



Kemp House, 160 City Road, London EC1V 2NX
Telephone: 0208 154 4525 / 0208 154 4526
Email: contact@townplanninglawadvocatesltd.onmicrosoft.com
www.townplanninglawadvocatesltd.com

DESIGN AND ACCESS AND PLANNING STATEMENT

Applicant: MRS SUCHEN VANN

**Application Site: THE RED HOUSE, SUMMERHOUSE LANE,
HAREFIELD, UXBRIDGE, MIDDLESEX, UB9
6HX**

**Proposal: REPLACEMENT OF SINGLE GLAZED WHITE
TIMBER FRAMED WINDOWS WITH DOUBLE
GLAZED WHITE TIMBER FRAMED WINDOWS.**

Our Ref: TPLA0073PP

Date: 22ND JULY 2024

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ENCLOSURES

1. - Site Location Plan.
2. - Planning Application Form

3. - Proposed and Existing Plan

1.0 INTRODUCTION

- 1.1 This statement is submitted by **TOWN PLANNING LAW ADVOCATES LTD** in support of planning application for Replacement of single glazed white timber framed windows with double glazed white timber framed windows at **THE RED HOUSE SUMMERHOUSE LANE HAREFIELD UB9 6HX**. The statement provides a description of the site and its surroundings, the proposal, design, layout, and how the development relates to local and national policy and how it integrates within the surrounding and particularly the listed building.

This statement is written in accordance and in full conformity with the requirements set for planning applications as amended in the Town and Country Planning (general Development Procedure) Order 2006, and guidance on changes to the development control system, DCLG 2006

2.0 SITE LOCATION AND DESCRIPTION

- 2.1 The application site relates to a two-storey property on Summerhouse Lane. The Red House is grade II listed with the adjoining, smaller and less significant The Red Cottage. Both date from the 18th century.
- 2.2 The area is predominantly residential and it's characterised by two storey detached dwellings. The building is a grade 2 listed and lies within e Copper Mill Lock Conservation Are, there is no Article 4 Direction or any other restrictions applicable on the site.



The photo shows the site of the development

3.0 THE PROPOSAL

- 3.1 The applicant seeks planning permission for Replacement of single glazed white timber framed windows with double glazed white timber framed windows.

4.0 POLICY CONSIDERATIONS

4.1 National Planning Policy Framework 2023

Paragraph 199

Paragraph 203

4.2 The London Plan 2021

Policy HC1

4.3 **Hillingdon Local Plan Part 1 (2012) and Part 2 (2020)**

Policy -PT1. BE1 – Built Environment

Policy- PT1. BE1 – Heritage

Part 2

Policy DMHB. 12 Streets and Public Realm

Policy - LPP HC1 (2021) Heritage conservation

Policy- DMHB 2 Listed Buildings

5.0 **PLANNING CONSIDERATIONS**

- 5.1 This section considers the planning issues relating to this planning application and demonstrates – with reference to relevant Development Plan policies and other material considerations - that planning permission/Listed building consent be granted.

Under the provisions of S.38 (6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine planning applications in accordance with the policies of the Development Plan, provided they are up to date and relevant, unless material considerations indicate otherwise.

- 5.2 The main planning considerations in this development would relate to:

- 1- Planning history
- 2- Impact on the character and appearance of the listed building
- 3- Impact on the character and appearance of the conservation area

5.3 **Planning history**

The planning history of the site shows that a similar proposal has been subjected planning assessment.

Planning application ref: 16920/APP/2023/3511. THE RED HOUSE SUMMERHOUSE LANE HAREFIELD was refused for Replacement of single glazed white timber framed windows with double glazed white timber framed windows (Application for Listed Building Consent associated with ref: 16920/APP/2023/3510), for the following reasons:

The proposed replacement windows, by virtue of the design including thickness, beading and spacers would fail to preserve or enhance the significance, character or appearance of the designated building thus causing harm to its special interest and significance. As such it would neither preserve nor enhance the wider Copper Mill Lock Conservation Area. The proposal would therefore conflict with the Policy HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies DMHB 1, DMHB2, DMHB 11 and DMHB12 of the Hillingdon Local Plan: Part Two- Development Management Policies (January 2020), Policy HC1 of the London Plan (March 2021) and the National Planning Policy Framework (2023).

This is a revised application that sought to address the concerns that were raised in the previous application.

5.4 **Design, Access and Layout consideration**

5.1 DESIGN

The design of the proposal would replicate the existing timber frames.

5.2 Access.

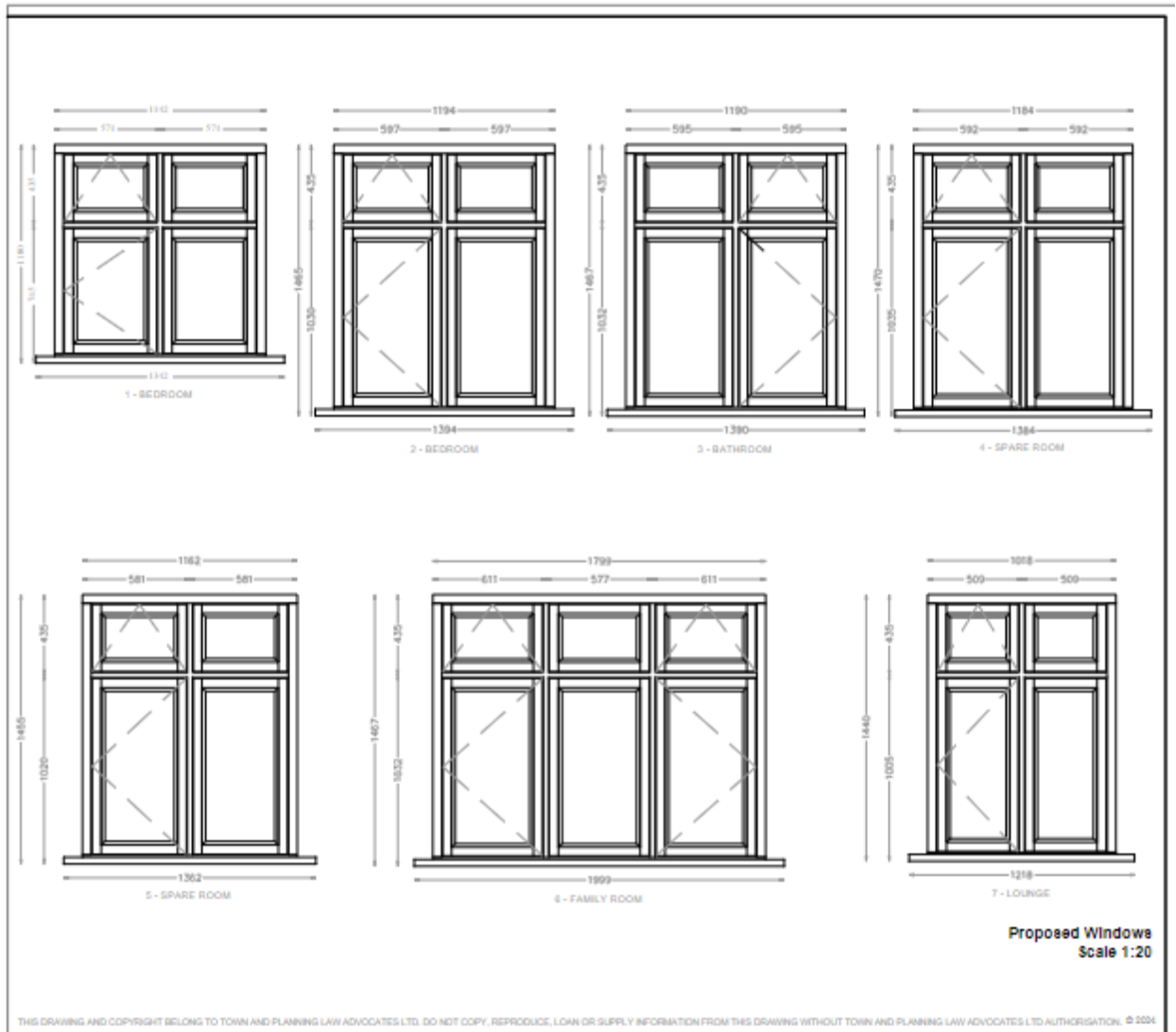
The access to existing dwelling via Summerhouse Lane would be maintained.

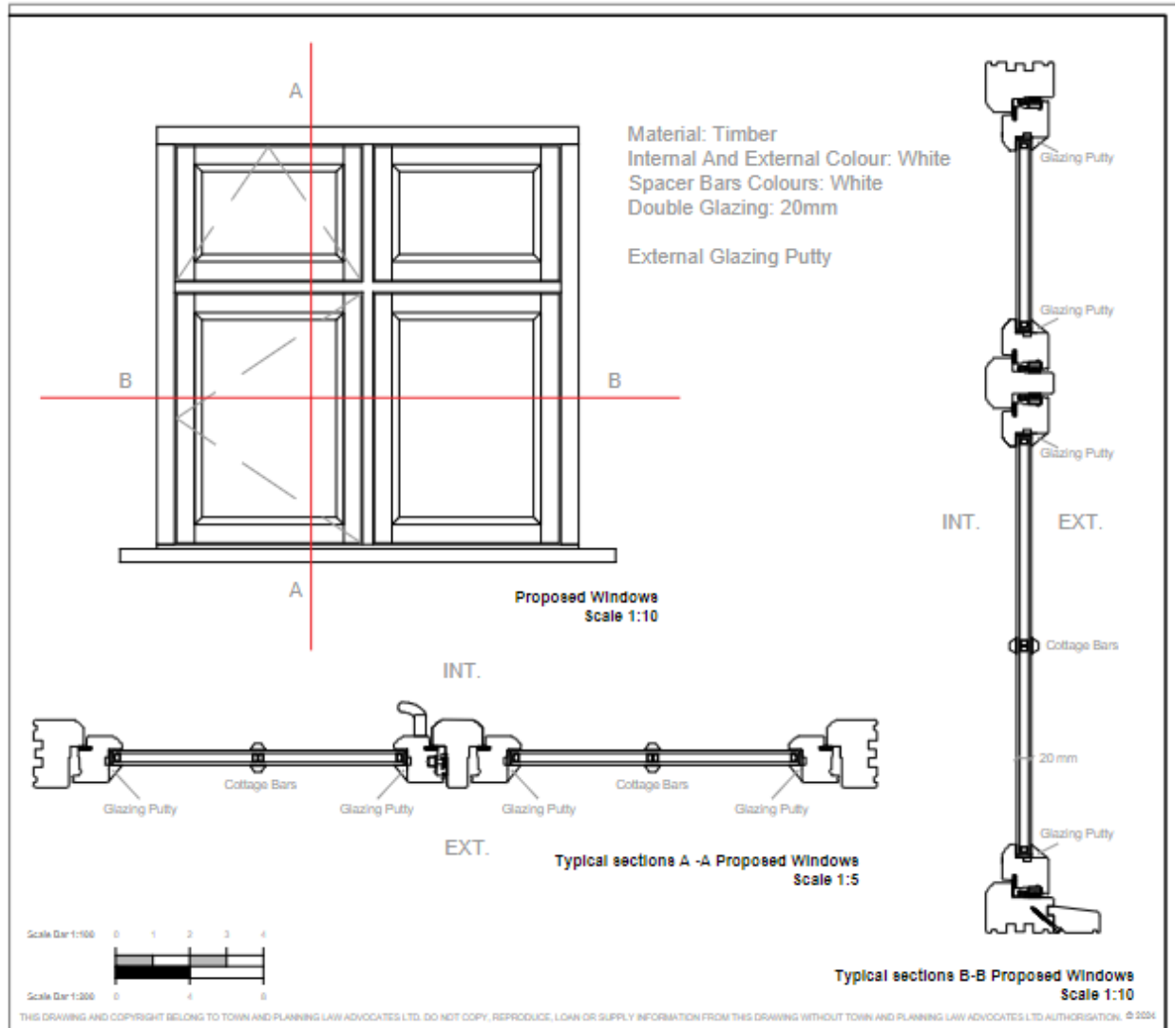
5.3 Layout.

The layout would reflect the existing windows. The windows will match in style and design as closely as possible.

See attached the design of the windows below.







Drawing showing the floor plan, sections and elevations

5.5 Design consideration: Impact on the character and appearance of the listed building

The proposal would involve replacing the existing timber framed windows with similar material and would appear like for like. The proposed timber would be hard wood and would be painted white to match the colour and design of the existing.

Similarly, the window frames will be fitted with a similar double-glazing screens that would be thinner than 28mm thick as previously proposed. The glazing screens would be puttied in rather than beaded to replicate traditional windows. In addition to that, the spacer bars should be white to reduce visual impact.

- 5.6 Guidance in Policy BE1 of the Hillingdon Local Plan: Part One Strategic Policies (2012) seeks a quality of design in all new development that enhances and contributes to the area in terms of form, scale and materials; is appropriate to the identity and context of the townscape; and would improve the quality of the public realm and respect local character and Policy HE1 of the Hillingdon Local Plan: Part 2 - Development Management Policies (2020) states that planning permission will not be granted for proposals which are considered detrimental to the setting of a Listed Building. This is reinforced by Policies DMHB 1 and DMHB 2 of the Hillingdon Local Plan : Part 2 - Development Management Policies (2020) which states that the Council will expect development proposals to avoid harm to the historic environment, and that planning permission will not be granted for proposals which are considered detrimental to the setting of a Listed Building.

- 5.7 Section 66 of the Planning (Listed Buildings and Conservation Areas) Act 1990 requires the Local Planning Authority to pay special regard to the desirability of preserving listed buildings and their setting. Furthermore, Paragraph 28 of Historic England's Good Practice Advice Note 2: Managing Significance in Design Taking in the Historic Environment (GPA 2, 2015) states that consideration should be given towards 'whether additional change will further detract from 'the significance of the asset'.

With reference to the above policy guidance, the proposed development would enhance and preserve the character and appearance of the listed building and therefore the proposal would not detract from the character of the listed building.

5.8 **Impact on the conservation area**

Paragraph 203 underscores that the effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

Due consideration has been paid to the significance of the conservation area but on balance of judgement it is considered that the proposal would not directly have a significant impact on the character of the conservation area.

- 5.9 Guidance in Paragraph 135 advise that the development should function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; it will be visually attractive as a result of good architecture, layout and appropriate design and more importantly, the development would be sympathetic to local character and therefore would not have a significant impact on the character and appearance of the Conservation Area.

5.10 **Impact on neighbouring amenity**

The development by way of its location, size and height would not pose any impact on neighbouring amenity.

7.0 **CONCLUSION**

- 7.1 The development would accord with national, regional and local policies, in the absence of any anticipated harm arising from development it should be granted planning permission / listed building consent.

The local planning authority is aware that, under the provisions of S.38 (6) of the Planning and Compulsory Purchase Act 2004, Local Planning Authorities are required to determine planning applications in accordance with the policies of the Development Plan, provided they are up to date and relevant, unless material considerations indicate otherwise.