY IN RELATION TO ANY MATTER CONNECTED WITH COMMUNITY INFRASTRUCTURE LEVY (CIL). CLIENTS ARE ADVISED TO SEEK INDEPENDENT SPECIALIST ADVICE IN RELATION TO ALL CIL MATTERS. LANDMARK ARCHITECTURE AND PLANNING LTD, LANDMARK GROUP OR ANY OF THEIR AFFILIATED COMPANIES ARE NOT RESPONSIBLE FOR THE SERVICE OF ANY CIL FORMS OR CIL ADVICE, THIS IS THE APPLICANT'S DIRECT RESPONSIBILITY. NO WORK ON SITE SHOULD COMMENCE, INCLUDING DEMOLITION OR SITE SET UP, UNTIL ALL CIL NOTICES HAVE BEEN SERVED AND THE COUNCIL HAVE CONFIRMED IN WRITING THAT ALL CIL MATTERS HAVE BEEN DEAL WITH CORRECTLY AND IT IS PERMISSIBLE TO START ON SITE. FAILURE TO SERVE CIL NOTICES, DISCHARGE CONDITIONS OR FAILURE TO BUILD IN ACCORDANCE WITH THE APPROVED PLANS CAN RESULT IN THE LOSS OF CIL EXEMPTION. IF SCHEME IS SUBJECT TO AN EXEMPTION PARTICULAR CARE SHOULD BE TAKEN TO MEET THE TERMS OF THE EXEMPTION. CLIENTS ARE STRONGLY ADVISED TO SEEK SPECIALIST ADVICE IN RELATION TO ALL PROPOSALS.
		<b>DRAWN BY :</b> CK			THAMES WATER (OR OTHER LOCAL WATER PROVIDER) BUILD OVER AGREEMENTS MAY BE REQUIRED. THIS IS SUBJECT TO ARRANGEMENTS AND MAY REQUIRE AN ADDITIONAL FEE, WHICH WILL BE PAYABLE TO THE WATER PROVIDER AND LANDMARK ARCHITECTURE AND PLANNING LTD, LANDMARK GROUP OR AFFILIATED COMPANY.
	<b>DRAWING No.</b> 15B/ST/PL/110	<b>DATE :</b> 07.03.2024			ALL GUTTERS, FOUNDATIONS AND DOWNPipes TO REMAIN WITHIN THE BOUNDARY LINES OF THE SUBJECT PROPERTY. ALL PLANS ARE SUBJECT TO FULL PLANS APPROVAL BY BUILDING CONTROL, NOT BUILDING NOTICE.
		<b>CHECKED BY :</b> SB			<b>DRAFT DRAWINGS</b>