



Design Statement

Prepared for

66 Ashford Avenue
Hayes, UB4 0NA

Prepared by

AMBA Architecture Ltd.

Date

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This design statement has been prepared on behalf of the applicant to support the planning application. It describes the context and proposal for development at 66 Ashford Avenue, Hayes, UB4 0NA.

This document is divided into the following sections:

1. Introduction
2. Site & Context
3. Planning Considerations
4. Existing Property
5. Site Planning History
6. Planning Precedents
7. Design Proposal
8. Conclusion

This design statement should be read in conjunction with the drawings and reports submitted alongside this application (list of documents mentioned in the application cover letter).

The property is located within the London Borough of Hillingdon, the surrounding area is predominantly residential in character comprising two storey semidetached properties. The site is not a Grade Listed property nor does it sit within a Conservation or Article 4 Area. The site lies within Flood Zone 2.

To the north of the site of the north of the site lies Greenbelt land and a Nature Conservation Site of Metropolitan or Borough Grade I Importance as well as Retail Park, supermarkets. To the east is Spikes Bridge Park, The Broadway Southall consisting of local convenience stores, restaurants and other small businesses. South of the site is Minet Country Park, International Tradition Estate Southall and Heather Airport in the far south west. To the west, lies Yeading Brook with pedestrian access, Regional Open Space (Belmore Playing Fields), West London Shooting School and other residential properties.

The site benefits from excellent transport links, being conveniently located between Southall and Hayes & Harlington stations, with multiple bus routes and easy access to major roads including the A40 and M4, providing strong connectivity to other parts of London.



Fig. 01 Aerial view of 66 Ashford Avenue showing indicative boundary (highlighted in red)



Application site

Address :

66 Ashford Avenue, Hayes, UB4 0NA

Local Authority :

London Borough of Hillingdon

Green Belt :

No

Flood Risk :

Flood Risk Zone 2

Agricultural Zone:

No

Listed Building :

No

TPO :

No

The existing property is a two storey detached house. The site benefits from being situated in a spacious plot with front driveway and rear garden.

Please refer to document named 'Site Photographs' for more existing property photos submitted along with this application.



Fig. 02 Front elevation of the house



Fig. 03 Rear elevation of the house

The property has undergone a few recent planning applications as stated below, there are no further planning application or pre-applications found in relation to the property during our desktop research.

16578/B/83/0302

S/S rear extension

Prior Approval Req. April 1983

The proposal set out in this application is a common type of development across the local borough. The study represented in the diagram on the right shows properties with rear extensions of a similar scale surrounding the application site.

There has been a good history of various extension approvals within the vicinity of the application site, similar to the proposed development in this application, some of which are listed below.

One of the precedents shown on this page is Nos. 54 & 56 Ashford Avenue. Although the two-storey side extension was refused, the officer's report indicates that there was no direct objection to the principal development and the main reason for refusal was related to flood risk assessment.

Additionally, there are several other properties in the surrounding areas of Ashford Avenue that have two-storey side extensions, as well as part single- and part two-storey rear extensions, some of which are shown on page 12 of this document.



Fig. 04 Site aerial view showing planning precedents

A design-led approach has been used to ensure that the scale, massing, and appearance of the proposal are well considered and of a high standard. The proposed design will contribute positively to the local context.

Proposal

The proposal is for the erection of a two-storey side extension and part two, part single-storey rear extension.

Location

The application site is not within a conservation area, world heritage site, national park, area of outstanding natural beauty, or the Broads, nor is it within the grounds of a listed building.

Use

The existing use class is C3 for a single-family dwelling, and the property will remain as such.

Layout

The proposed development includes the addition of an entrance hallway, bathroom, utility room, and a larger kitchen, dining, and living area on the ground floor. On the first floor, the box room will become a spacious room with storage, along with one additional bedroom and the relocation of the family bathroom. These new additions to the existing property will create a much more usable space for a growing family.

Amount

The proposed GIA is 53.68 m².

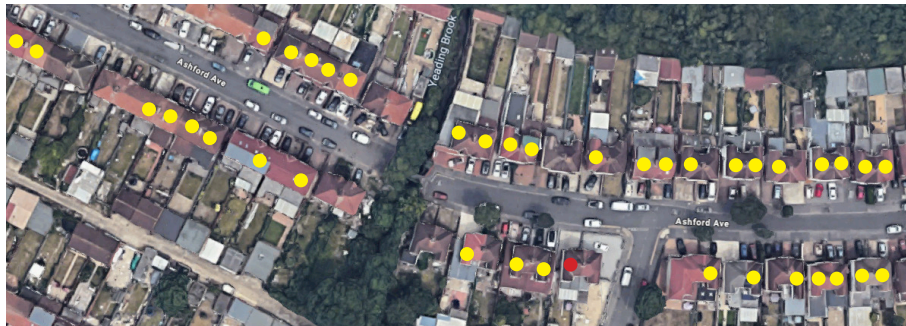
Community Infrastructure Levy (CIL)

The proposal falls below the 100 m² threshold (53.68m²) and is therefore not subject to the Community Infrastructure Levy (CIL).

Rear Extension

The proposal includes a part single-storey and part two-storey rear extension. The property already has an existing rear extension measuring 2.01m in depth, so the proposal would further only add 1.97m. The proposed single-storey rear extension is extended max. 4m in depth from original house with a flat roof not exceeding 3m in height, which would also be acceptable under the permitted development rights Class A - enlargement, improvement or alteration.

The property also benefits from an existing single-storey canopy and a two-storey rear feature, and whilst the 45-degree angle for the single-storey part adjacent to No. 68 is not met, the proposal should be assessed on case by case basis. The proposed rear extension is set back from the No. 68's existing canopy by 0.99m and the wrap around side/rear extension is set slightly behind No. 64 existing rear extension. Therefore, the proposed single storey rear extension would not cause any harm to the neighbouring amenities then the existing situation. Additionally, the proposed single storey rear extension would meet the criterias set out in Policy DMHD 1 and would be of a similar depth to that of many neighbouring properties.



● Application Site ● Neighbouring single storey rear extensions

Fig. 05 Aerial view highlighting single storey rear extensions in neighbourhood

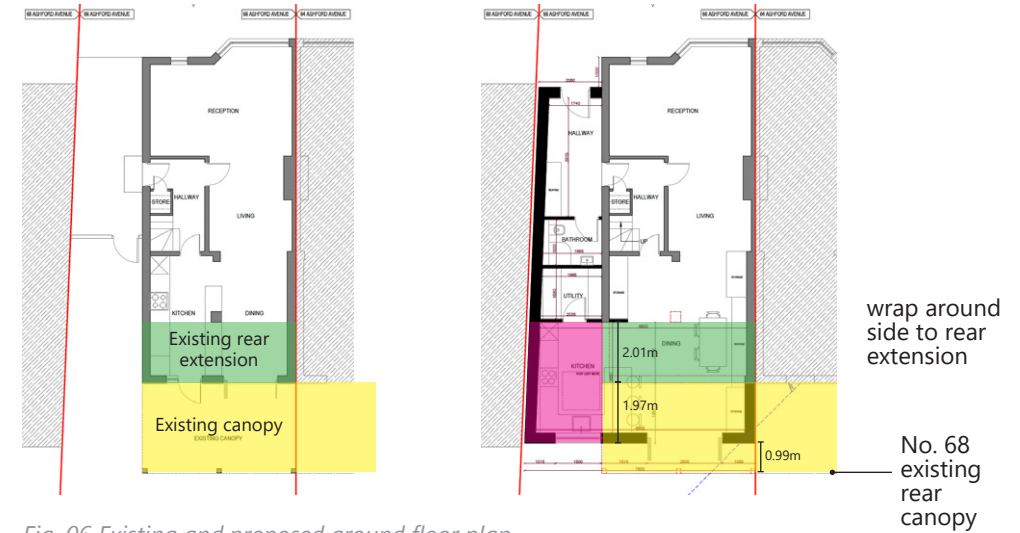


Fig. 06 Existing and proposed ground floor plan

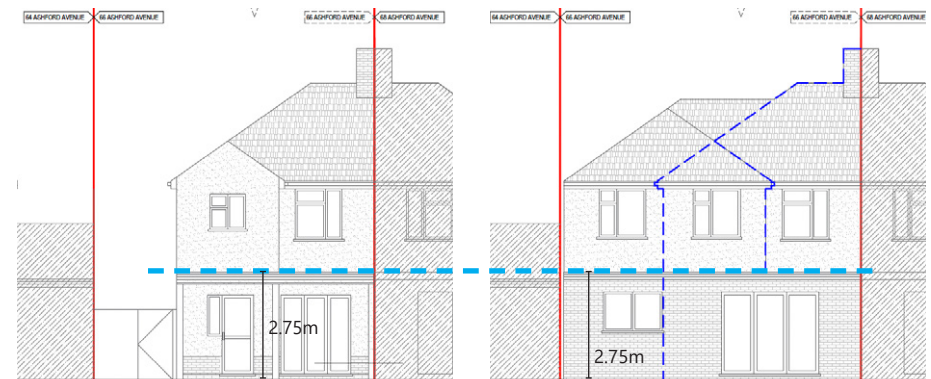


Fig. 07 Existing and proposed rear elevation

The proposed two-storey element extends only 1.42m beyond the existing two-storey feature, wraps around to the two-storey side extension, and is not the full width of the property, there are no side-facing windows on the neighbouring properties, nor are any side-facing windows proposed for No. 66 and the 45 degree angle is maintained to ensure no harm the neighbouring properties. The overall proposal is therefore in accordance with Policies DMHD 1 and DMHB 11 of the Hillingdon Local Plan Part 2 (2020), and Policy D3 of the London Plan (2021).

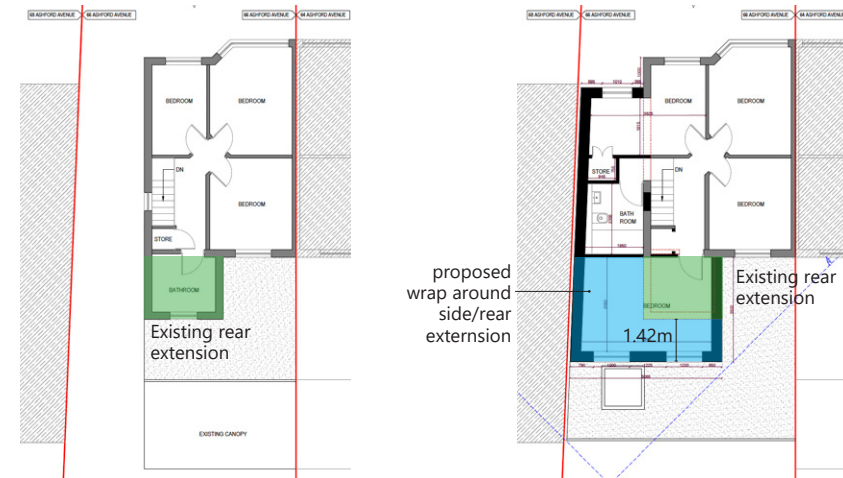
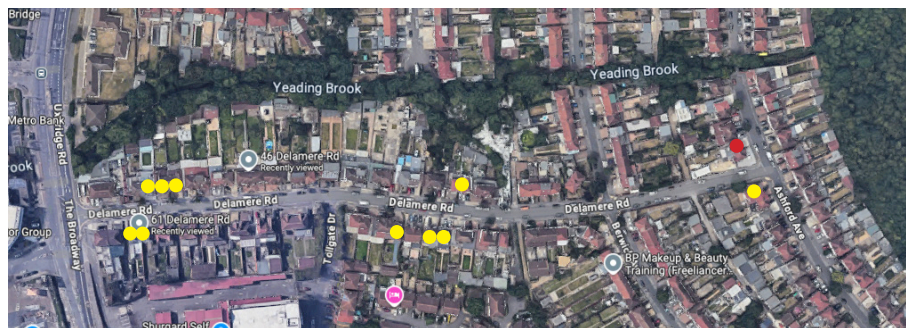


Fig. 09 Existing and proposed first floor plan



● Application Site ● Neighbouring part two storey rear extensions

Fig. 08 Aerial view highlighting part two storey rear extensions in neighbourhood

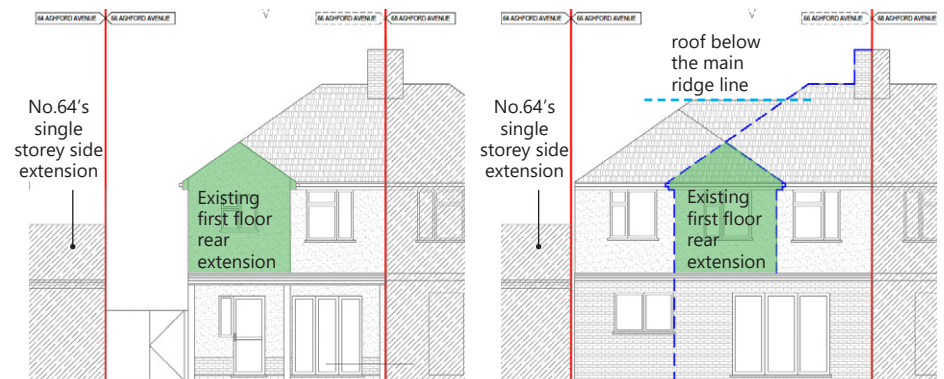
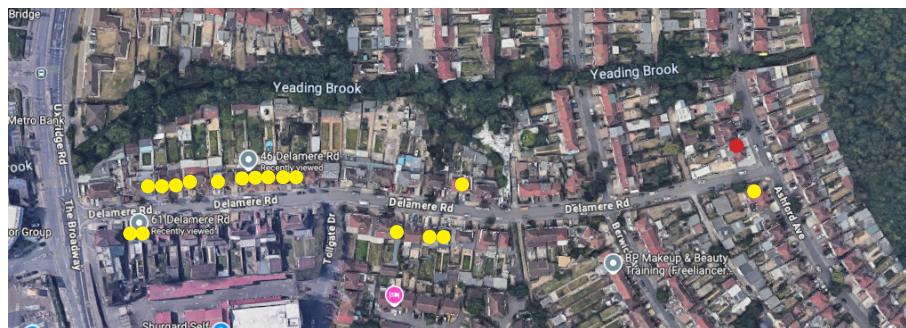


Fig. 10 Existing and proposed rear elevation

Side Extension

The proposed two-storey side extension would be set back from the front building line of the property by 1.2m, would be less than half the width of the existing house at 2.08m, and would have a matching hipped roof form. The proposal includes the provision of a new door on the front elevation of the property, relocating it from the side elevation where it currently exists. The roof of the extension would be set down from the ridgeline of the main house by 0.41m.

Whilst the side extension may appear to close a visual gap in the street scene, a generous setback from the front elevation would help to offset the potential for a terracing effect from the proposed development, in accordance with Policies DMHD 1 and DMHB 11 of the Hillingdon Local Plan Part 2 (2020), and Policy D3 of the London Plan (2021). Please also refer to page 8 and 12 for precedents of similar side extensions in the neighbourhood.



● Application Site ● Neighbouring part two storey side extensions

Fig. 11 Aerial view highlighting part two storey side extensions in neighbourhood



Fig. 12 Existing and proposed ground floor plan

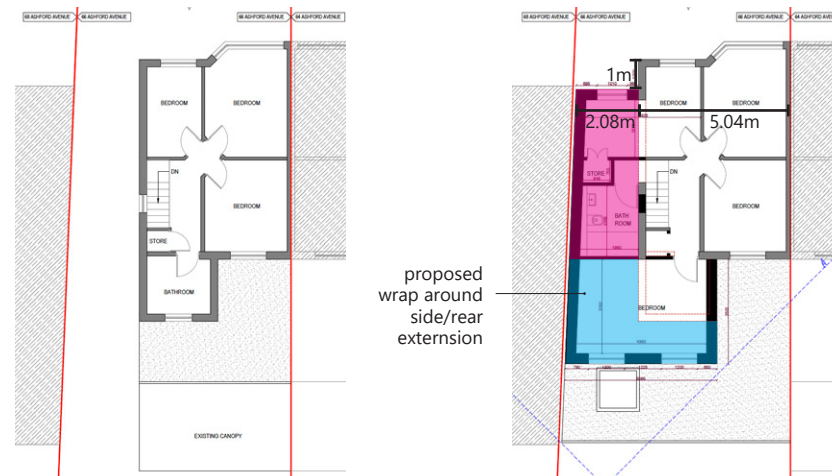


Fig. 13 Existing and proposed first floor plan

Scale and Mass

The proposed development is designed to the highest standard and incorporates the principles of good design. The additions would cumulatively read as subordinate elements to the main dwellinghouse, with the proposed setback for the side extension reducing any potential terracing effect. The single-storey flat-roof rear extension would not exceed 2.75m in height which is the same as existing rear extension, with the existing two-storey feature being extended by only 1.42m. Therefore, the proposed extensions would not appear overly dominant or bulky when viewed from the street.

The proposed development at the application site would not appear as an out-of-character addition to the area, particularly as the surrounding neighbourhood contains extensions of a similar scale (please refer to page 8 and 12 for precedents). Overall, the proposal is in compliance with Policy BE1 of the Hillingdon Local Plan: Part One – Strategic Policies (2012), Policies DMHD 1 and DMHB 11 of the Hillingdon Local Plan: Part Two – Development Management Policies (2020), and Policy D3 of the London Plan (2021).

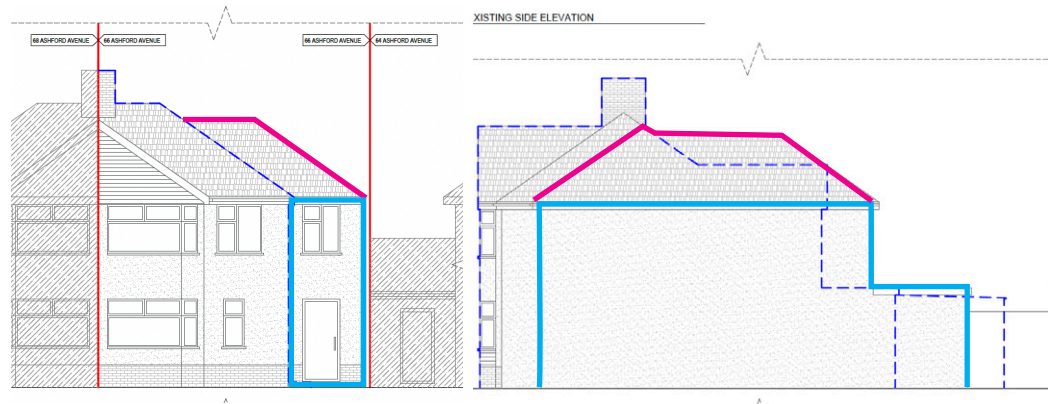


Fig. 14 Proposed Rear Elevation

Fig. 15 Proposed Rear Elevation

60 Delamere Road



58 Delamere Road



46 Delamere Road



Fig. 16 Similar scale development in neighbourhood

Neighbouring Amenity

The two principal properties to consider are the adjoining properties at No. 64 Ashford Avenue and No. 68 Ashford Avenue, located to the east and west of the application site respectively.

No. 64 has previously been extended to the rear, and the increase in depth of the proposed ground-floor element is unlikely to have a significant impact on the amenities of the neighbouring occupiers. The proposal is of modest height and features a flat roof, which helps to reduce any potential loss of outlook or light. The first-floor rear element has been demonstrated not to impede on the 45-degree angle from the closest habitable room at No. 64, and it is also set away from the boundary, further reducing any impact. In addition, the proposal's flank elevation faces No. 64, and no windows are proposed on this side, thereby avoiding any potential for overlooking. It is therefore considered that the proposal is unlikely to cause undue harm to the amenities of the occupiers at No. 64 Ashford Avenue.

No. 68 is the semi-detached property adjoining the application site. The bulk of the proposed rear extension would be behind the existing canopy, and the first-floor element is set well in from the boundary with No. 68. It is acknowledged that the 45-degree angle would be marginally impeded by the rear single-storey element when measured from a neighbouring opening at No. 68. However, both the application site and No. 68 have existing canopy features that project further than the proposed rear extension. As such, the amenity of No. 68 would not materially differ from the existing conditions.

Overall, the proposal will have minimal impact on privacy, overlooking, or the source of natural light to neighbouring properties and is in compliance with Policies DMHD 1 and DMHB 11 of the Hillingdon Local Plan Part 2 (2020) and the London Plan (2021).

Fig. 17 Site analysis diagram



Private Amenity Space

The application site would retain the majority of its amenity space in compliance with Table 5.3 and Policy DMHB 18 of the Hillingdon Local Plan Part 2 (2020). The existing property benefits from a well-stocked rear garden with mature planting, and the proposal does not affect any existing trees or green space, with the intention to preserve them in their current state.

Appearance and Materiality

All materials have been selected with careful consideration of the surrounding context, the existing structure, and neighbouring properties. The proposed development's materiality will match that of the existing house to safeguard the visual amenities of the area, in accordance with Policy DMHB 11 of the Hillingdon Local Plan Part 2 (2020).

Access and Parking

The proposal would increase the number of bedrooms in the property; however, there is provision for two off-road parking spaces within the forecourt, which meets the requirements of Policy DMT 6 of the Hillingdon Local Plan Part 2 (2020).

In addition, the proposal does not alter the existing access arrangements to the site, however the main entrance door into the house is moved from side elevation to the front, any other access, traffic and parking provision would remain unaffected. The development would not have a material impact on the safety or operation of the adjoining public highway.

Fire Strategy

To comply with London Plan Policy D12(A), fire safety information has been submitted as part of this application. Please refer to the "Fire Safety Information" document for further details.

Flood Risk

The application site is located within Flood Zone 2. A Flood Risk Assessment (FRA) has been submitted with this application to confirm the inclusion of flood-resilient construction measures and recommendations within a flood warning scheme, in compliance with the requirements of Policy DME1 9 of the Hillingdon Local Plan Part 2 (2020). Please refer to the "Flood Risk Assessment" document prepared by Unda for further details.

Based on the information presented within this document, accompanying drawings and reports, we are confident that this proposal adheres to the relevant local and national planning policy. The proposal is respectful of the neighbouring properties and sensitive to the existing property and area. This careful and attentive design will provide a positive addition to the property and the surrounding area. We trust that you will give favourable consideration to our application.

