

GENERATIVE DESIGN PARTNERSHIP LTD  
1 Mountview Court  
310 Friern Barnet Lane  
London N20 0LD  
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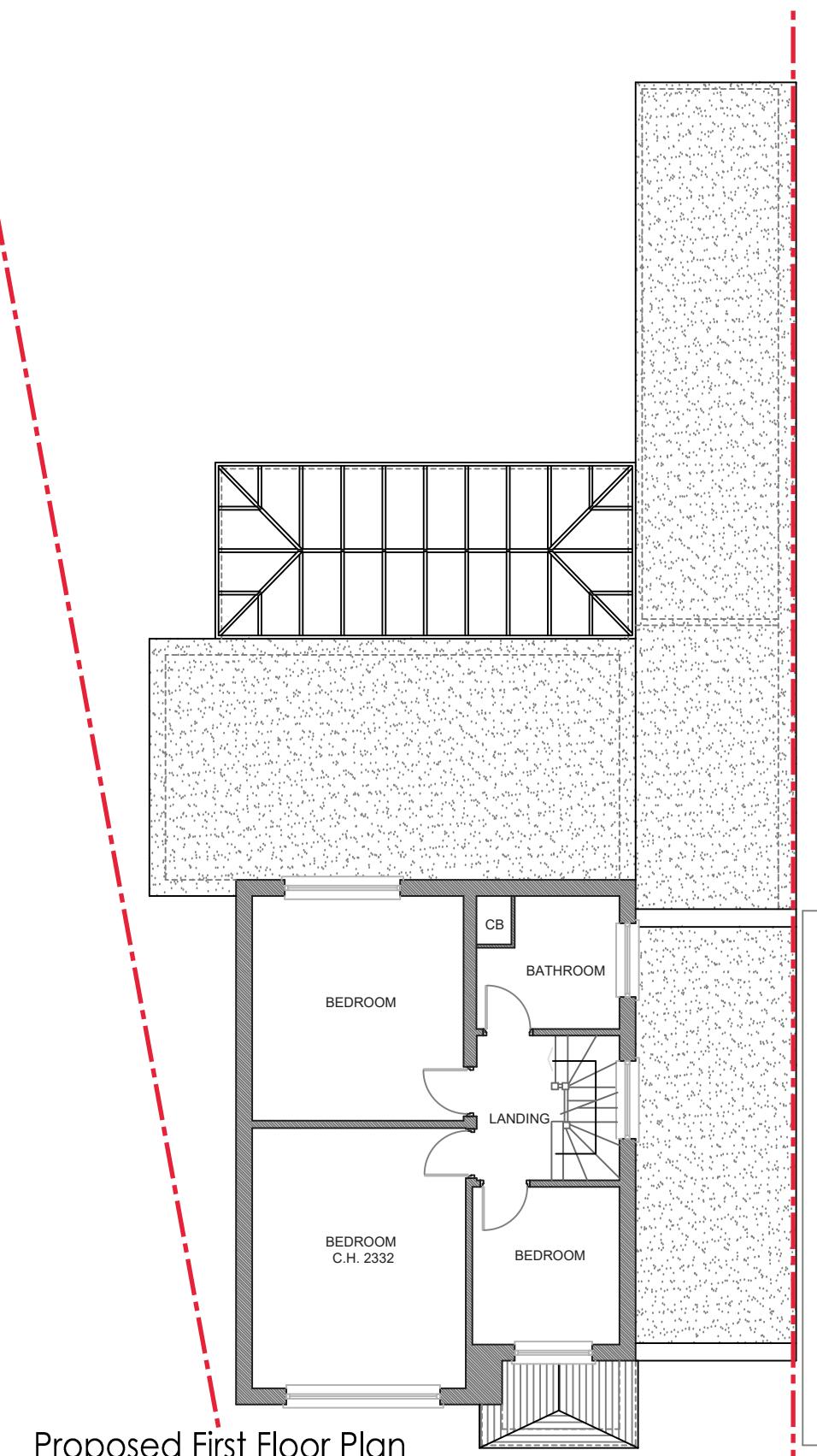
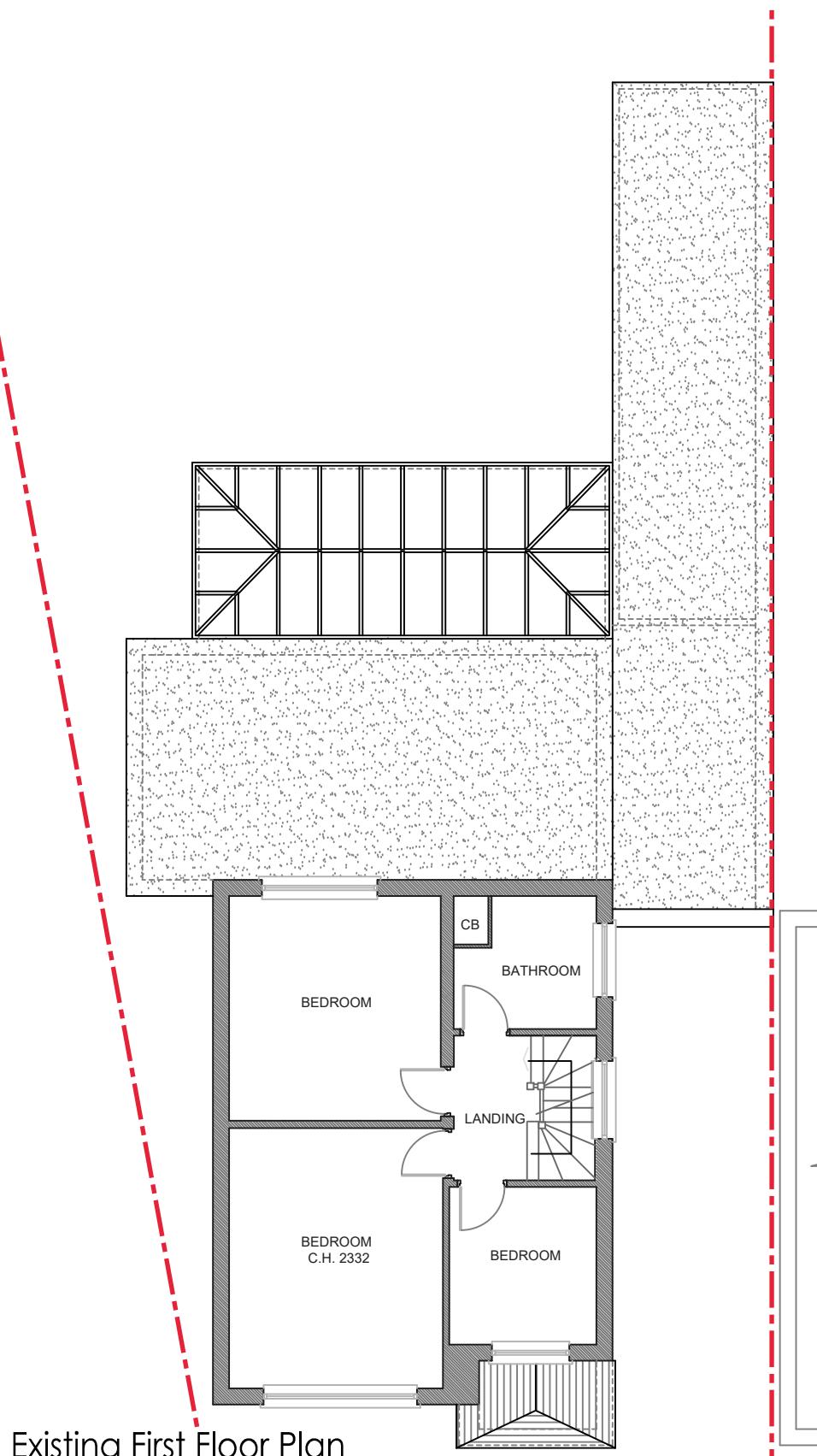
CLIENT	Mr D Patel
PROJECT	25 PARK ROAD, HAYS UB4 8JN
TITLE	GROUND FLOOR PLAN
SCALE	1:100 @ A3
DATE	02/06/2025
DRAWING No:	GDP320/101
REV	

AMENDMENT	
DATE	

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All dimensions in millimetres & to be checked on site prior to commencement. Builder to verify all dimensions, heights & levels prior to commencement of work. No encroachment into neighbour's property. The contractor preparing his estimate shall visit the site & acquaint himself with the problems involved & shall allow in his price for any detail whether shown or not which may reasonably be considered necessary to ensure a neat structurally sound & workman like job. The contractor shall issue all statutory notices to the local Authority during progress & completion of works.

The clients must give notice to the adjoining owner under the Party Wall Act 1996. This notice must be served two months prior to any works commencing on the party wall or excavation within 3m of any adjacent structures. These drawings any supporting calculations have been prepared for the purpose of applying for Building Regulation and BUILDING CONTROL Permission only. Any work commenced at site prior to the statutory approval is at client's and builder's responsibility. Any Discrepancies or Change in Design as per assumptions made shall be brought to the attention of structural Engineer. Timber sizes to be verified by Structural Engineer and approved by building control prior to construction.



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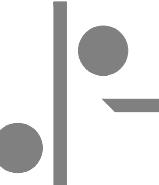
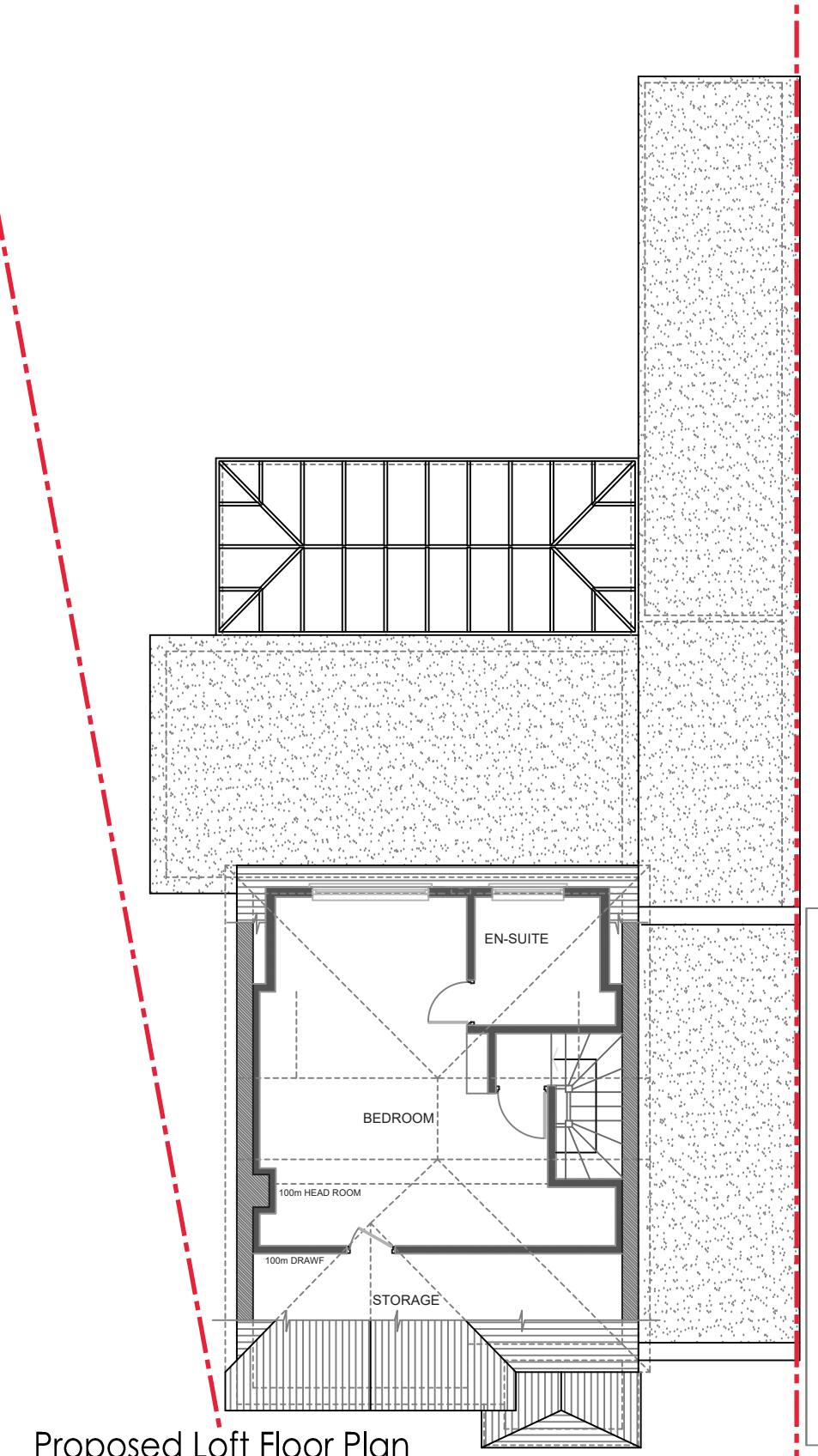
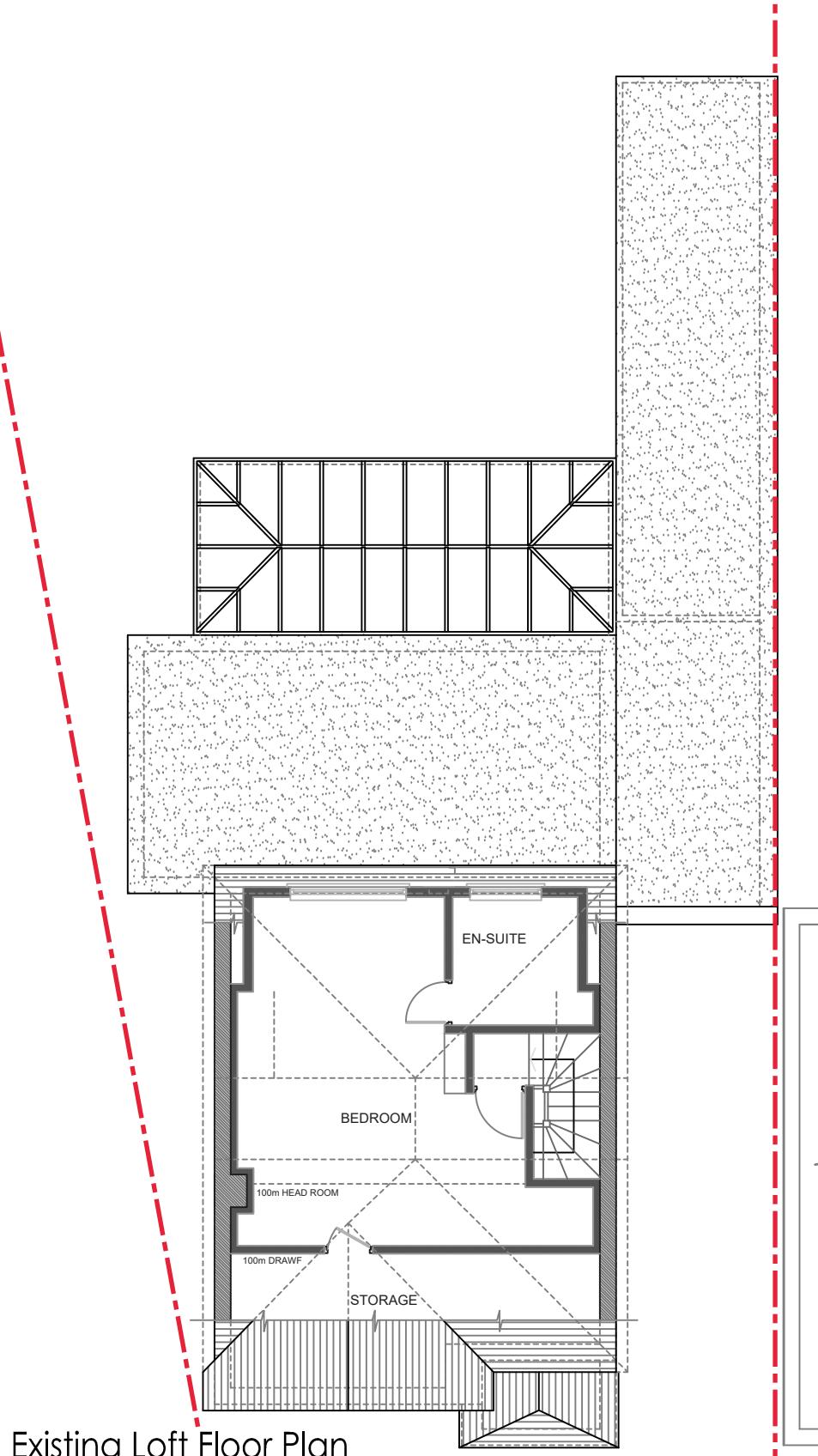
CLIENT	Mr D Patel
PROJECT	25 PARK ROAD, HAYS UB4 8JN
TITLE	FIRST FLOOR PLAN
SCALE	1:100 @ A3
DATE	02/06/2025
DRAWING No:	GDP320/102
REV	

REV	AMENDMENT	DATE

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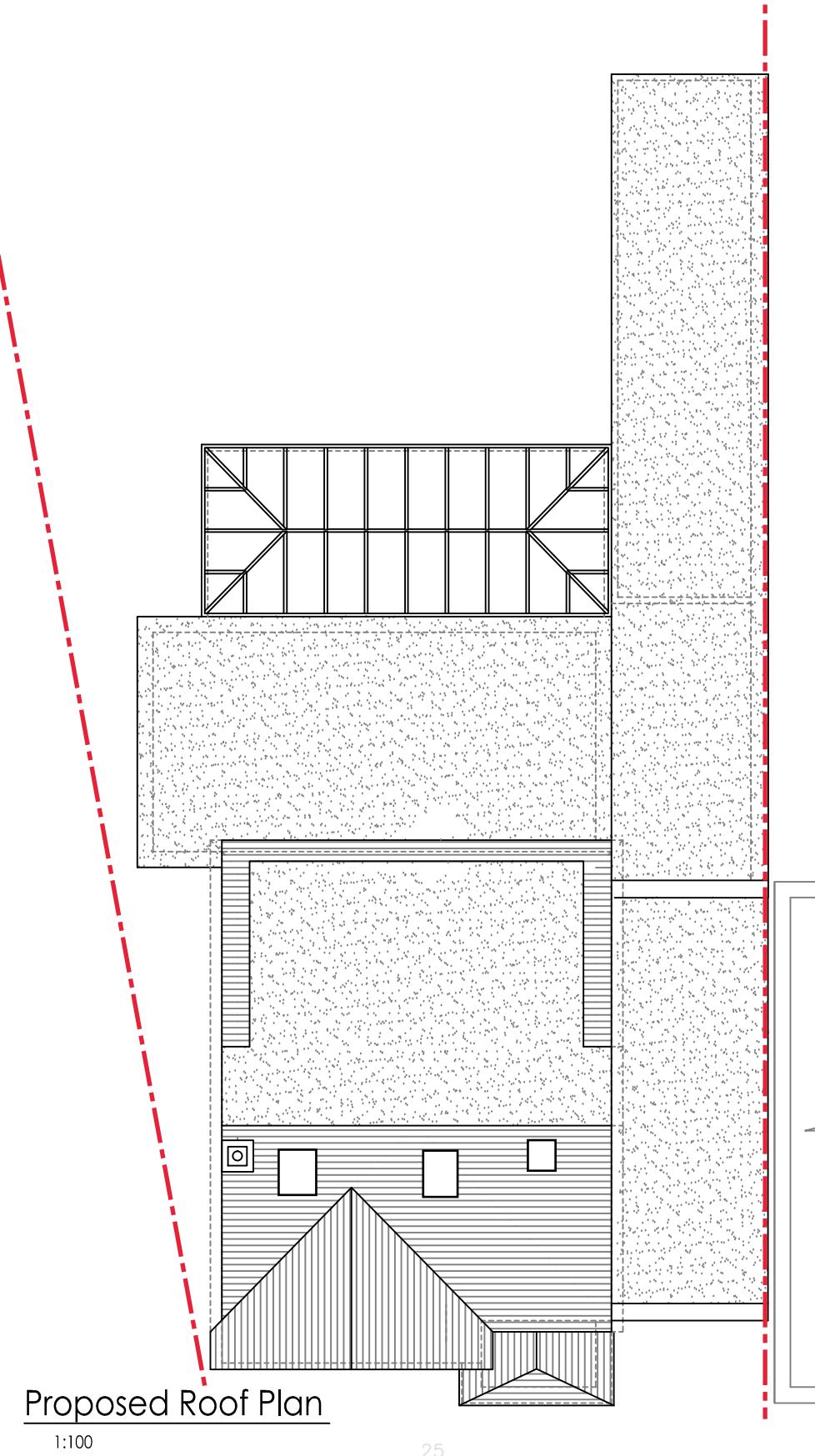
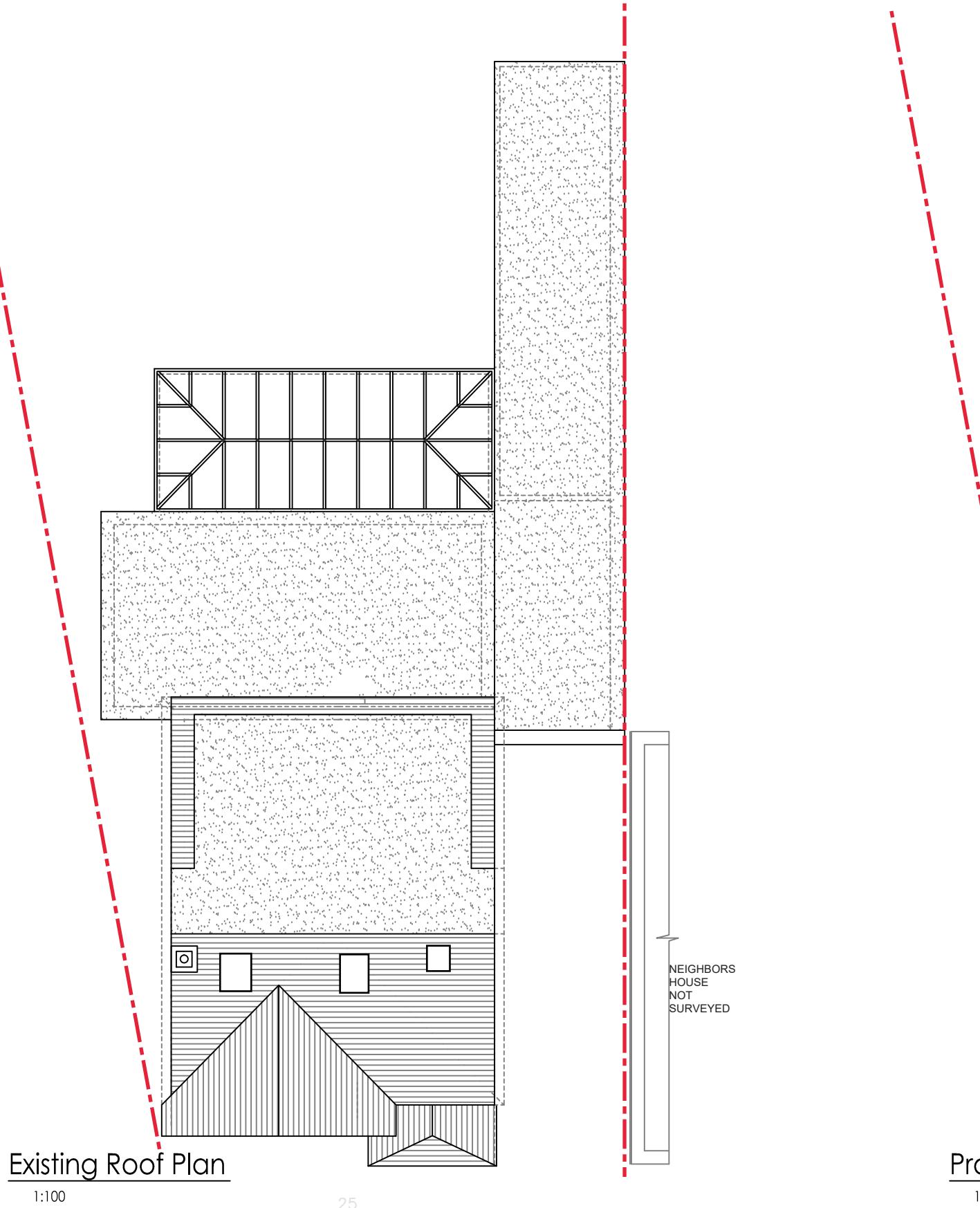
CLIENT	Mr D Patel
PROJECT	25 PARK ROAD, HAYS UB4 8JN
TITLE	LOFT PLAN
SCALE	1:100 @ A3
DATE	02/06/2025
DRAWING No:	GDP320/103
REV	

REV	AMENDMENT	DATE

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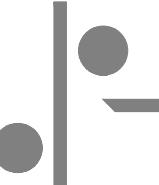
Existing Front Elevation

1:100



Proposed Front Elevation

1:100



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CLIENT	Mr D Patel		
PROJECT	25 PARK ROAD, HAYS UB4 8JN		
TITLE	FRONT ELEVATIONS		
SCALE	DATE	DRAWING No:	REV
1:100 @ A3	02/06/2025	GDP320/105	

REV	AMENDMENT	DATE
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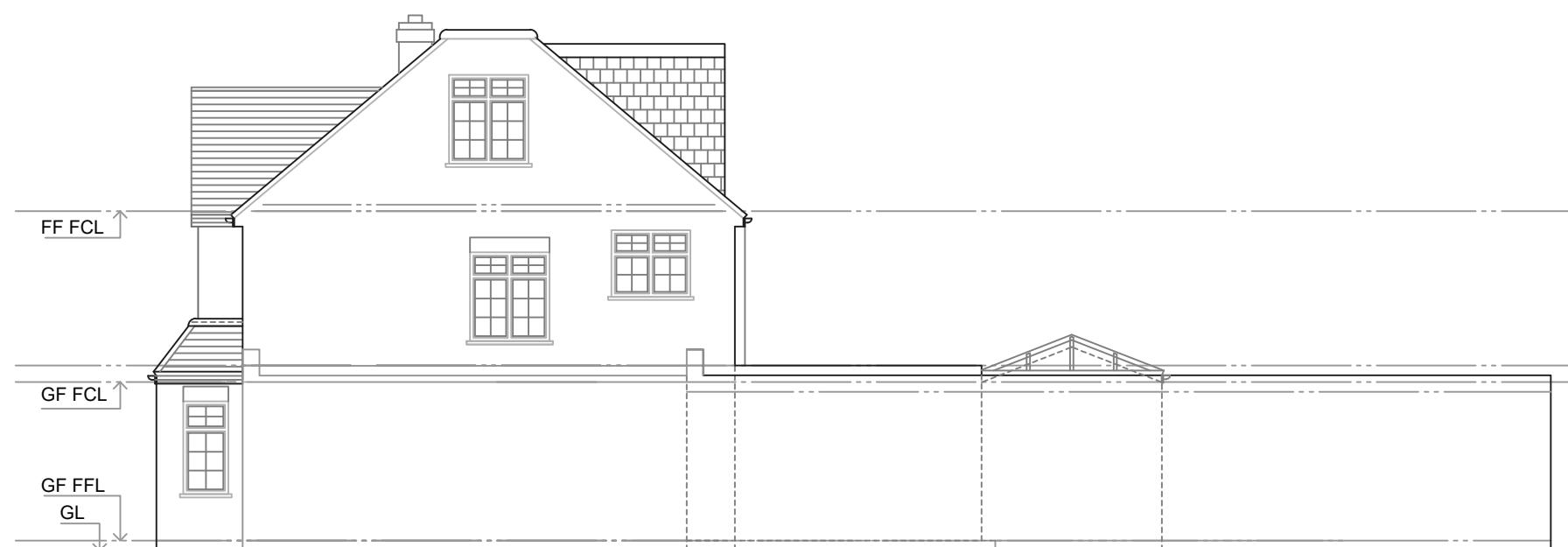
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Existing Side Elevation

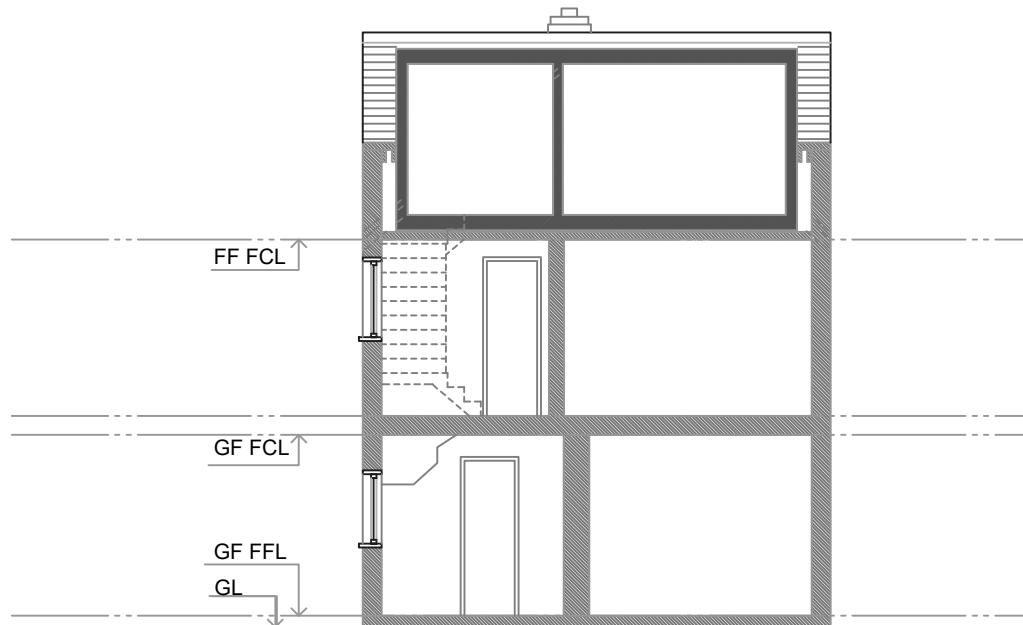
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Proposed Side Elevation

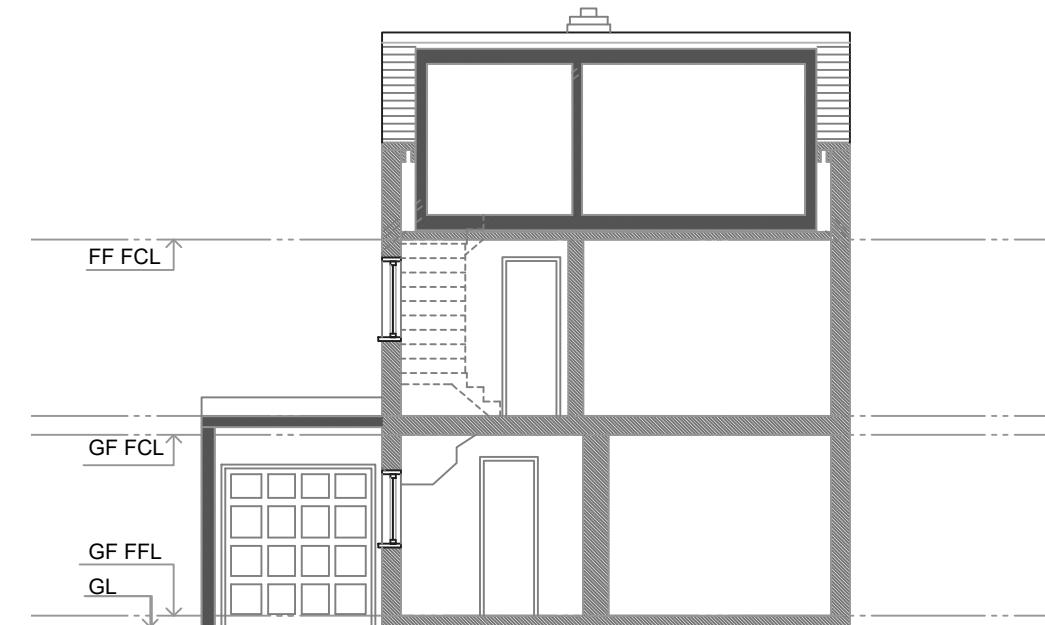
1:100





Existing Section B-B

1:100



Proposed Section B-B

1:100

