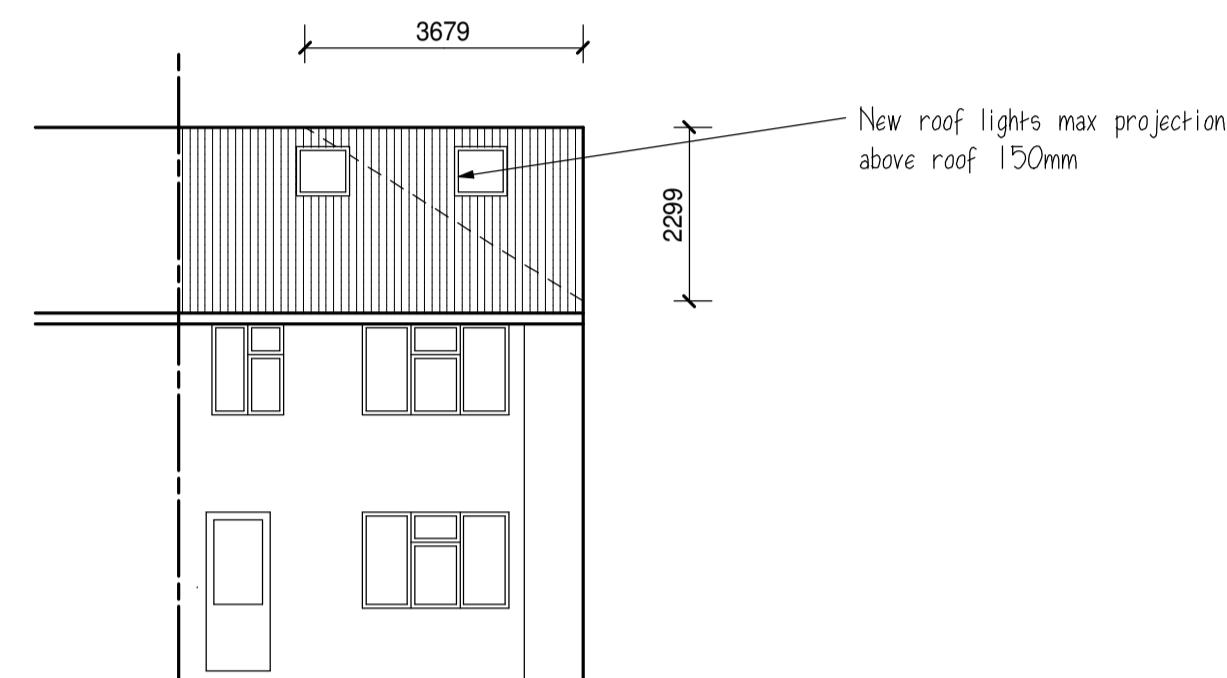
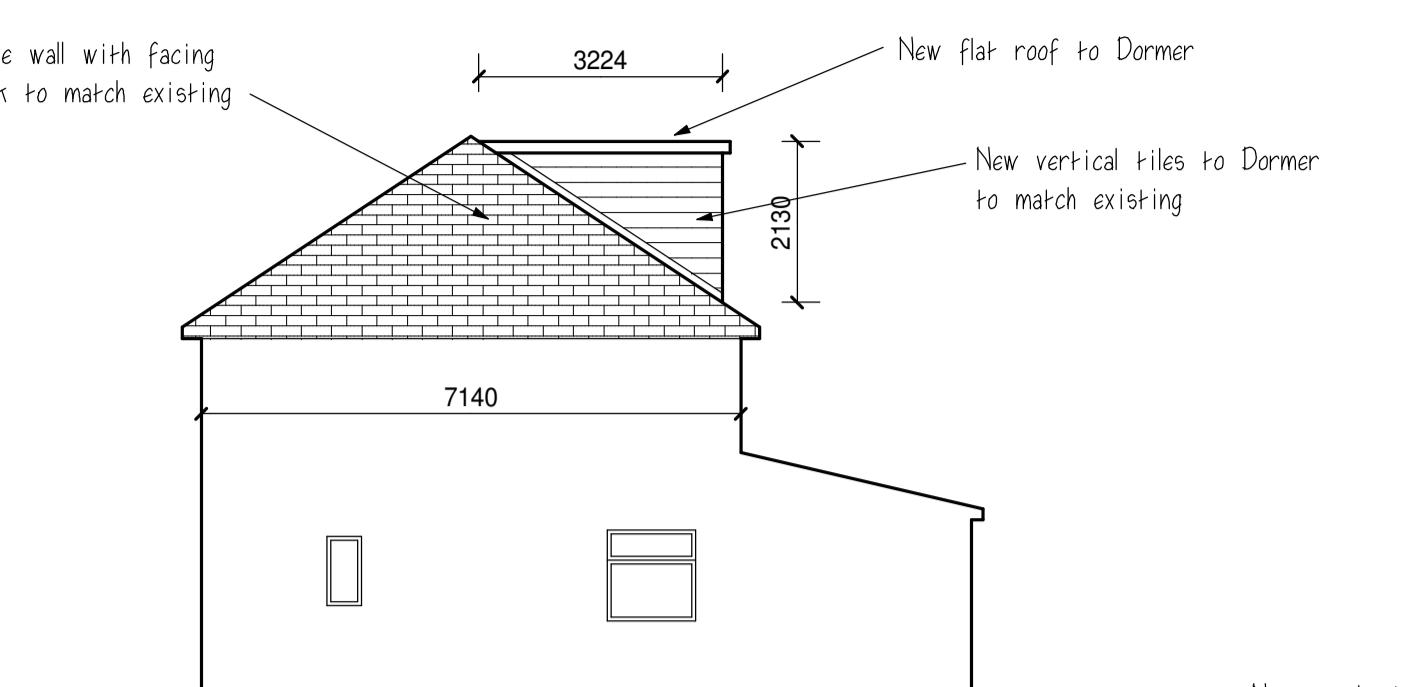


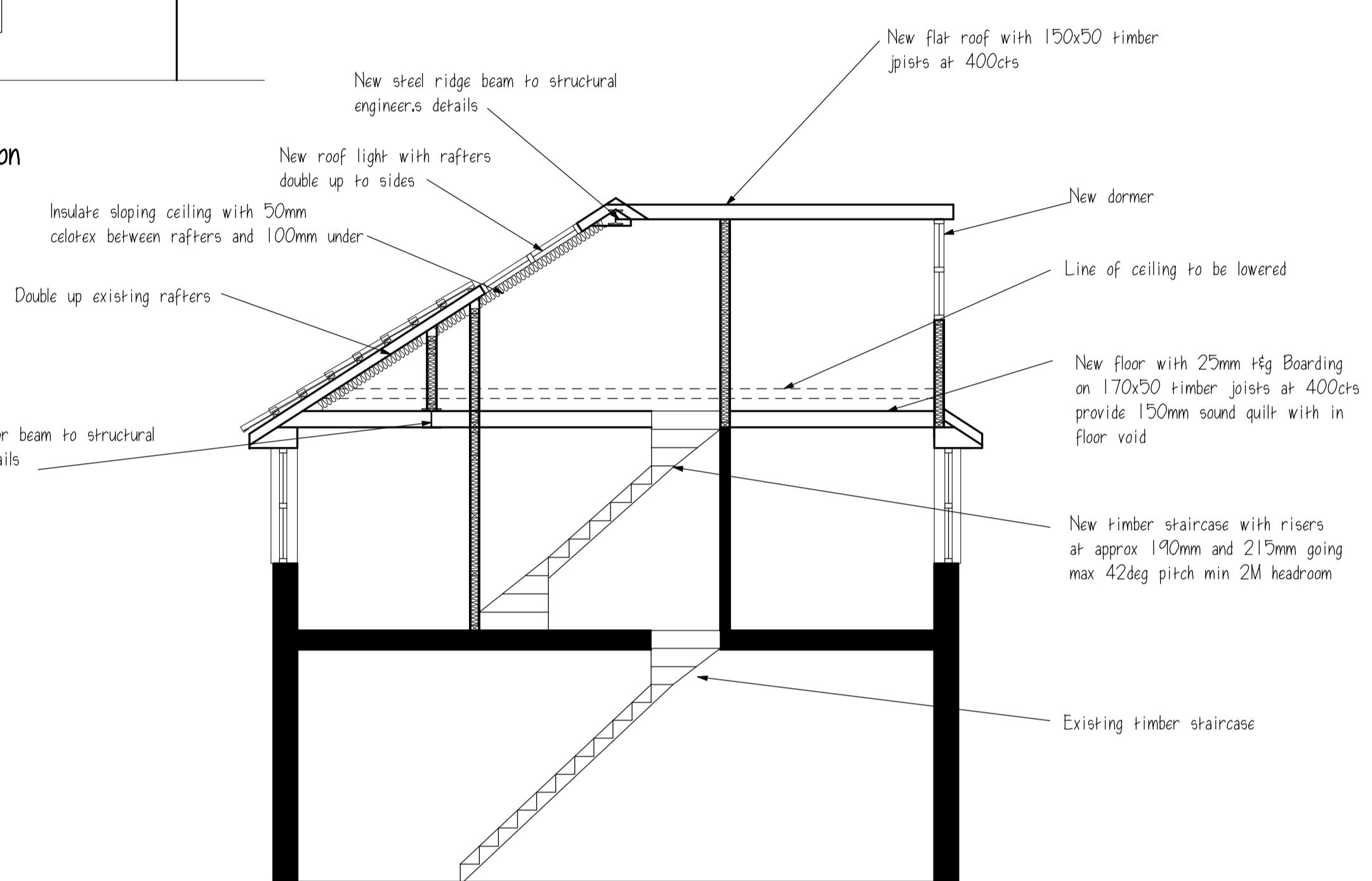
Proposed rear elevation



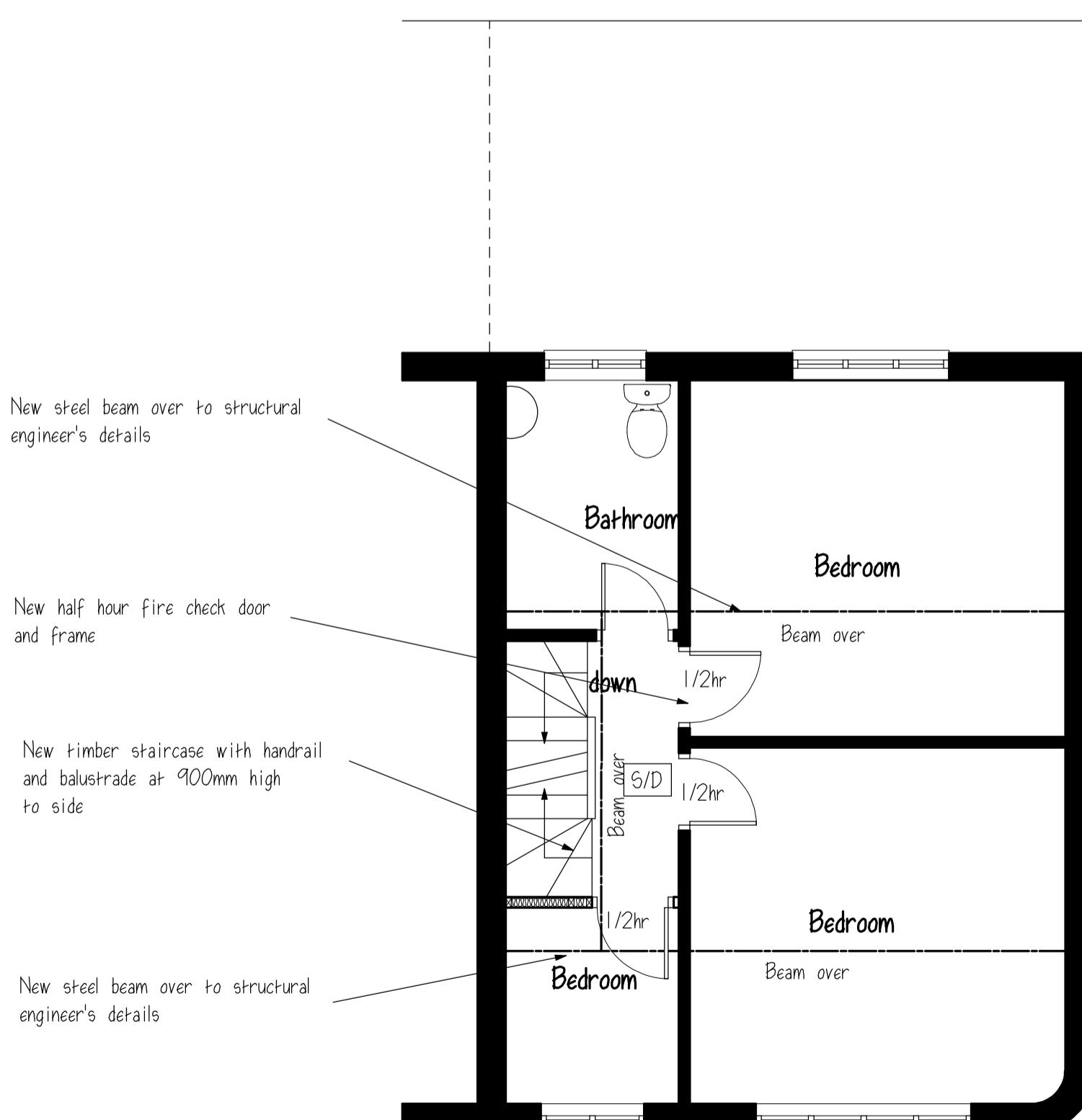
Proposed front elevation



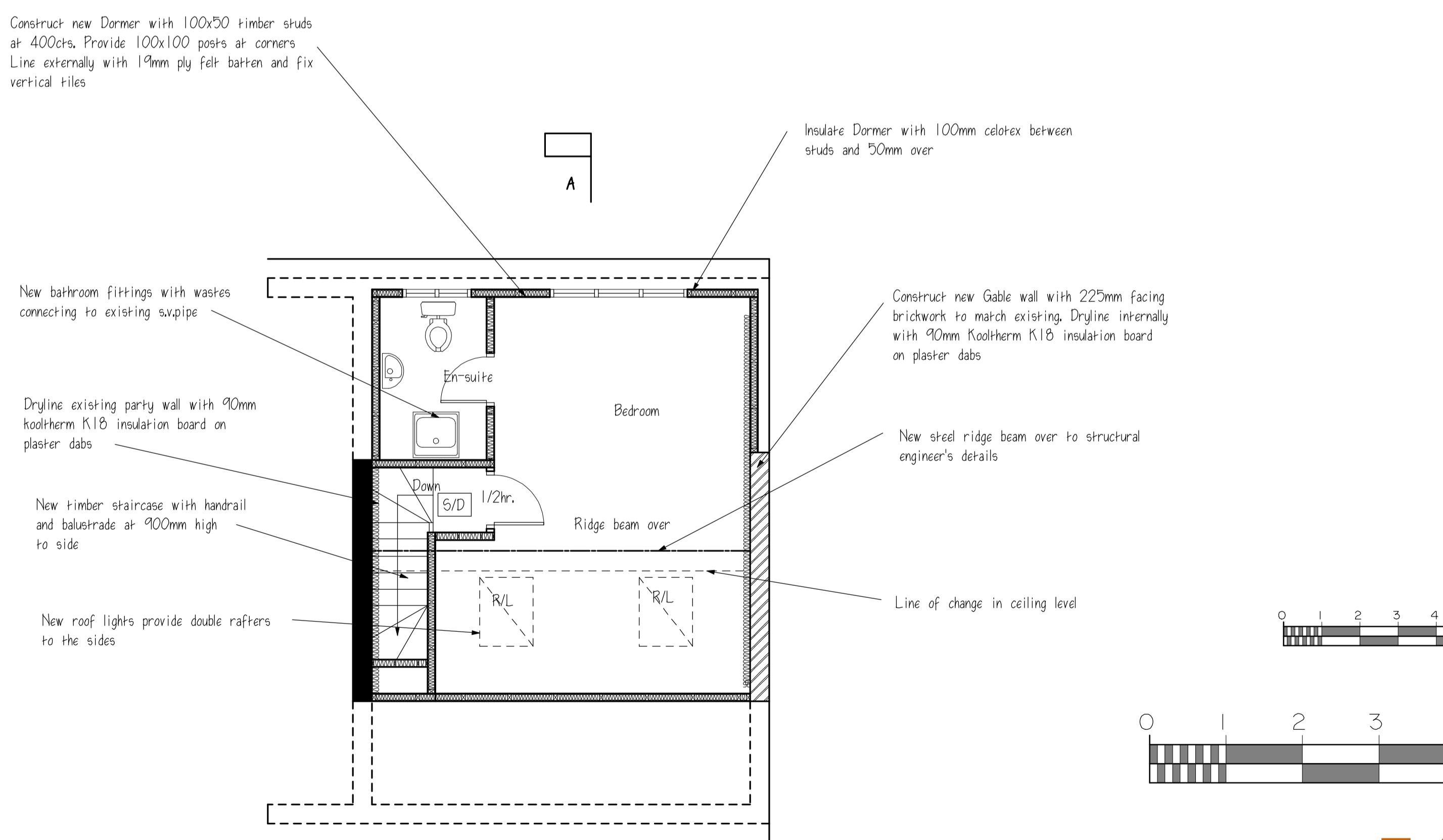
Proposed side elevation



Section A-A



Proposed first floor plan



Proposed loft plan

GENERAL SPECIFICATION NOTES: All dimensions, levels, boundaries, drainage etc to be checked on site by the Building Contractor prior to commencement of work.
All relevant planning and Building Regulation approvals to be obtained prior to commencement of work.
All party wall notices to be served on the adjoining owners by the Building Owner prior to commencement of work.
All health and safety regulations to be implemented on site by the Building Contractor during the building contract.
Where applicable these drawings are to be read with the structural engineers calculations and details.

INTERNAL TIMBER PARTITIONS Construct partitions with 100mm x 50mm S.W. timber studs at 400mm centres vertically with head and sole plate including noggins. Line both sides with 12mm plasterboard scrim and set. Provide 100mm sound quilt within void. Provide double joists bolted together under where constructed parallel to floor span.

FLAT ROOF CONSTRUCTION to comply to 0.15W/m2K. Provide 13mm solar reflective chipping hot bedded on 3 layers roofing felt, top layer mineralised and hidden under tiles min. 450 to BS 1477 on 18mm ply on 150x50 timber joists at 400mm span. Furring to fall min 1 in 60 on 175x50mm timber joists at 400cts line ceiling with 12mm plasterboard scrim and set.

LATERAL RESTRAINT Provide lateral restraint to new flat roof by means of 1200mmx32mmx6mm galvanised mild steel straps fixed to timber joists and walls at 1800mm max cts.

STEEL WORK New steel work to be pre-treated with paint protection to provide half hour fire protection.

DOORS For three storey buildings, all habitable rooms to have half-hour fire check door and frames with no glazing to protect stair route. If doors are glazed, then glazing must be pyrostop half-hour fire rated glass.

WINDOWS to comply to 1.40W/m2K. New windows to be upvc triple glazed with opening lights equal to min. 1/20th of floor area. New glazing K glass min. 16mm cavity. Fix triple vents within frame 8,000mm².

MECHANICAL VENTILATION Kitchen: to be fitted with extract fan ducted to external air, capable of providing 60 litres per second ventilation. Utility room: to be fitted with extract fan ducted to external air, capable of providing 30 litres per second ventilation. Bathrooms, shower-rooms: to be fitted with extract fan ducted to external air, capable of extracting 10 litres per second ventilation. Bathrooms, shower-rooms and w/c's in the internal should be electrically wired to the light switch, capable of providing three air changes per hour and fitted with a 15 minute over-run delay.

SMOKE DETECTORS Provide smoke detectors within hallways and corridors at each floor level, electrically wired on separate circuit to mains supply and fitted with back-up battery system. All smoke detectors to be inter-linked.

ELECTRICAL All new electrical wiring to be carried out by a competent person registered under part P of the Building Regulations. Test and installation certificates are to be issued on completion of works.
All new switches and sockets are to be positioned within a zone between 4200mm and 1200mm above finished floor level.
25% of all new electrical light fittings are to be energy efficient.

PLUMBING New plumbing above ground to comply with codes of practice. All fittings to have 75mm deep seal traps. Provide rodding access to all waste pipes at change in direction.

Permitted development calculations	
Hip to Gable	7.1x3.67x2.29=60.00/6=10.00
Rear Dormer	5.07x3.22x2.13=34.77/2=17.38M3
Total	27.38M3

project: Loft conversion with hip to Gable and rear Dormer
address: 55 Rayleigh Avenue Hayes
client:
date: January 2026
drg. no.: 9688/2
scale: 1:100 & 1:50

revisions	



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