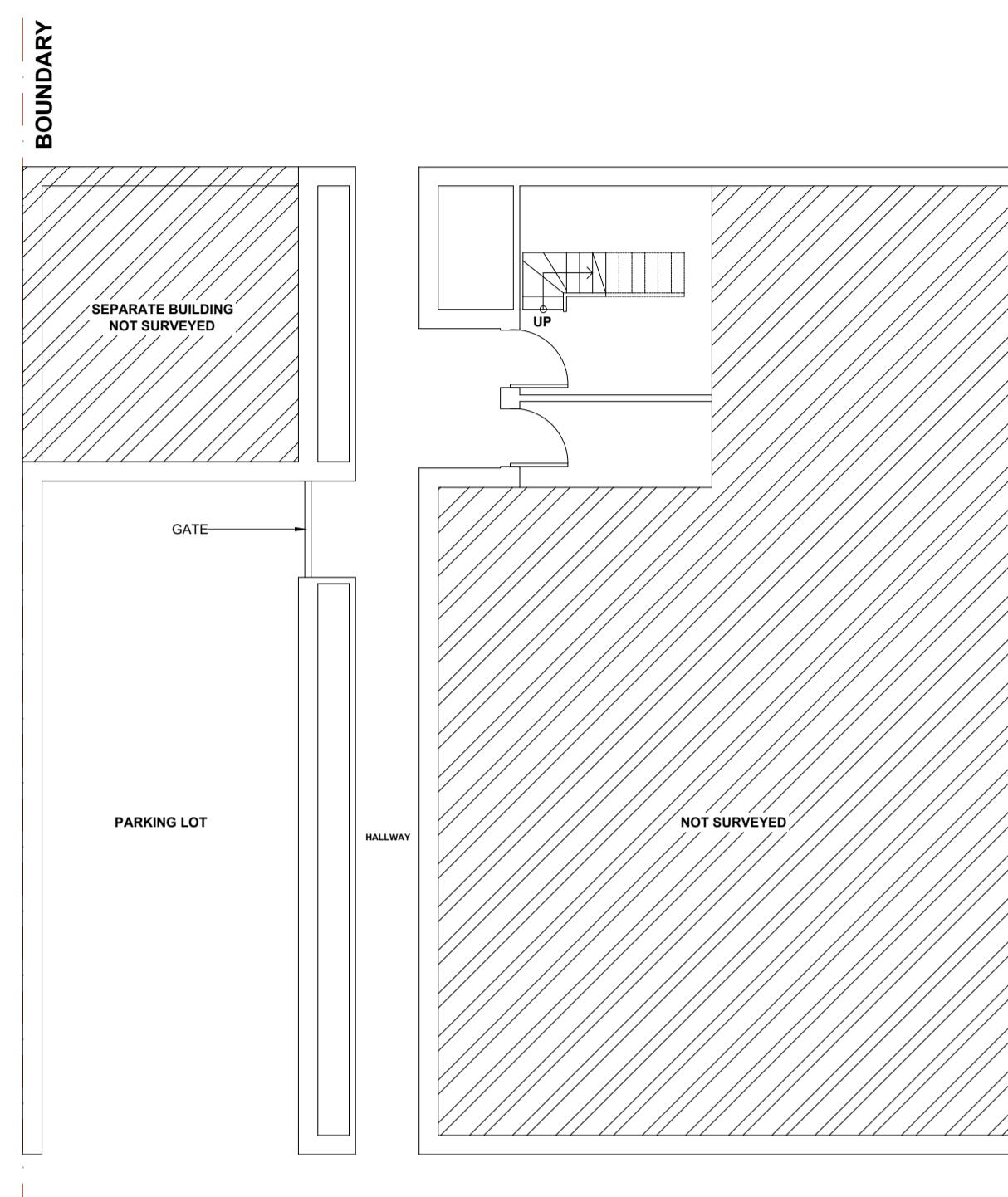
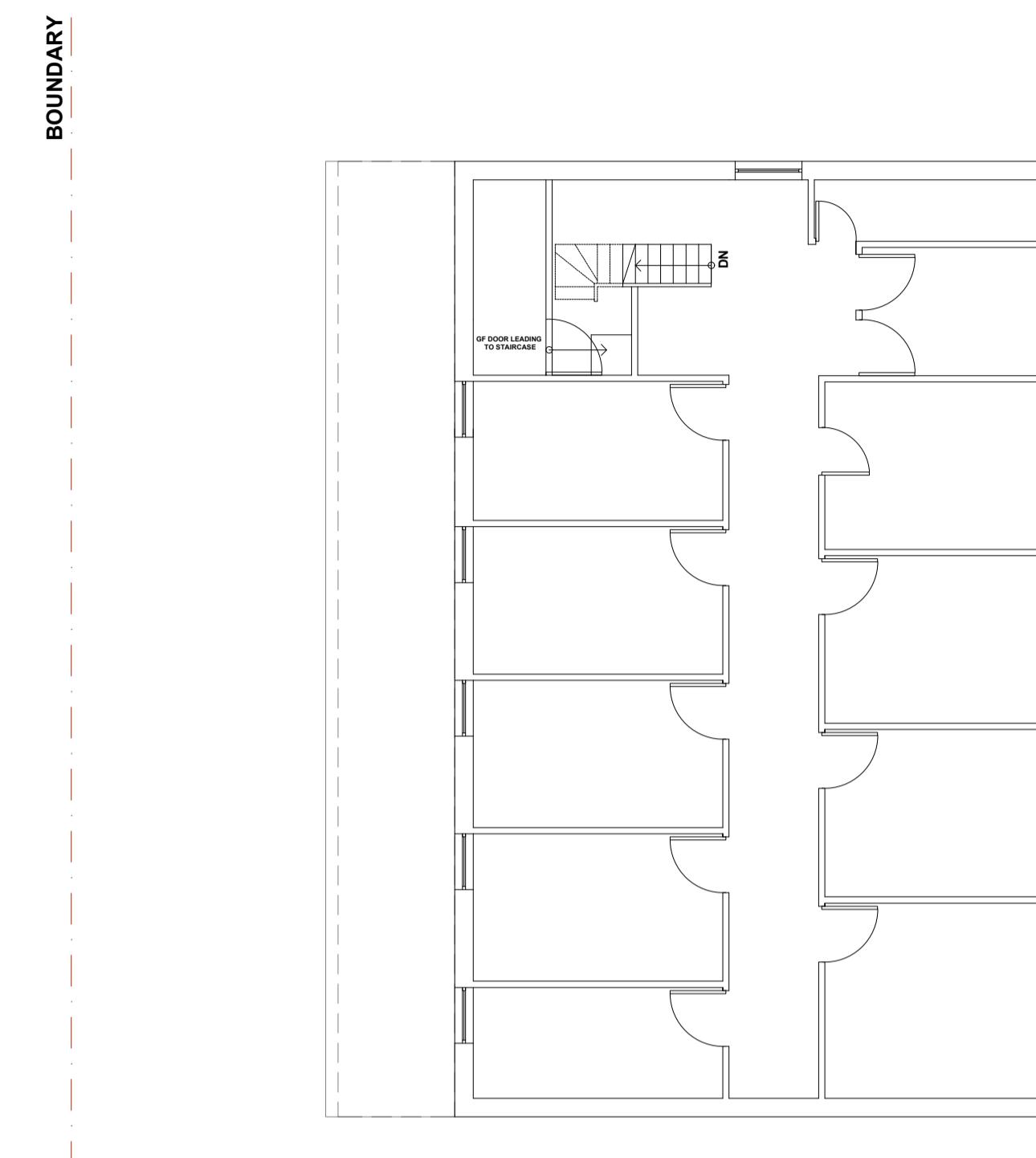




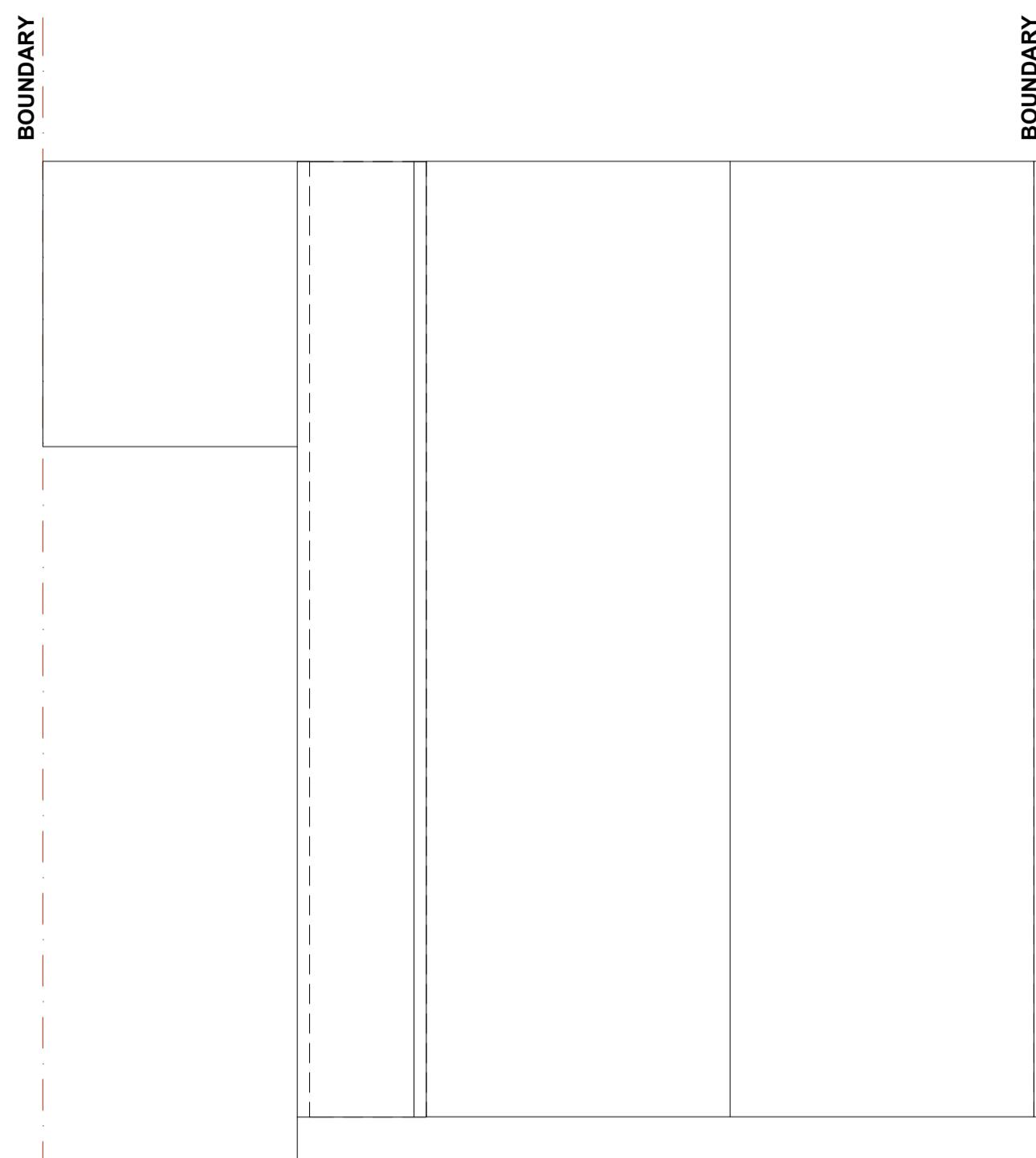
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**EXISTING GROUND FLOOR PLAN
SCALE 1:100**



**EXISTING FIRST FLOOR P
SCALE 1:100**



**EXISTING ROOF PLAN
SCALE 1:100**

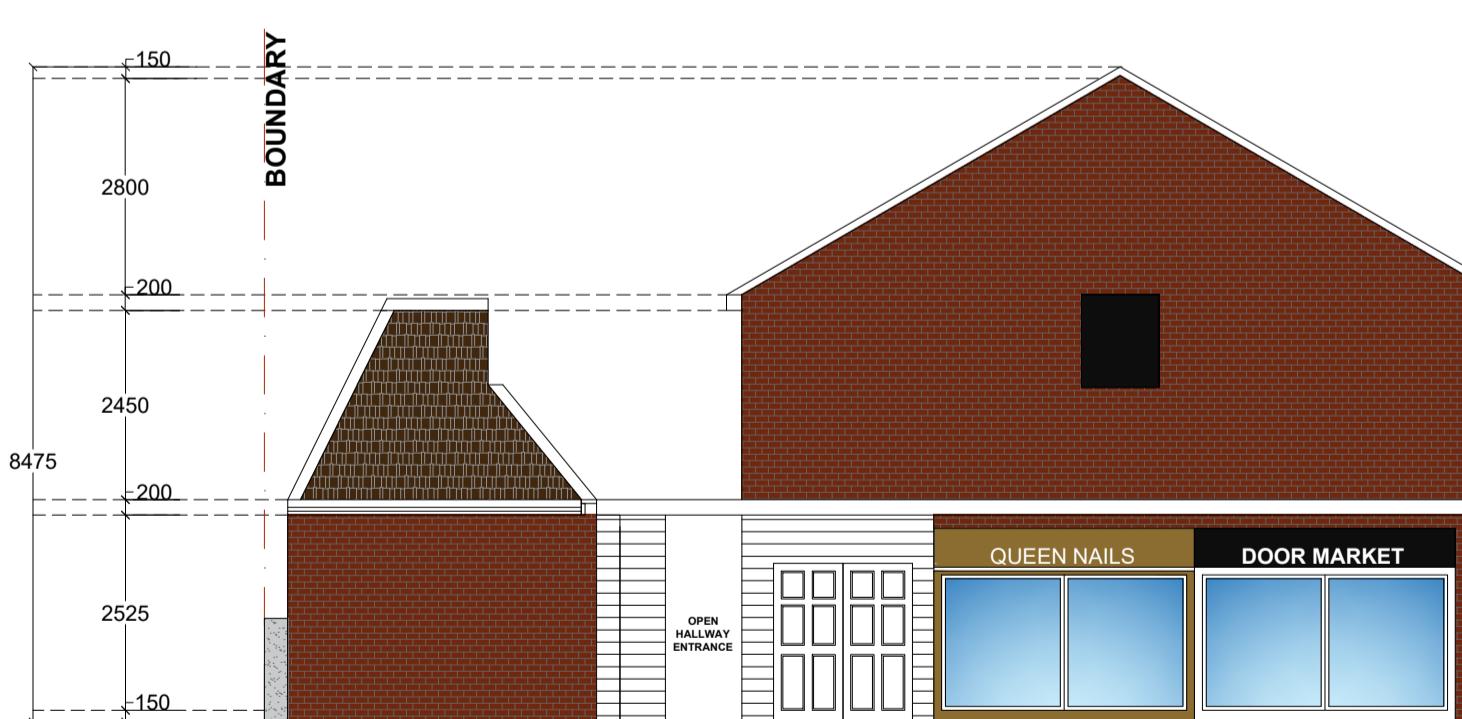
**CONTINUATION OF
ROOF NOT SURVEYED**



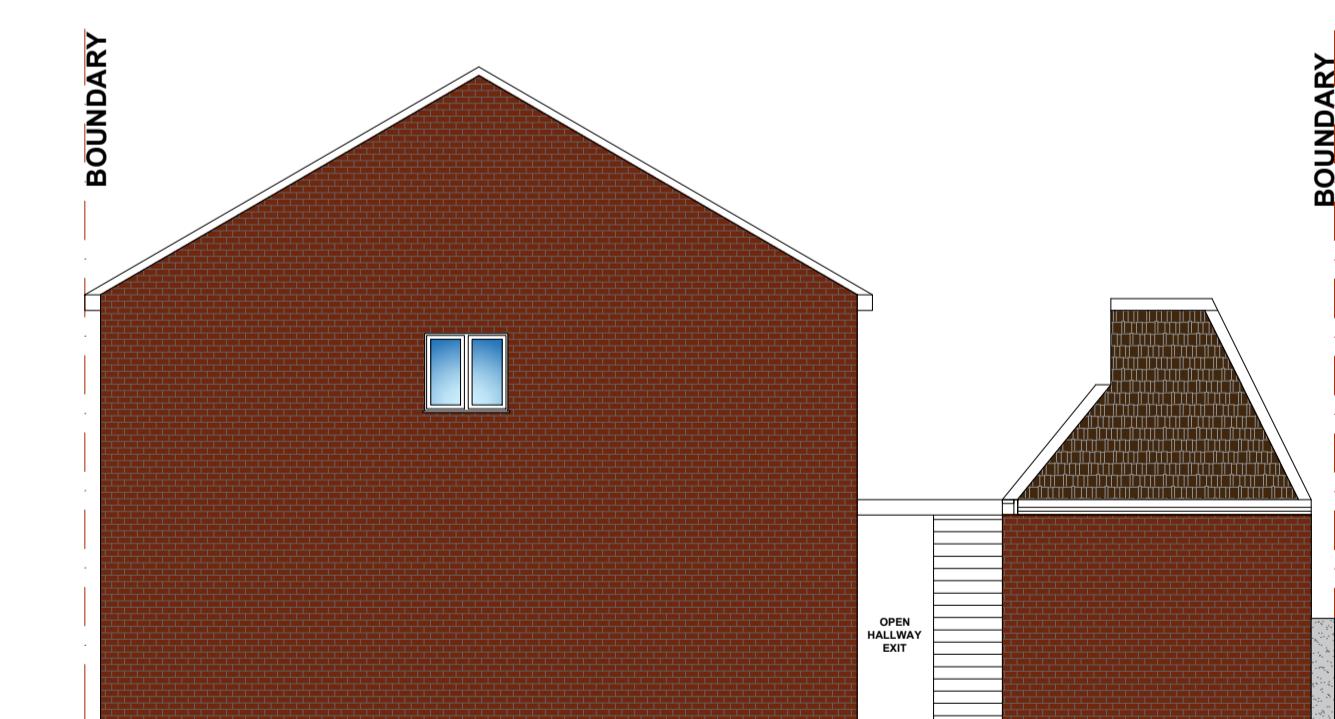
**SITE PLAN
SCALE 1:500**



LOCATION PLAN SCALE 1:1250



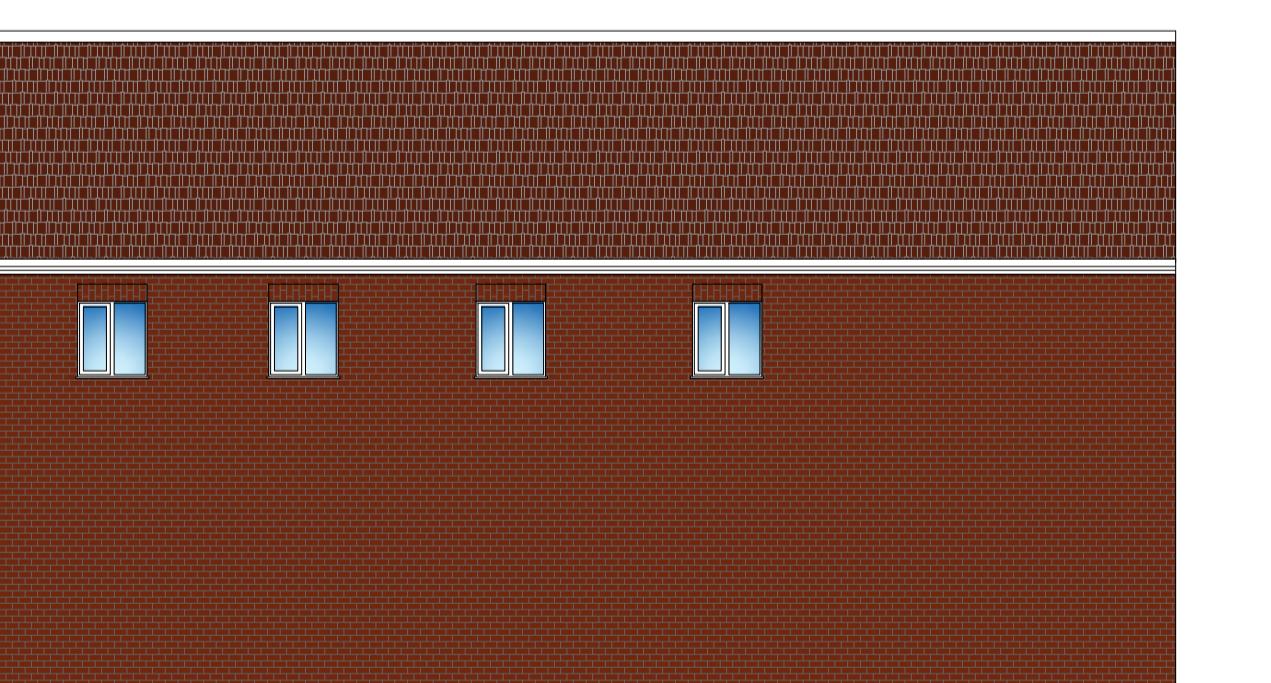
**EXISTING FRONT ELEVATION
SCALE 1:100**



**EXISTING REAR ELEVATION
SCALE 1:100**



**EXISTING SIDE ELEVATION
SCALE 1:100**



**EXISTING SIDE ELEVATION
SCALE 1:100**



LANDMARK — GROUP —



CIOB
THE CHARTERED INSTITUTE OF BUILDING



RTPI
Chartered Town Planners

CLIENT / JOB ADDRESS: 15B STATION ROAD HAYES UB3 4BD	SUBMISSION / REF PLANNING APPLICATION	REVISION	DESCRIPTION	DRAWN BY	DATE	ALL MEASUREMENTS TO BE CHECKED ON SITE. ANY DISCREPANCY TO BE REPORTED TO LANDMARK ARCHITECTURE AND PLANNING LTD, LANDMARK GROUP OR ANY OF THEIR AFFILIATED COMPANIES. PARTY WALL (ETC) ACT 1996 TO BE AGREED WITH ADJOINING NEIGHBOURS PRIOR TO WORK TO THE SATISFACTION OF LOCAL AUTHORITY INSPECTOR. NO DEVIATION FROM THESE DRAWINGS WHATSOEVER UNLESS AGREED IN WRITING WITH LANDMARK ARCHITECTURE AND PLANNING, LANDMARK GROUP OR ANY OF THEIR AFFILIATED COMPANIES.
						NEITHER LANDMARK ARCHITECTURE AND PLANNING LTD NOR LANDMARK GROUP OR ANY OF THEIR AFFILIATED COMPANIES ACCEPT ANY RESPONSIBILITY OR LIABILITY IN RELATION TO ANY MATTER CONNECTED WITH COMMUNITY INFRASTRUCTURE LEVY (CIL). CLIENTS ARE ADVISED TO SEEK INDEPENDENT SPECIALIST ADVICE IN RELATION TO ALL CIL MATTERS. LANDMARK ARCHITECTURE AND PLANNING LTD, LANDMARK GROUP OR ANY OF THEIR AFFILIATED COMPANIES ARE NOT RESPONSIBLE FOR THE SERVICE OF CIL FORMS OR CIL ADVICE, THIS IS THE APPLICANT'S DIRECT RESPONSIBILITY. NO WORK ON SITE SHOULD COMMENCE, INCLUDING DEMOLITION OR SITE SET UP, UNTIL CIL NOTICES HAVE BEEN SERVED AND THE COUNCIL HAVE CONFIRMED IN WRITING THAT ALL CIL MATTERS HAVE BEEN DEALT WITH CORRECTLY AND IT IS PERMISSIBLE TO START ON SITE. FAILURE TO SERVE CIL NOTICES, DISCHARGE CONDITIONS OR FAILURE TO BUILD IN ACCORDANCE WITH THE APPROVED PLANS CAN RESULT IN THE LOSS OF CIL EXEMPTIONS. A SCHEME IS SUBJECT TO AN EXEMPTION PARTICULAR CARE SHOULD BE TAKEN TO MEET THE TERMS OF THE EXEMPTION. CLIENTS ARE STRONGLY ADVISED TO SEEK SPECIALIST CIL ADVICE IN RELATION TO ALL PROPOSALS.
DRAWING TITLE / DESCRIPTION EXISTING DRAWINGS	DRAWING TITLE PLANS AND ELEVATIONS	SCALE : 1:xx ON A1				THAMES WATER (OR OTHER LOCAL WATER PROVIDER) BUILD OVER AGREEMENTS MAY BE REQUIRED. THIS IS SUBJECT TO A DRAINAGE INSPECTION AND MAY REQUIRE AN ADDITIONAL FEE, WHICH WILL BE PAYABLE TO THE WATER PROVIDER AND LANDMARK ARCHITECTURE AND PLANNING LTD, LANDMARK GROUP OR AFFILIATED COMPANY.
	DRAWN BY : JA					ALL GUTTERS, FOUNDATIONS AND DOWNPipes TO REMAIN WITHIN THE BOUNDARY LINES OF THE SUBJECT PROPERTY. ALL PLANS ARE SUBJECT TO FULL PLANS APPROVAL BY BUILDING CONTROL, NOT BUILDING NOTICE.
	DRAWING No. 15B/ST/PL/100	DATE : 10.10.2023				DRAFT DRAWINGS
		CHECKED BY : SB				NOTE: DRAWINGS AND CALCULATIONS TO BE APPROVED BY LOCAL AUTHORITY OR APPROVED DRAWING INSPECTOR PRIOR TO COMMENCEMENT OF WORKS.