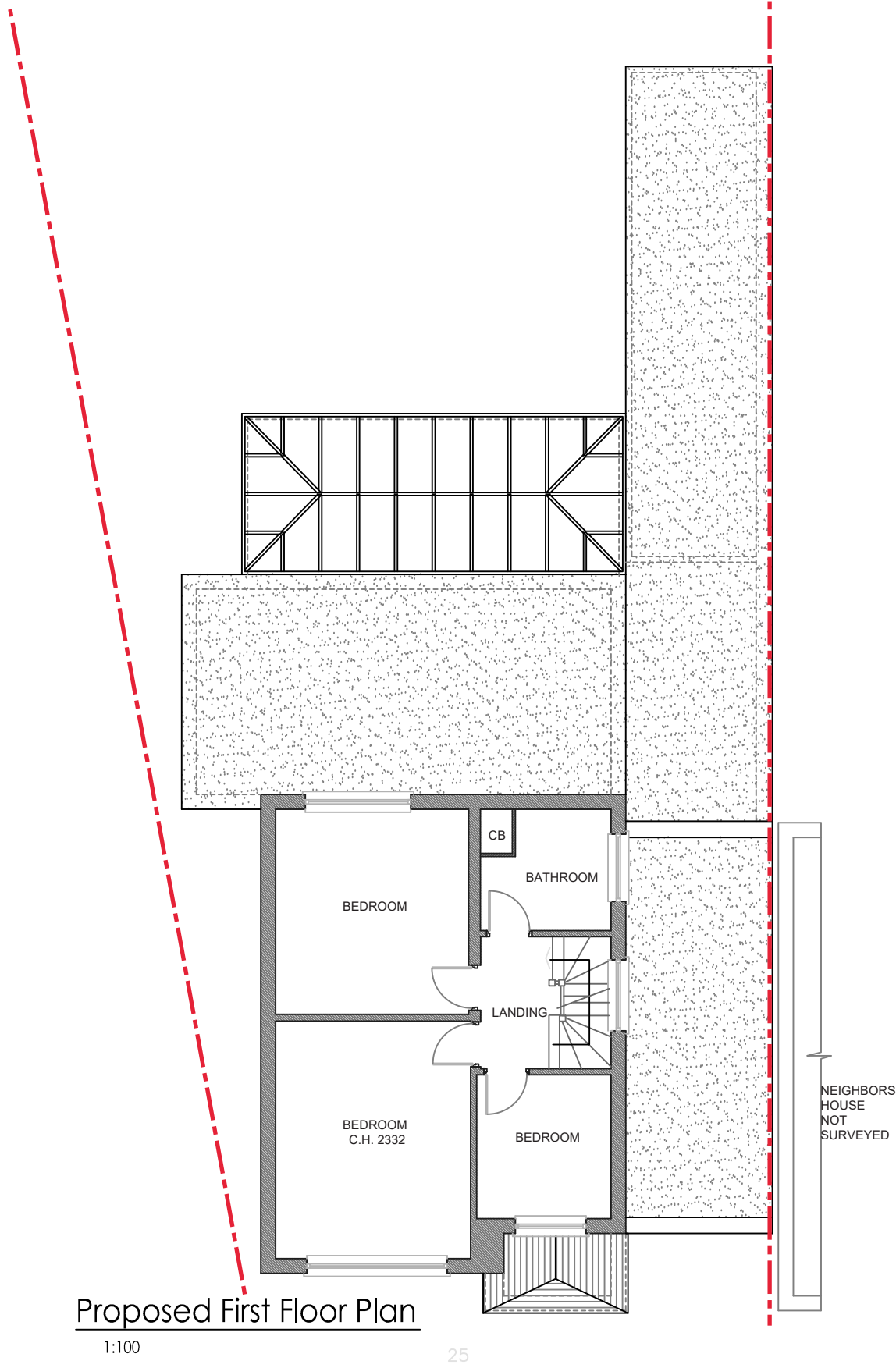


Existing First Floor Plan

1:100

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Proposed First Floor Plan

1:100

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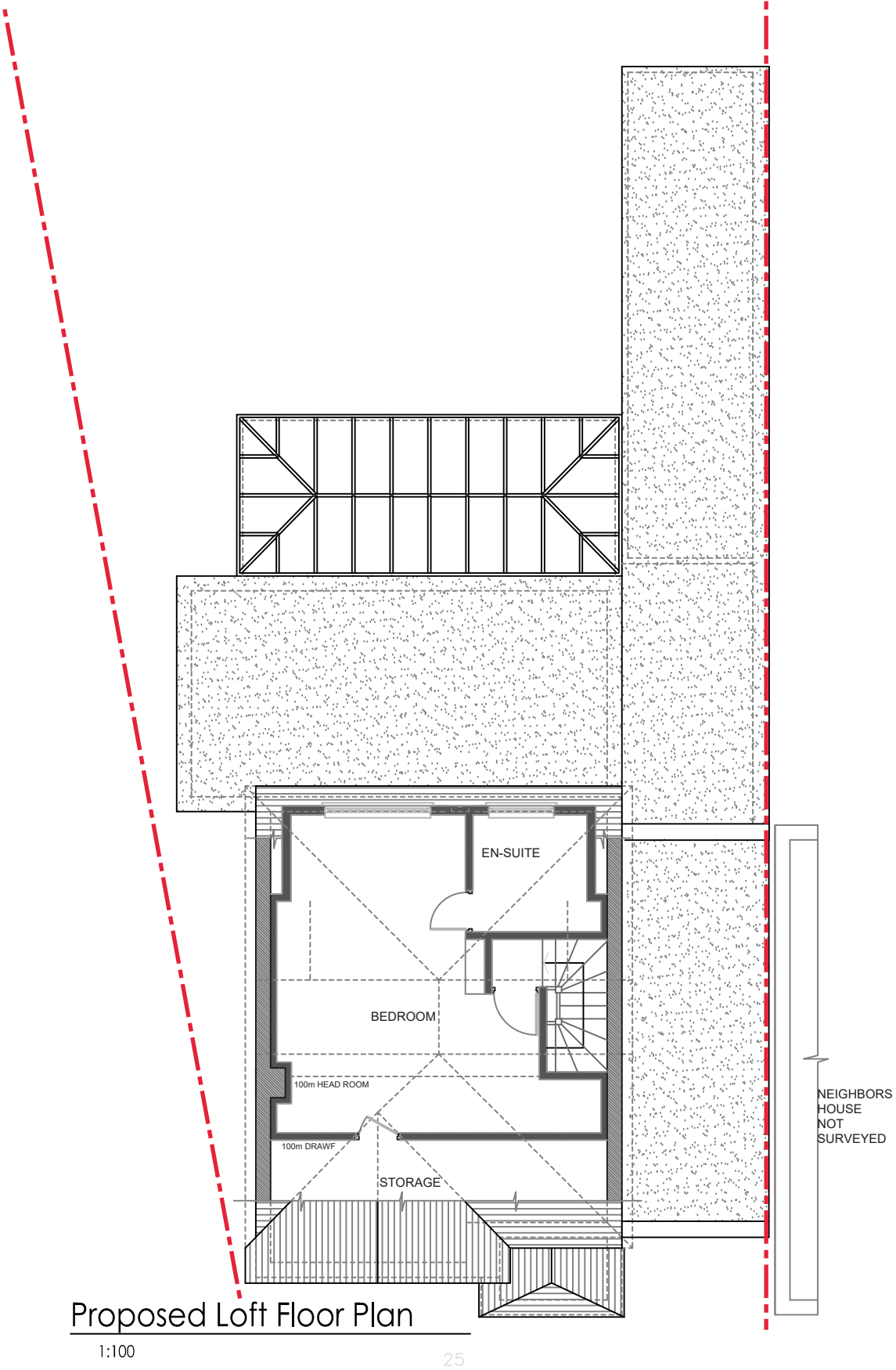
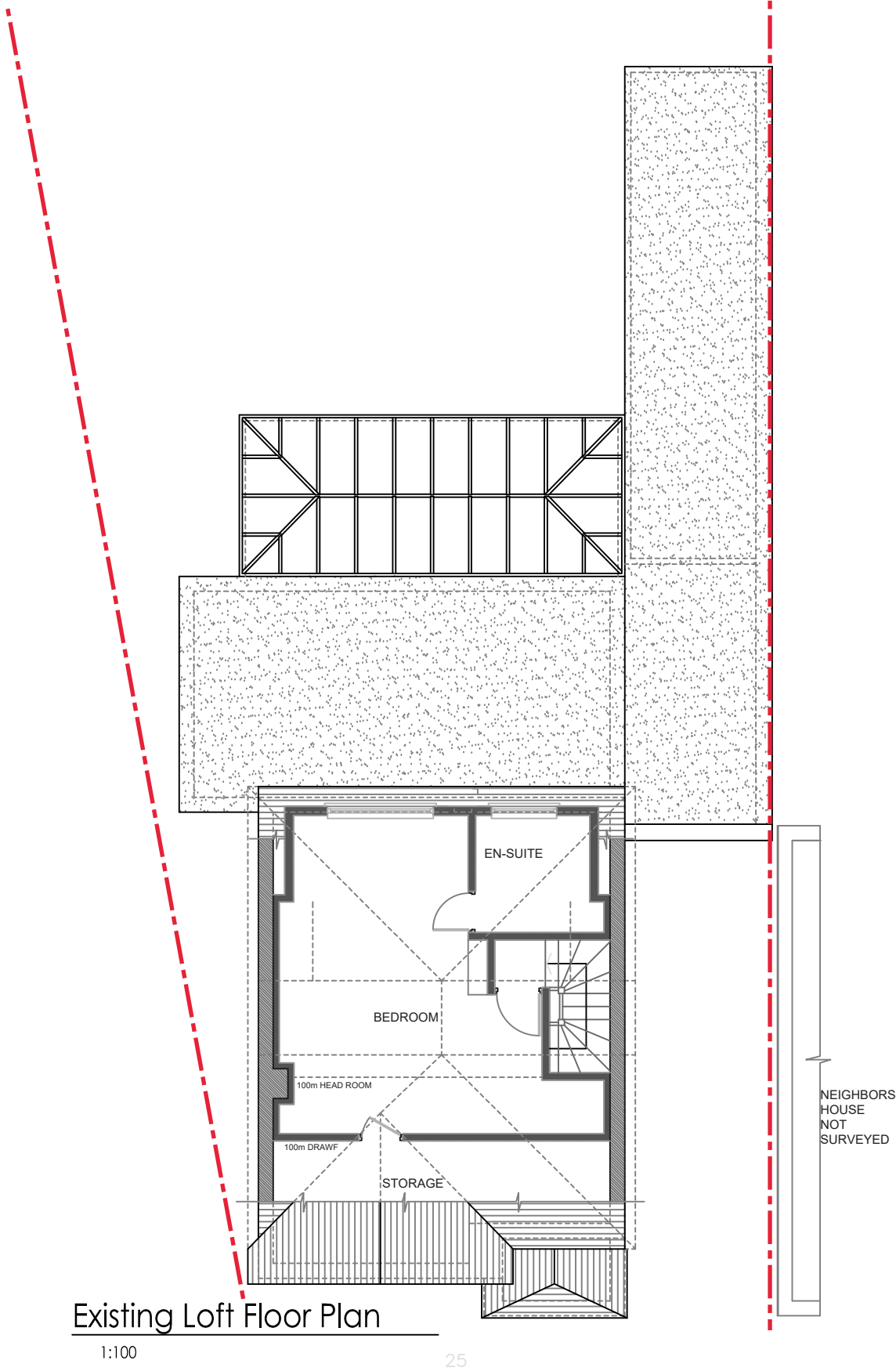
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|---|------------|-------------|-----|
| CLIENT Mr D Patel | | | |
| PROJECT 25 PARK ROAD, HAYS UB4 8JN | | | |
| TITLE FIRST FLOOR PLAN | | | |
| SCALE | DATE | DRAWING No: | REV |
| 1:100 @ A3 | 02/06/2025 | GDP320/102 | |

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| REV | AMENDMENT | DATE |
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All dimensions in millimetres & to be checked on site prior to commencement.
Builder to verify all dimensions, heights & levels prior to commencement of work. No encroachment into neighbours property
The contractor in preparing his estimate shall visit the site & acquaint himself with the problems involved & shall allow in his price for any detail whether shown or not which may reasonably be considered necessary to ensure a neat structurally sound & workman like job.
The contractor shall issue all statutory notices to the local Authority during progress & completion of works.

The clients must give notice to the adjoining owner under the Party Wall Act 1996. This notice must be served two months prior to any works commencing on the party wall or excavation within 3m of any adjacent structures.
These drawings any supporting calculations have been prepared for the purpose of applying for Building Regulation and BUILDING CONTROL Permission only. Any work commenced at site prior to the statutory approval is at client's and builder's responsibility.
Any Discrepancies or Change in Design as per assumptions made shall be brought to the attention of structural Engineer. Timber sizes to be verified by Structural Engineer and approved by building control prior to construction



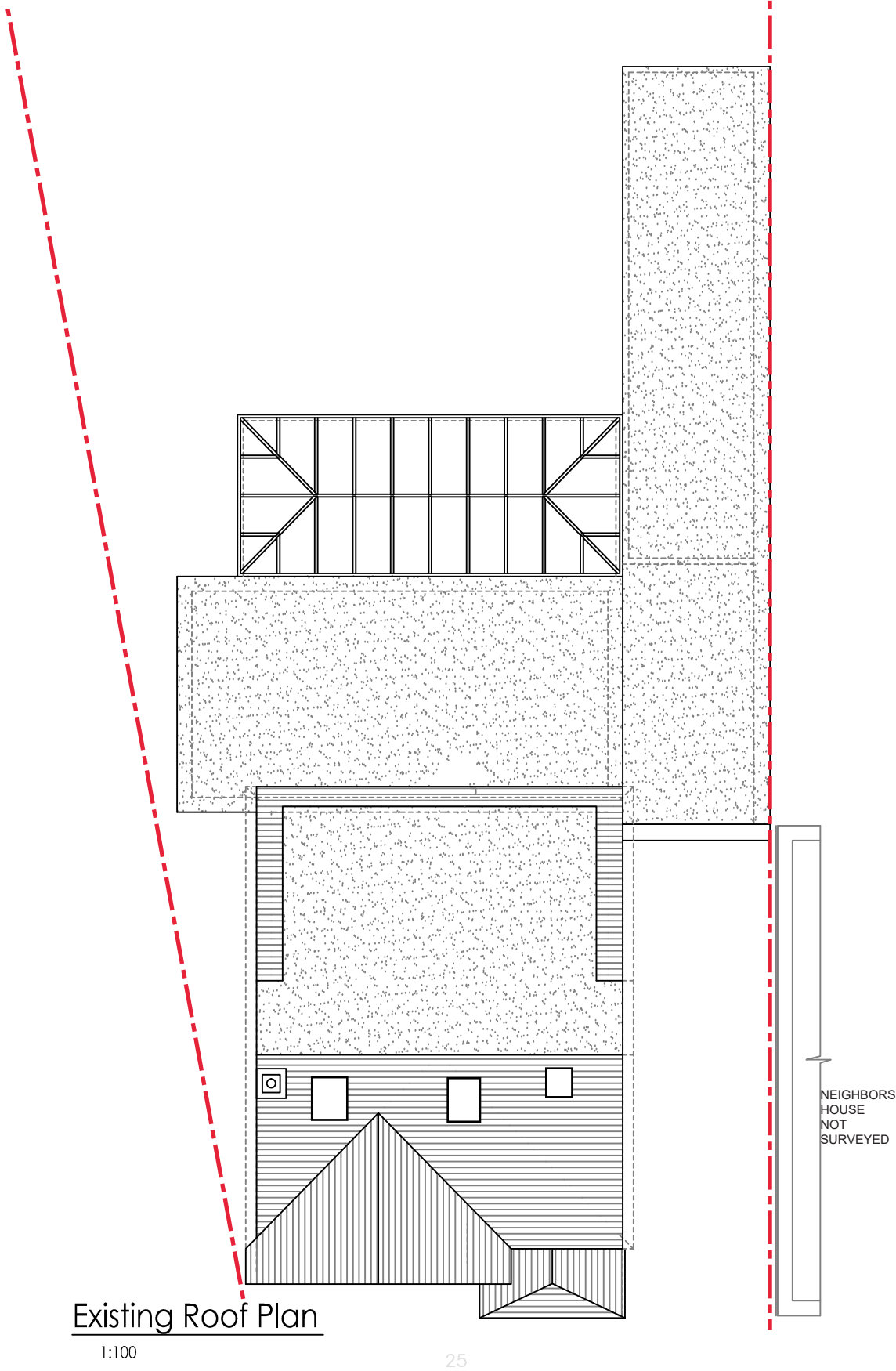
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|---|---------------------------|----------------------------------|-----|
| CLIENT Mr D Patel | | | |
| PROJECT 25 PARK ROAD, HAYS UB4 8JN | | | |
| TITLE LOFT PLAN | | | |
| SCALE 1:100 @ A3 | DATE 02/06/2025 | DRAWING No: GDP320/103 | REV |

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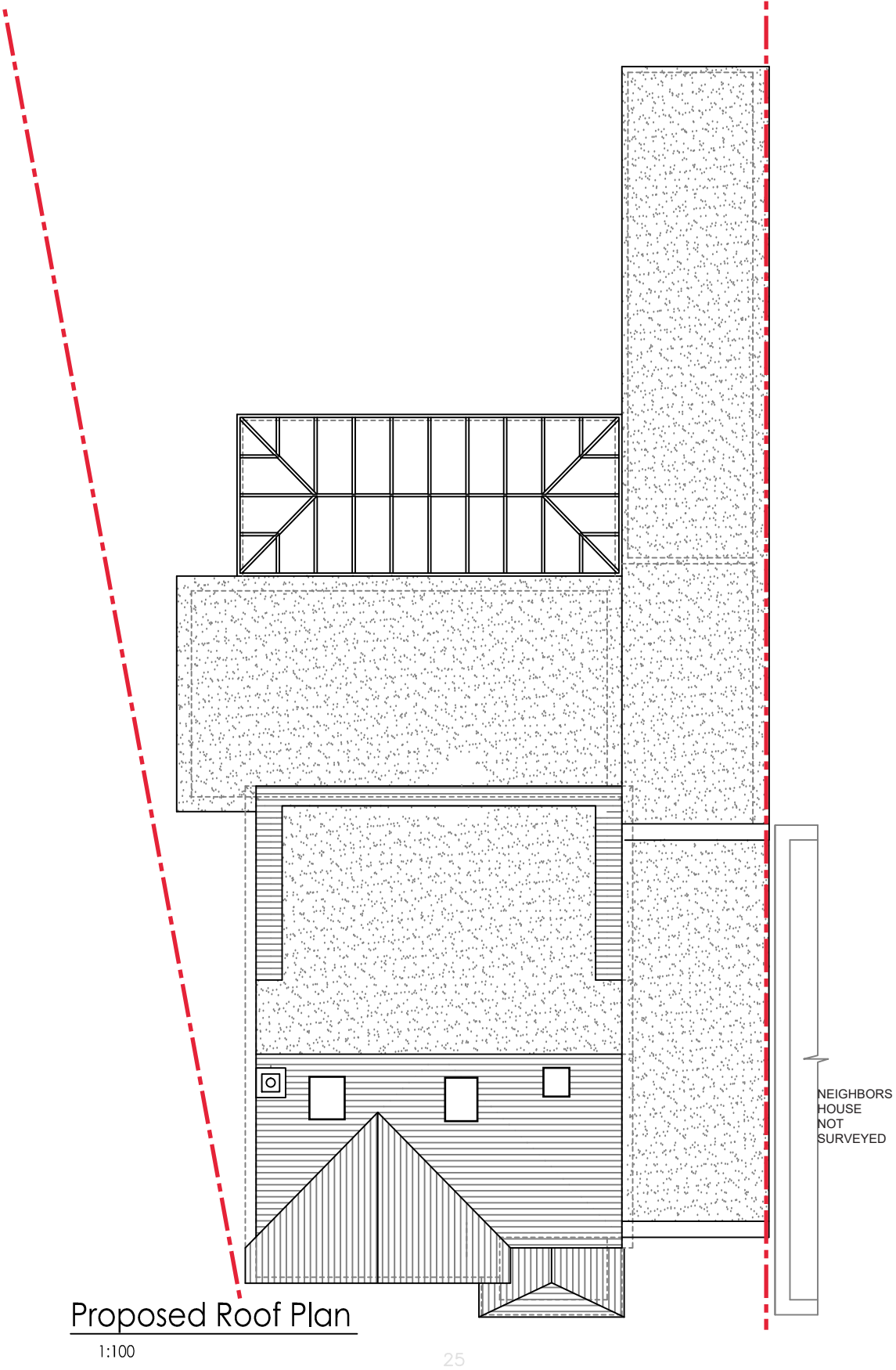
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Existing Roof Plan

1:100

25



Proposed Roof Plan

1:100

25

| | | | |
|---|---------------------------|----------------------------------|-----|
| CLIENT Mr D Patel | | | |
| PROJECT 25 PARK ROAD, HAYS UB4 8JN | | | |
| TITLE ROOF PLAN | | | |
| SCALE 1:100 @ A3 | DATE 02/06/2025 | DRAWING No: GDP320/104 | REV |

| REV | AMENDMENT | DATE |
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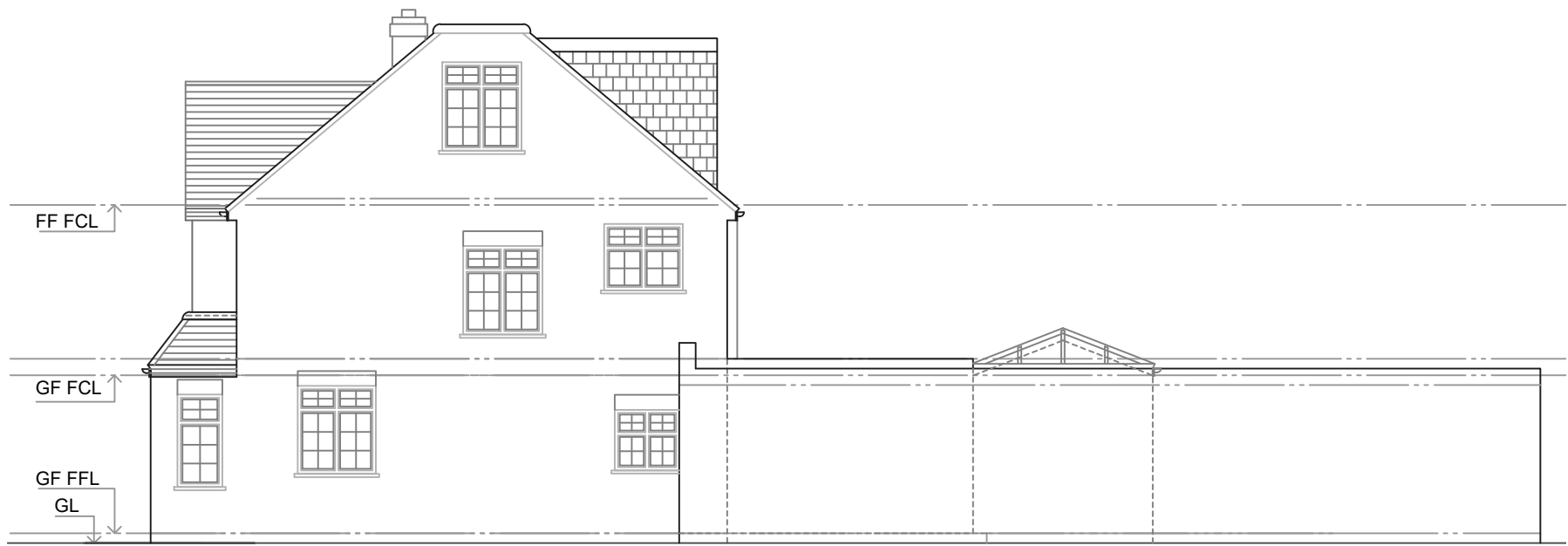
Existing Front Elevation

1:100



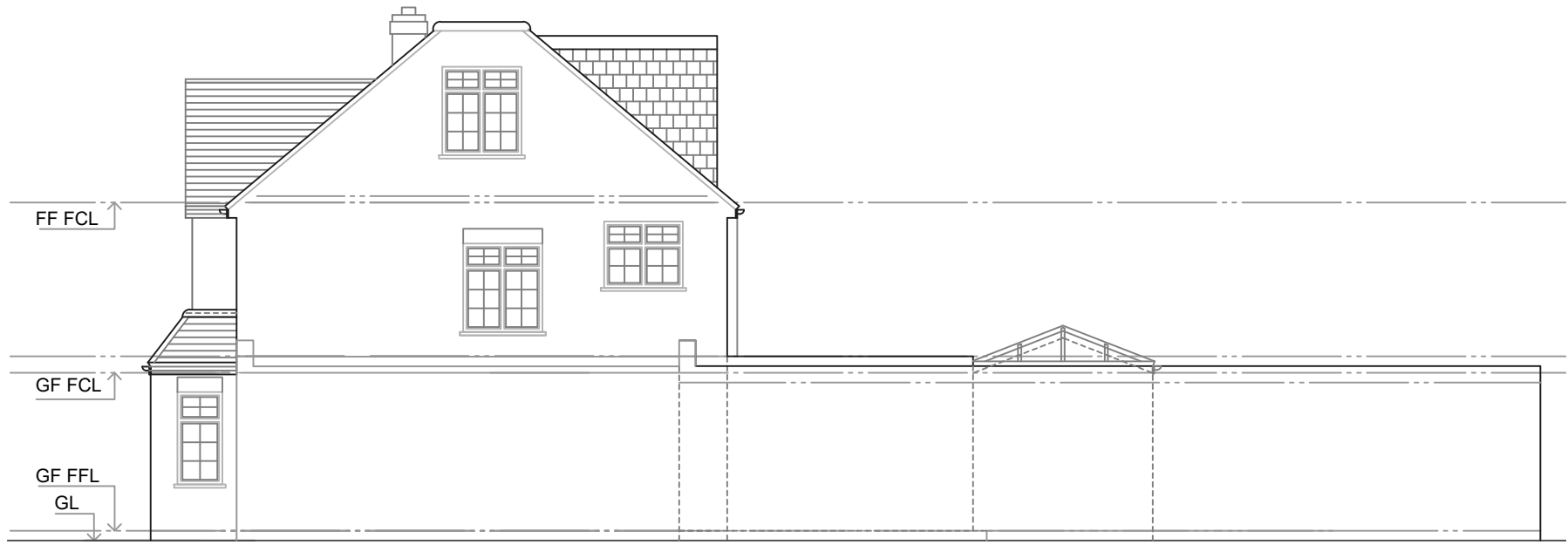
Proposed Front Elevation

1:100



Existing Side Elevation

1:100



Proposed Side Elevation

1:100

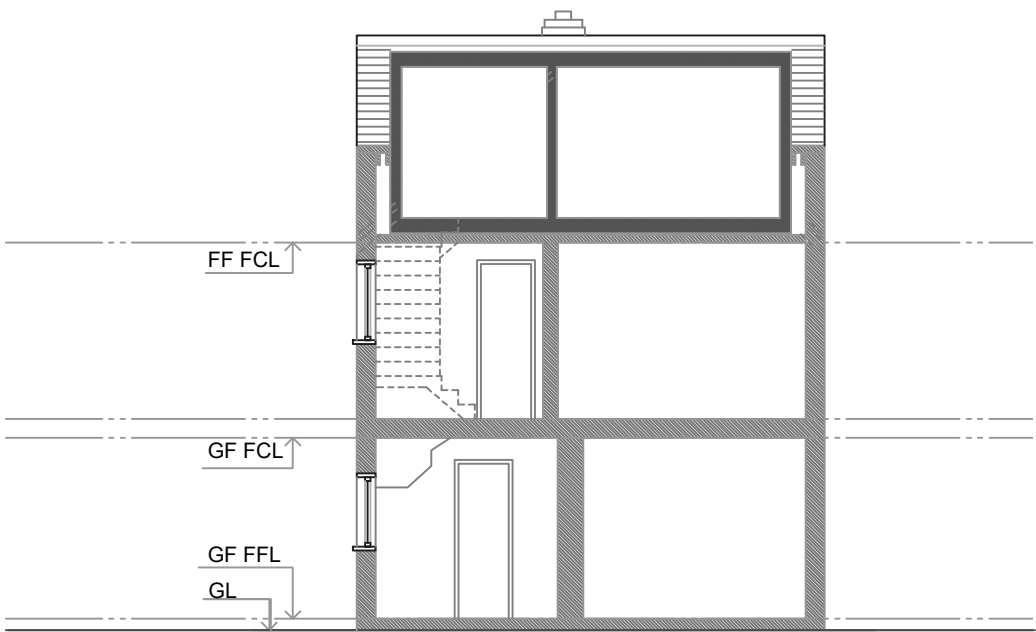
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|------------|------------|-------------|-----|-------------------------------|--|--|--|
| CLIENT | | | | Mr D Patel | | | |
| PROJECT | | | | 25 PARK ROAD, HAYS UB4 8JN | | | |
| TITLE | | | | SIDE ELEVATIONS | | | |
| SCALE | DATE | DRAWING No: | REV | | | | |
| 1:100 @ A3 | 02/06/2025 | GDP320/106 | | | | | |

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| REV | AMENDMENT | DATE |
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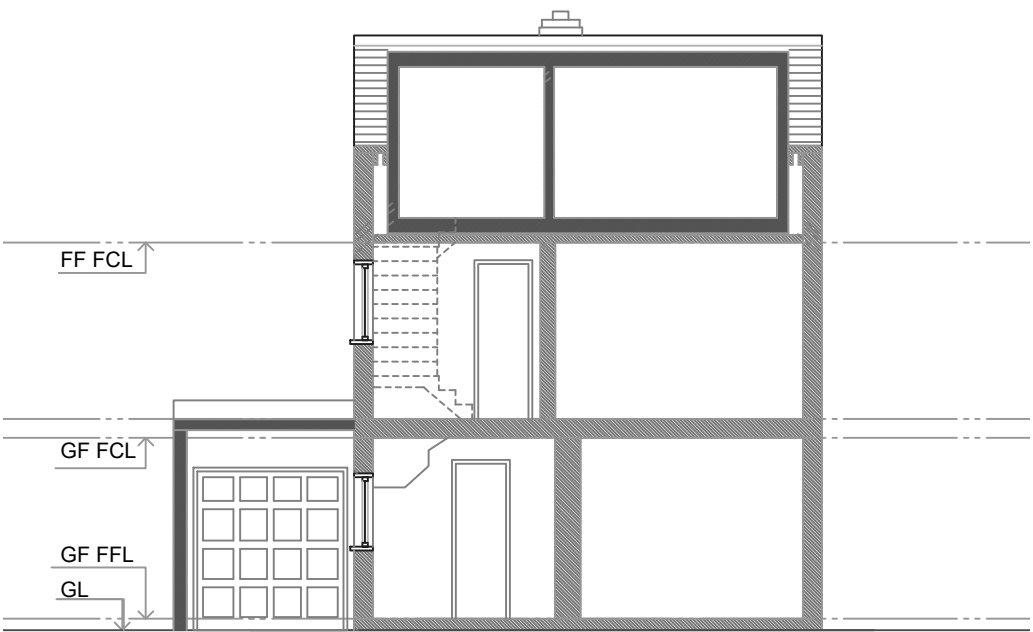
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Existing Section B-B

1:100



Proposed Section B-B

1:100