



DESIGN, ACCESS & HERITAGE STATEMENT

SITE ADDRESS: THE RED HOUSE, SUMMERHOUSE LANE, HAREFIELD, UXBRIDGE, MIDDLESEX, UB9 6HX

FRONT ELEVATION



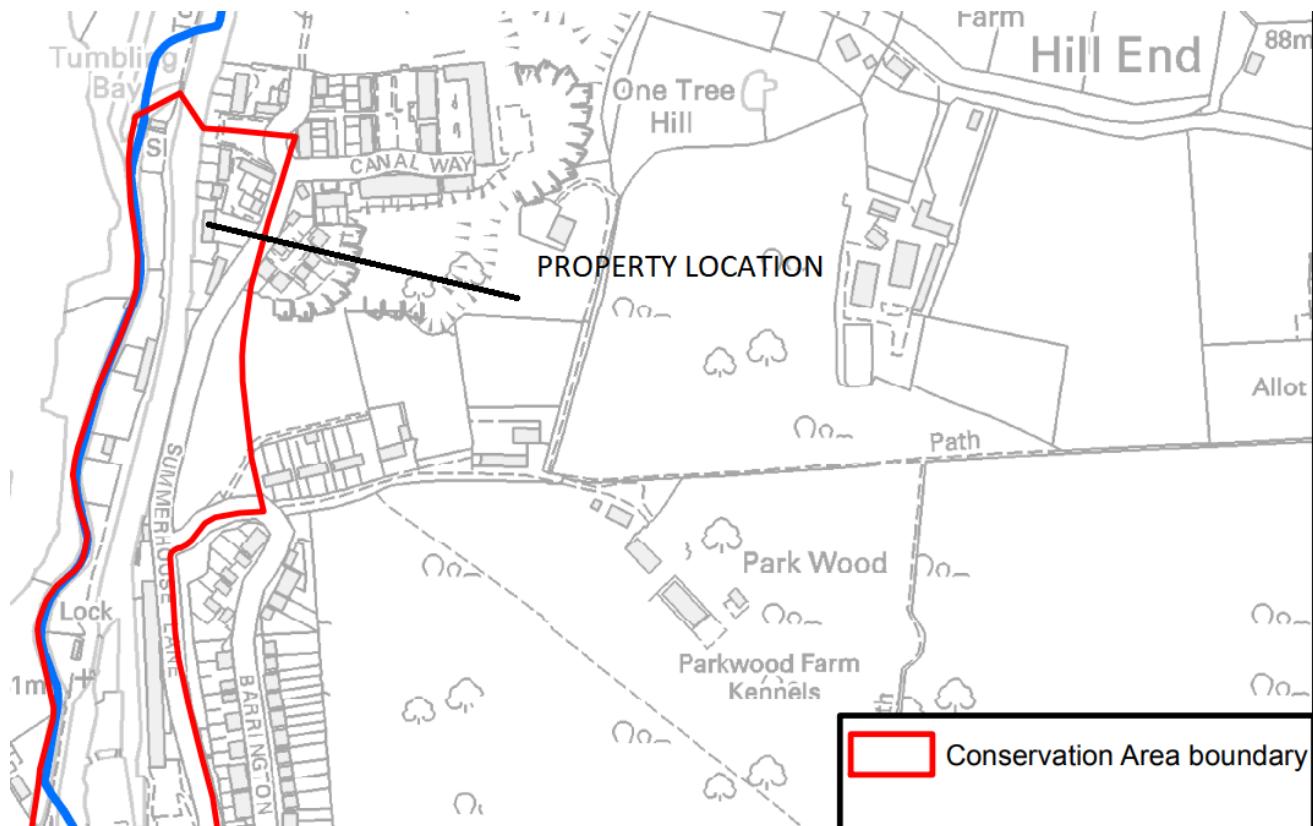
CONTEXT AND STATEMENT OF HISTORIC SIGNIFICANCE

Anglian Home Improvements have been contracted to replace the windows to the property as shown on the accompanying plans which is a large, detached house with a red tiled roof.

The current windows are white timber with single glazing in a flush fit casement.

We now intend to replace these windows with white timber flush fit frames that will replicate the ones that are currently there while giving our customers the much-needed additional warmth and security to the property that double glazing can provide.

The property falls into the Black Jacks and Coppermill Lock Conservation Area and as such the proposed windows will need to be in keeping with the area and its surrounding properties.



The property is also listed as is described on Historic England's website as:

Details

1. 5018 SUMMERHOUSE LANE (West Side) HAREFIELD The Red House. The Red Cottage. TQ 0491 1/408 II 2, The Red House is an C18 house of 2 storeys, 3 windows with wide proportions. Hipped tiled roof, walls now rendered. Wood mullioned and transomed modern casement windows. Central 6-panel door, top glazed, under modern gabled porch. The Red Cottage, adjoining, is late C18 or early C19. 2 storeys, 2 windows, irregular. Plastered walls with brick dentil cornice. Hipped tiled roof. One sash window with glazing bars, the others modern. Included only because inseparable from The Red House.

Listing NGR: TQ0415291601

As per the above the windows to the property are not historic and are listed with the property.

SURROUNDING AREA: The surrounding properties are very similar in style and design with the white timber windows albeit some of these appear to be in PVCu. Our property is set back from the road and passers-by and has the river Colne to the rear.

AMOUNT: There will be new 7 new windows to the property.

LAYOUT: The new windows will replace the ones in situ and there will be no change in the aperture sizes.

SCALE: The windows will be in proportion to the house as they will be in the original openings. The windows will match in style and design as closely as possible.

LANDSCAPING: Our proposal will not require any landscaping as these are replacement windows only.

ACCESS: Access will be gained by entering the property via the main entrance. If any special measures needed are with highways or any other property owners to install the windows or bring materials to site these will be discussed and arranged as necessary.

APPEARANCE: We appreciate the importance of retaining the properties history and the importance of maintaining its unique features however we would ask that a fair balance is struck between the visual aesthetics of the property and the wellbeing and standard of living for the occupants.

The benefits to the homeowner to use Anglian's Timber windows are that they are minimal maintenance and as such the aesthetics of the property will be maintained without the reliance of too much future upkeep. This being especially important at above ground floor level.

The Anglian Timber window has been specifically designed to be used on properties where aesthetics are important. A fair balance needs to be struck between the ideals of historical preservation versus the human rights of individual homeowners.

Our proposed windows are to be white timber with double glazed sealed units with flush fit frames and equal sightlines. This way the property is benefiting from having quality Timber double glazed windows which will enhance the property and the surrounding buildings while giving our customer the much-needed upgrade in performance.

In addition, draught proofing, sound insulation and security measures will all be improved upon to the benefit of the quality of the life of the homeowners.

The photographs below shows part of our Timber flush casement range.



The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons.

The new windows will be either side or top hung casements to match the existing. They will have the same opening designs and will be in the existing brick openings and no changes are to be made to the front door area. Being in white timber they will replicate the current windows and will be made using traditional materials.

The following aspects of the proposal could detrimentally impact on heritage significance. The reasons explained as well as the measures to be taken to minimise impacts.

The new windows will be double glazed and this may show a little from the outside however this should not detract too much from the originals as they will be in the same style and will look visually improved from the current windows. All the windows will have equal sightlines and the windows will be flush fitting. As the windows are not historical their replacement in any other material other than timber would not be acceptable but replacing them like for like in timber should minimise any impact. The property is set back from the road and will not be seen easily.

The following sympathetic solutions have been considered and discounted for the following reasons.

Secondary double glazing behind the current windows would not help as the current windows would still be in the same state of disrepair and be in need of regular upkeep. They would also continue to deteriorate year upon year.

Our customer does not want to replace the windows with single glazing as they would not provide any additional benefit to the overall energy efficiency and look. This property has many windows to maintain and these replacement in Timber will improve the look of all the elevations.

Furthermore, Anglian are a Green Deal provider and are environmentally responsible. We work with local authorities across the country and understand the importance of conservation areas. We regularly gain approval for our specialist windows in conservation areas and listed buildings and our products are now being recognised for their improvements in design.

We have tried to produce a range of windows which specifically address the design concerns commonly raised in connection with conservation areas or listed buildings.

DEVELOPMENTS WITHIN OR AFFECTING CONSERVATION AREA, LISTED BUILDING, OR ITS SETTING.
We have carefully considered the proposed changes to the property and feel that the new windows should not have a detrimental effect on the property as a whole and its surrounding area or setting as the products are to be sympathetic in design as per the current frames.

Our Accreditations



REAR ELEVATION



LEFT ELEVATION

