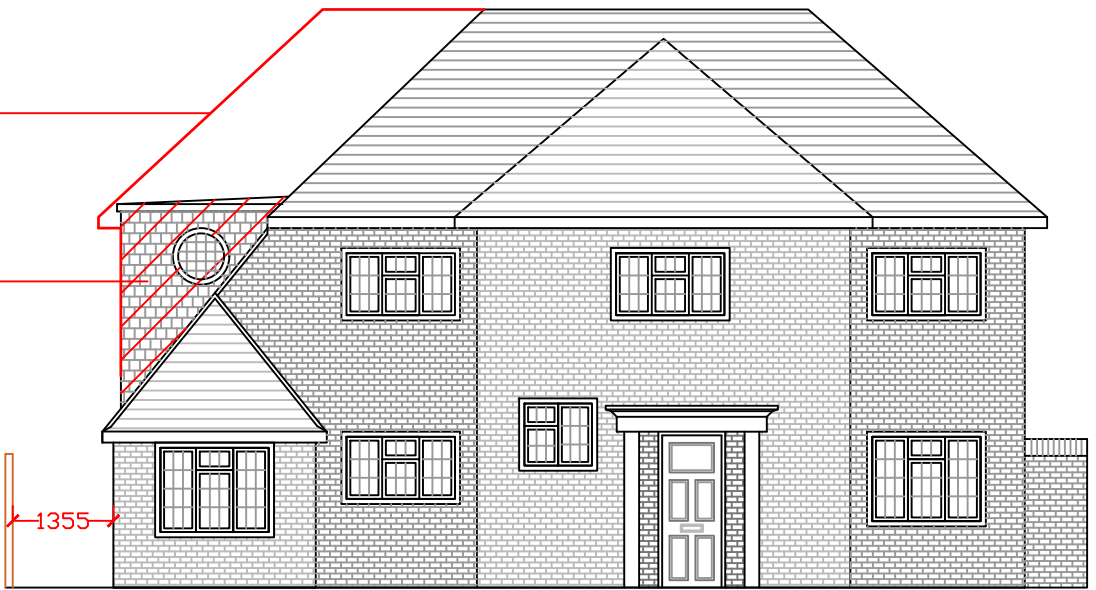
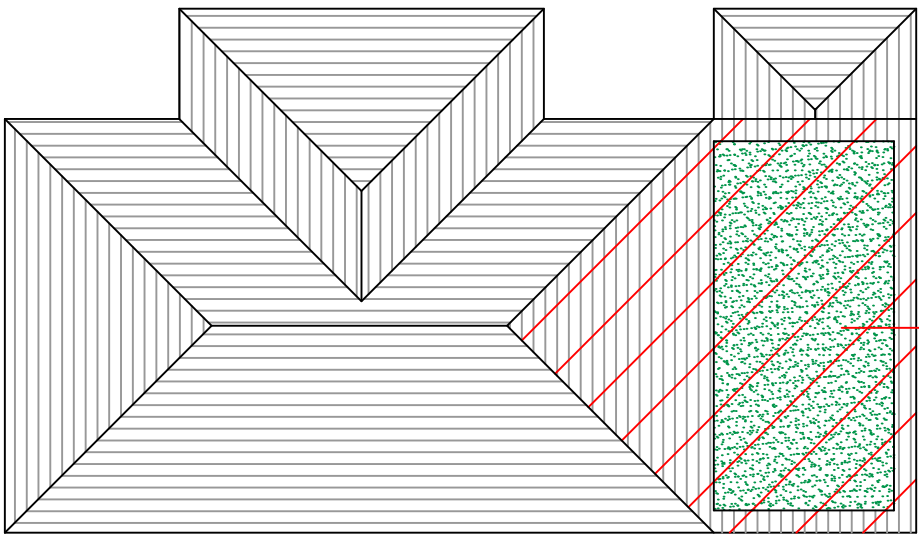


EXISTING REAR  
with proposed demolition areas hatched



EXISTING FRONT  
with proposed demolition areas hatched



ROOF PLAN  
with proposed demolition areas hatched



EXISTING FRONT  
with proposed FF side extension outline

NOTES:

1. Construction must only commence once planning, building control and any other relevant approvals have been obtained. It is the responsibility of the owner to commence prior to receiving these approvals.

2. These drawings must be read together with the specifications, details, structural designs and calcs issued or referred to.

3. All works to be carried out to Local Authority Planning and Building Regulation Approval, the Codes of Practice and British Standards as necessary.

4. All dimensions, levels, sizes, positions and locations of particulars as noted on the drawings are to be verified by the appointed Contractor on site prior to commencement of works. Any discrepancies must be reported to the Architect, Surveyor, Engineer or person responsible immediately.

5. The contractor is responsible for ensuring compliance with the CDM Regulations and the mandatory H&S on site precautions.

6. The Client/Building Owner must obtain the necessary Party Wall Agreements prior to commencing works on site.

Sterling Partners

ARCHITECTURAL & STRUCTURAL DESIGN

PROJECT MANAGEMENT

179 Pinner Road Bushey WD19 4EP

office: 01923 447738 mobile: 07919 213127

email: [sc@sterlingpartners.uk.com](mailto:sc@sterlingpartners.uk.com)

[www.sterlingpartners.uk.com](http://www.sterlingpartners.uk.com)

PROJECT: DOUBLE STOREY REAR  
EXTENSION WITH 1m SET-INS

CLIENT: Mr & Mrs Rattan

SITE: 33A Ickenham Road  
Ruislip  
Middx  
HA4 7BZ

DETAIL: EXISTING ROOF & ELEVATIONS

DRAWING No: 2021-Ickenham-P6-01

DATE: 24th Mar 2021

REV:

SCALE: 1:100

A3

DRAWN BY: SC