

Design & Heritage Statement

7 Nicholas Way

Northwood, Hillingdon, Greater London, HA6 2TR

March 2025

Simon Knight Architects



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1.0 Introduction

1.0 Introduction

7 Nicholas Way is a detached house with separate double garage and 2no. rear garden outbuildings within the Copse Wood Estate of Northwood.

Simon Knight Architects have been appointed by the property owners to explore design options to extend and refurbish their existing home, which is in need of updating.

This document forms part of a detailed application for the property and has been prepared to accompany the planning drawings and surveys in order to better describe the site and its context, document the design process we have embarked upon and provide additional information and context to our proposals.

We are a RIBA Architectural Practice based in the heart of St Albans and pride ourselves in delivering high quality architectural design that is sensitive to its historic context, but contemporary in design.

We look forward to working pro-actively with the planners to achieve a high quality piece of architecture within the Copse Wood Estate Area of Special Local Character.



Main House Rear Elevation

2.0 Site & Existing

2.1 Site Location

7 Nicholas Way
Northwood
Hillingdon
Greater London
HA6 2TR

7 Nicholas Way is situated in the London Borough of Hillingdon in North West London. The house is part of the Copse Wood Estate within the suburb of Northwood which is bordered by the Ruislip Woods National Nature Reserve.



2024 - Google Maps

2.0 Site & Existing

2.2 Site History

The suburb of Northwood was previously part of the ancient parish of Ruislip on the boundary between Middlesex and Hertfordshire.

The Copse Wood Estate in Northwood was previously part of 'The Great Common Wood' which was a large area of woodland to the north of Ruislip.

In 1608 there was a major clearance of the Common Wood by the 1st Earl of Salisbury, when 568 acres of woodland was felled and the oaks sold for £4000.

The remaining woodland which was predominantly made up of Coppiced Hornbeam was then enclosed and designated as 'Copse Wood'. This enclosure of the land stopped tenants being able to exercise their common rights on this area of land, but they were still able to graze their livestock to the south in Ruislip Common.

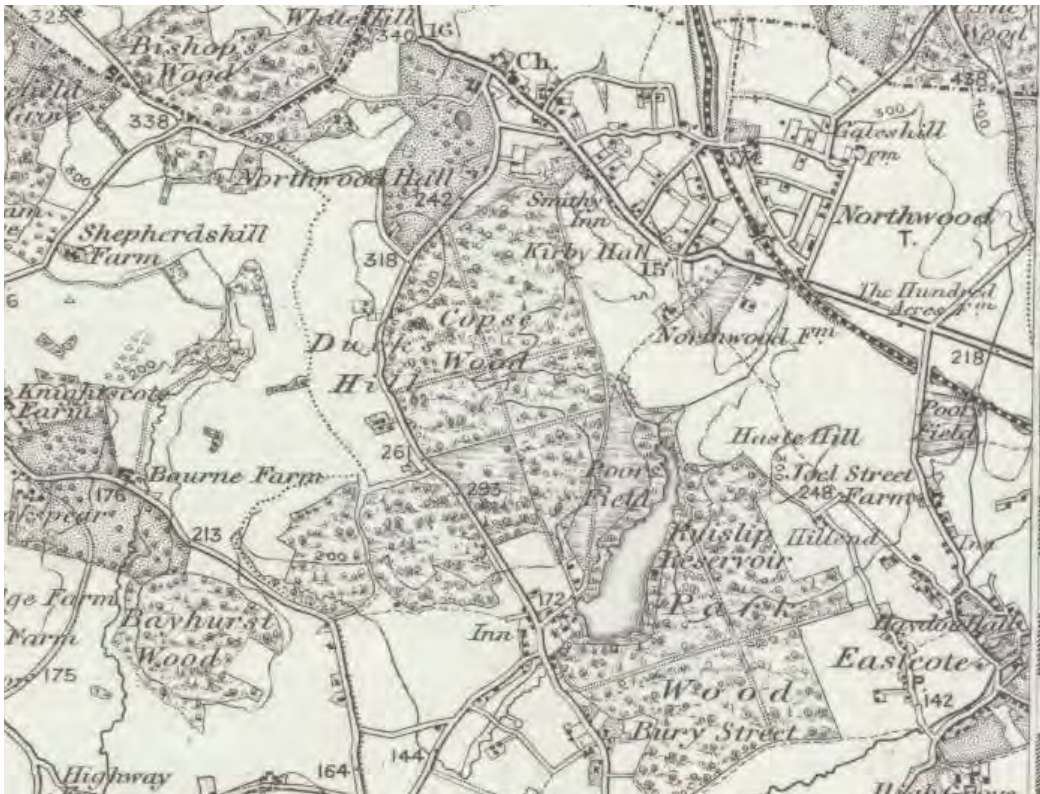
In the 1920s, the Copse Wood Estate began to be built and has developed slowly throughout the 20th Century to what can be seen today.

It remained as part of Ruislip, Middlesex until 1965 when it was then incorporated into the Borough of Hillingdon in Greater London.

The adjacent maps show the gradual development of the estate and the retention of the woodland to the south.



1872 - Old Maps Online



1893 - Old Maps Online



1938 - Old Maps Online



2024 - Google Maps

2.0 Site & Existing

2.2 Site History cont

Although development started in the Copse Wood Estate in the 1920's, the site of 7 Nicholas Way was still undeveloped in 1935. However a number of the plots surrounding 7 Nicholas Way were developed by then, with what we now know as Nos 3, 8, 10, 12, 15 and 17 Nicholas Way all showing properties built within large plots - albeit not in the same form as can be seen today.

By 1938, a building can be seen to the north of the site (now No.5 Nicholas Way), with a later 1938 map showing the subdivision of the plot and the first sign of development at 7 Nicholas Way. This shows a relatively small property in a different orientation and setting to the rest of the properties on the street which follow a more regular pattern and density along the streetscape.

Neighbouring plots show large, wide fronted properties set back from the road with large gardens at the rear, whilst the property at 7 Nicholas Way is tight up against the plot boundary and is orientated by 90 degrees from the street.

However by 1959, more detail can be seen to show further development of the building at 7 Nicholas Way to enlarge the building to meet the frontage of the neighbouring properties and widen the presence of the house on the street, however it is still offset towards its northern boundary unlike its neighbours. There is also a small outbuilding present on this map, set back into the plot.

Sometime after 1965, the plot was further subdivided and 9 Nicholas Way was built on the neighbouring land to continue the housing pattern along the street.



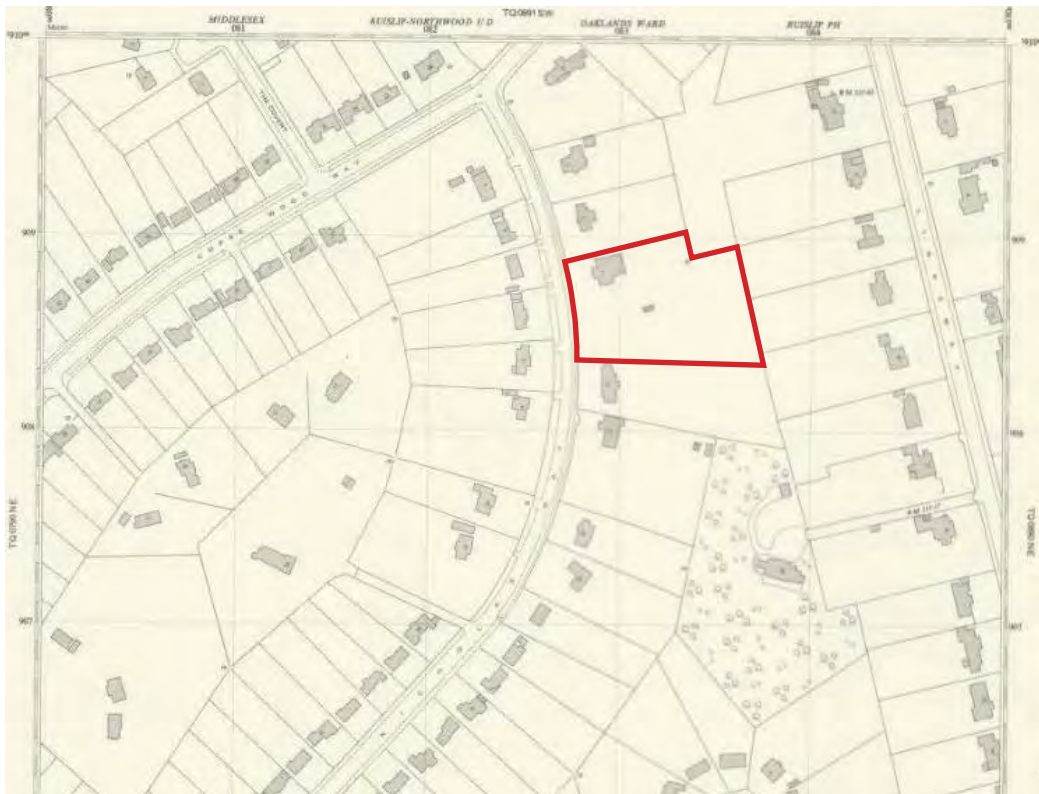
1935 - Old Maps Online



1935 map revised and published in 1938 - Old Maps Online



1938 - Old Maps Online






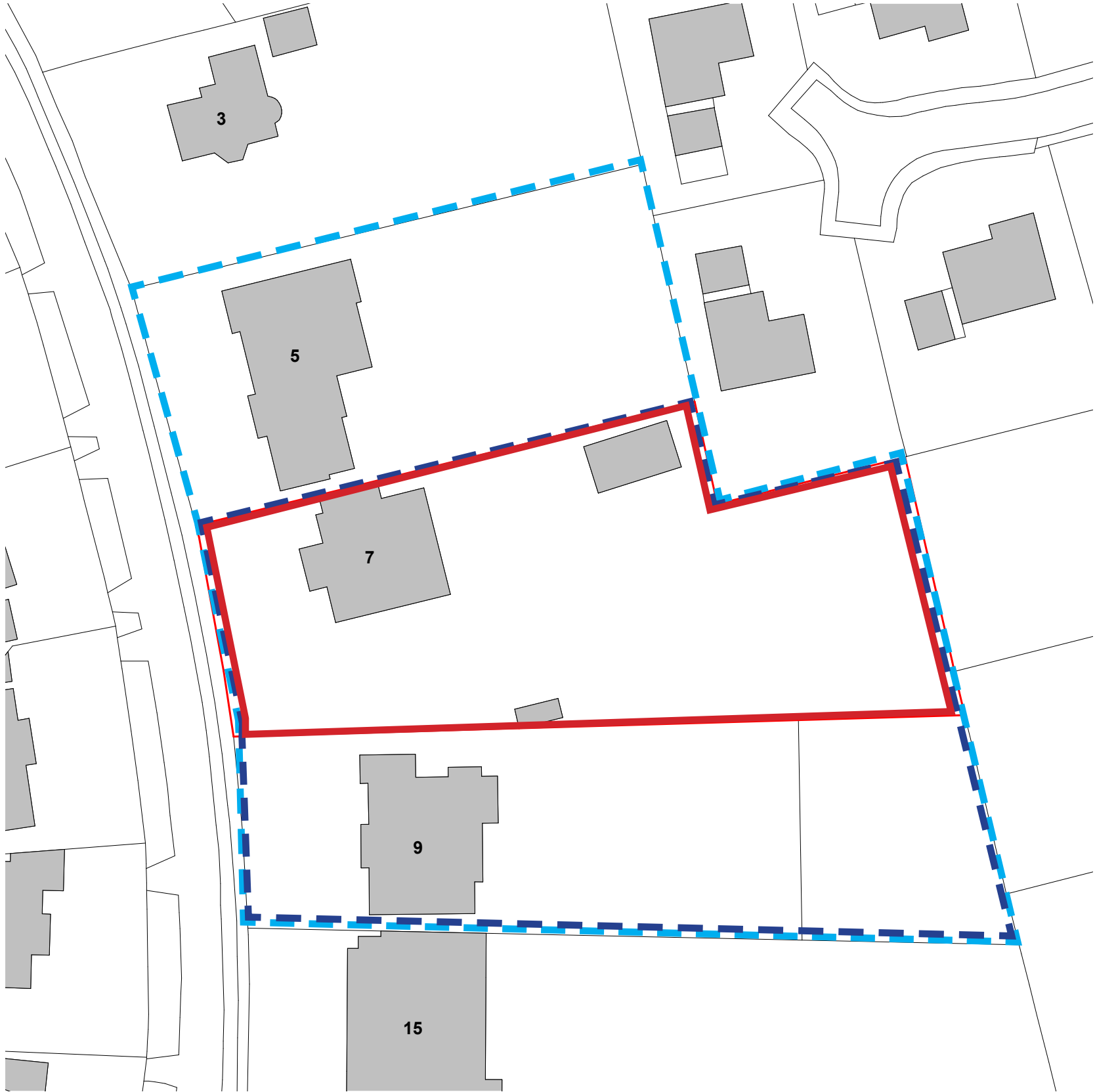
1959 - Old Maps Online

2.0 Site & Existing

2.2 Site History cont

This diagram illustrates the different subdivisions of the plot around 7 Nicholas Way from 1935 to present day.

-  Original plot as shown in 1935 OS Map
-  Reduced plot following subdivision to allow for 5 Nicholas Way
-  Further reduction of the plot to present day extents to allow for 9 Nicholas Way



2024 - OS Map

2.0 Site & Existing

2.3 Heritage Designations

Although Copse Wood Estate is not part of a Conservation Area, it is one of fourteen Areas of Special Local Character in the Borough of Hillingdon.

These areas are chosen on the basis of local architectural townscape or historic merit and being part of an Area of Special Local Character imposes certain development management policies.

The London Borough of Hillingdon Local Plan Part 2 - Development Management Policies 2020, Policy DMHB 5: Areas of Special Local Character states that;

'Within Areas of Special Local Character, new development should reflect the character of the area and its original layout. Alterations should respect the established scale, building lines, height, design and materials of the area.'



Extensions to dwellings should be subservient to, and respect the architectural style of the original buildings and allow sufficient space for appropriate landscaping, particularly between, and in front of, buildings.

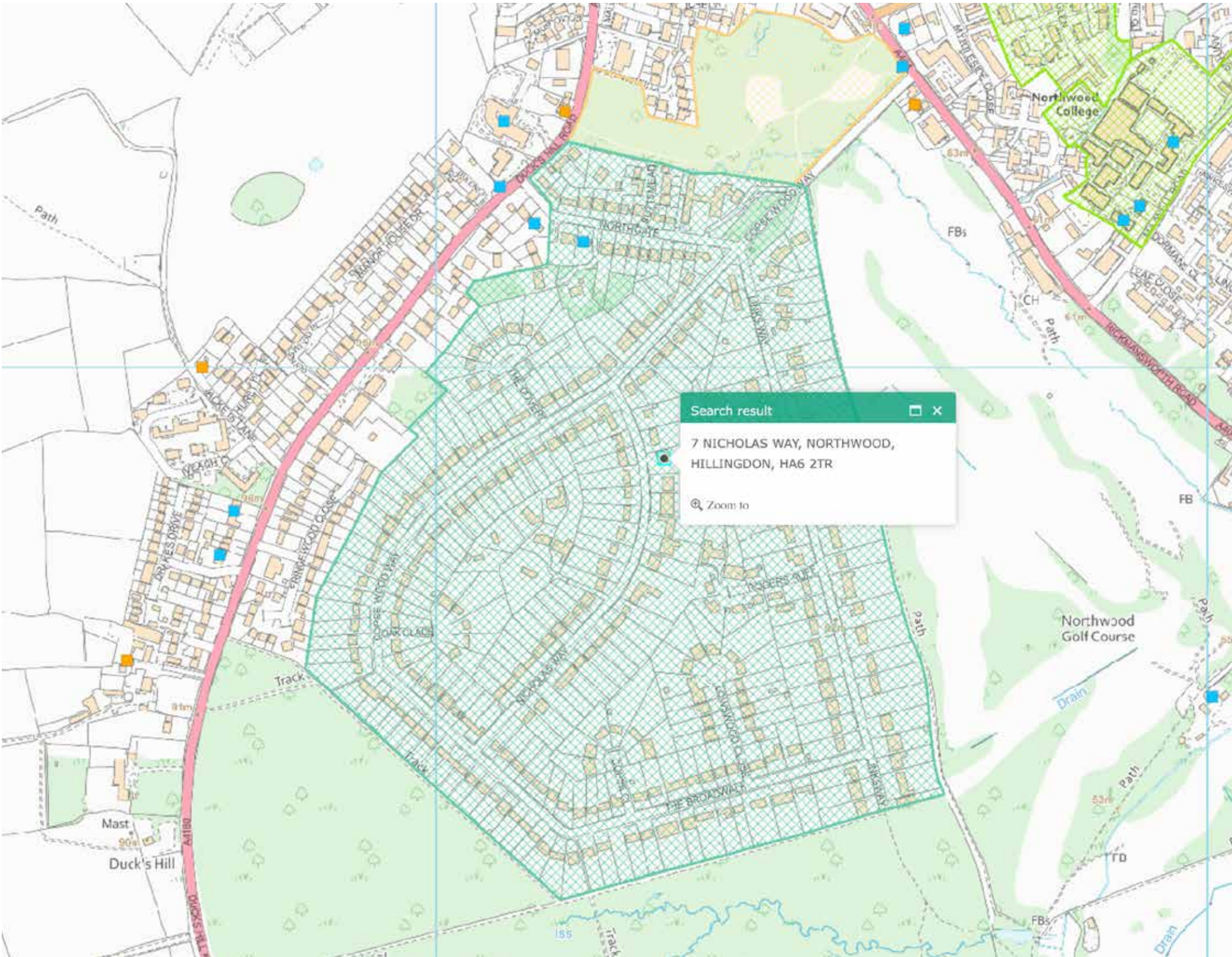
The replacement of buildings which positively contribute to the character and local importance of Areas of Special Local Character will normally be resisted.'

Furthermore, it notes that development in the Copse Wood Estate in Northwood will be expected to conform to the vernacular styles predominant in the area, have traditional roof forms and architectural features and relate appropriately to their landscaped settings.

Within the Area of Special Local Character is one locally listed property and the closest listed buildings are; The Cottage, 58 Ducks Hill Road and 12 Jackets Lane which are both Grade II listed.

It is not considered the location of 7 Nicholas Way is close enough to any of the listed properties as indicated on this map to have any impact on their significance or local setting.

-  Locally Listed Buildings
-  Listed Buildings



London Borough of Hillingdon - Area of Special Local Character Map

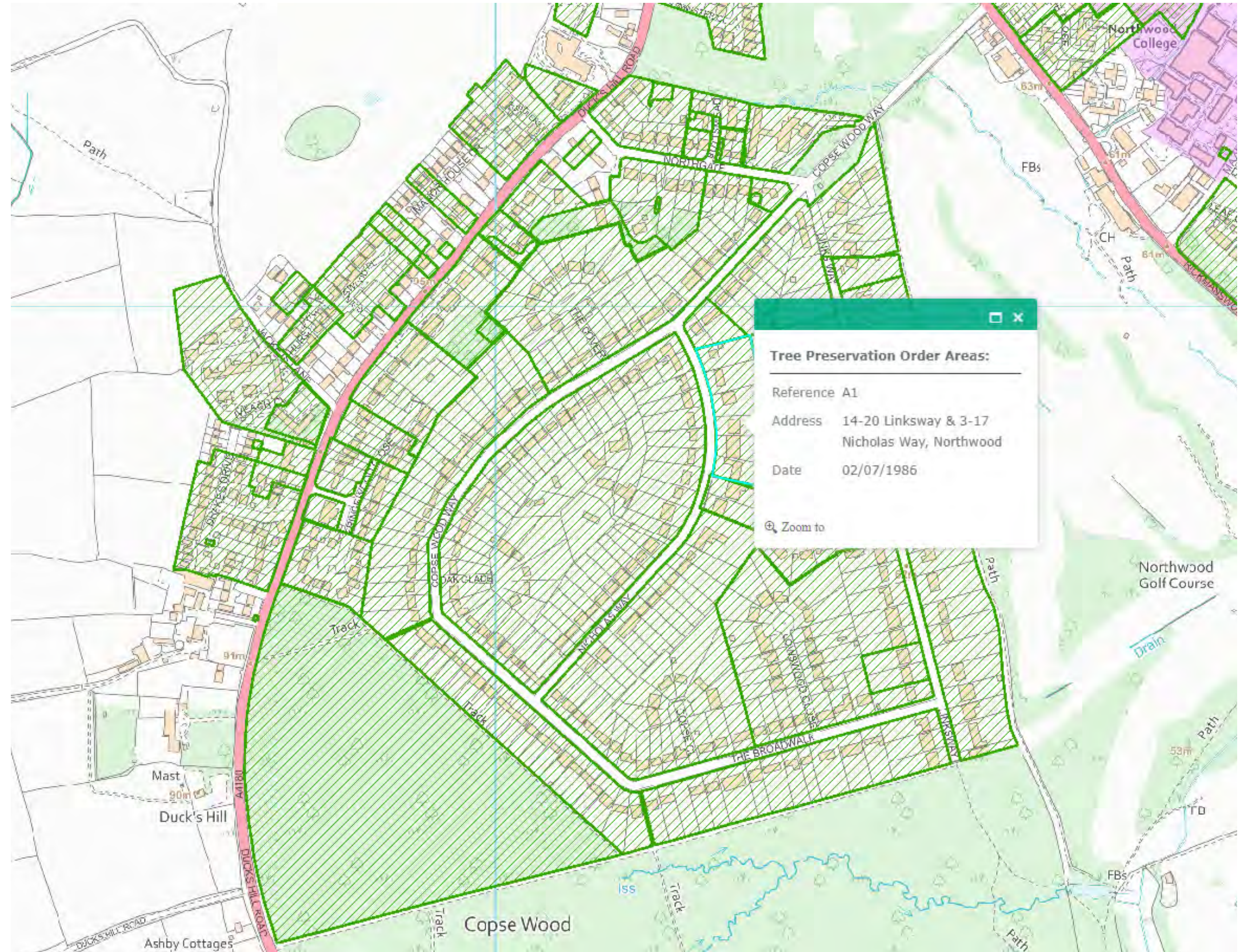
2.0 Site & Existing

2.3 Heritage Designations cont.

Policy DMHB 6 goes onto further specify that new houses should;

- i) be constructed on building plots of a similar average width as surrounding residential development;*
- ii) be constructed on a similar building line (formed by the front main walls of existing houses) and be of a similar scale, form and proportion as adjacent houses and reflect the materials, traditional roof design, design features and architectural style predominant in the area;*
- iii) ensure that boundary treatment is unobtrusive and of the natural materials appropriate to the character and appearance of the estate;*
- iv) ensure that new dwellings retain an absolute minimum of 1.5m distance to side boundaries;*
- v) preserve the mature trees including boundary planting to reinforce existing landscaping and Estate settings;*

In addition to the above, 7 Nicholas Way is covered by a Tree Preservation Order Area - Reference A1 which covers 3-17 Nicholas Way and 14-20 Nicholas Way, Northwood. Therefore all mature trees within the area are protected from unauthorised removal, topping, lopping and uprooting



London Borough of Hillingdon - Tree Preservation Order Map

2.0 Site & Existing

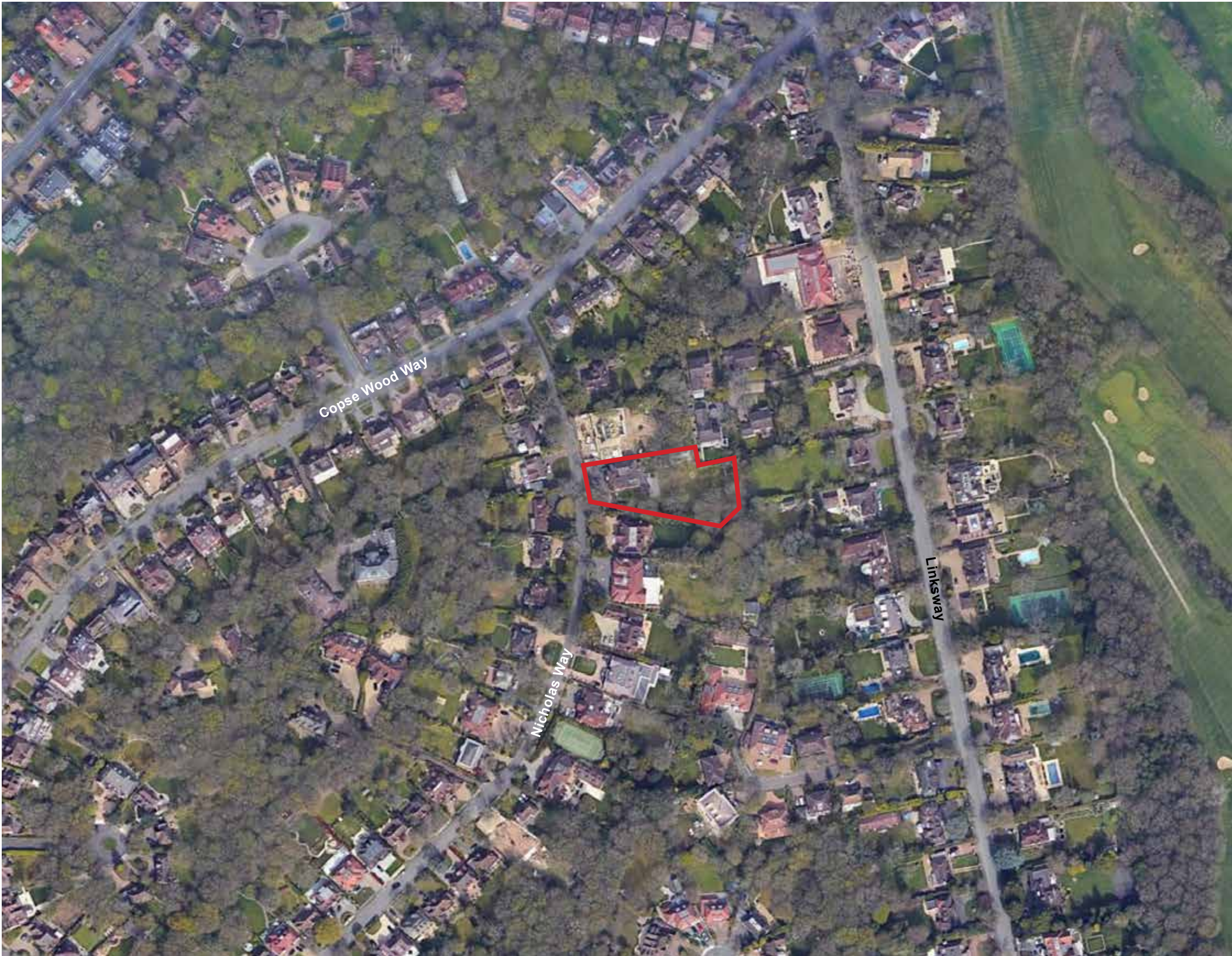
2.4 Site Description

The existing property at 7 Nicholas Way is a large detached house with a generously sized garden off a private road. Despite its size, the house is relatively small when compared to the other properties on Nicholas Way, especially when considering its larger plot size.

The context is typified by very large houses on spacious plots, with mature landscaping both within the plots and along the sides of the highway.

The houses in the area exhibit a wide range of styles and design features and a significant number of properties have crown roofs of varying sizes. 7 Nicholas Way displays an example of one of these crown roofs.

— Site Boundary



Google Maps - Satellite Image

2.0 Site & Existing

2.4 Site Description cont.

The Copse Wood Estate Area of Special Local Character features a wide range of architectural styles, with a mix of modern contemporary design amongst more traditional styled properties.

14 Copse Wood Way and 20 Links Way demonstrate recently granted local precedents for using traditional materials in a more contemporary manner to achieve a design that is true to the current period of construction.

Whilst the style and form of all properties within the Area of Special Local Character vary considerably, a few common elements can be found;

- Use of clay roof tiles
- Pitched roofs to the front elevation
- Asymmetric form and geometry
- Wide frontage properties set within deep plots with mature landscaping
- Elements of soft landscaping at the front to define driveways from the pavement / roadside

These common elements can be seen in the existing 7 Nicholas Way property and will be carried through in the proposals for the house to ensure cohesion with the local vernacular and wider Area of Special Local Character.



14 Copse Wood Way - Contemporary use of red brick and render with clay tiled roof and large glazed elements



14 Copse Wood Way - Contemporary use of render, modern dormers and flat roof extension to rear



48 Nicholas Way - Mock tudor gable front, red clay tiles and render / brick defining storeys



20 Links Way- Front View - Contemporary use of render with modern glazing puncturing elevation



20 Links Way- Contemporary render and large glazed elements



Copse Wood Way - Angular gables and asymmetric form with pale red brick



6 Nicholas Way - Timber frame appearance with painted brick / render finish throughout. Wide frontage filling full plot size



5 Nicholas Way - Modern traditional style with crown roof and central gable in brick with stone detailing

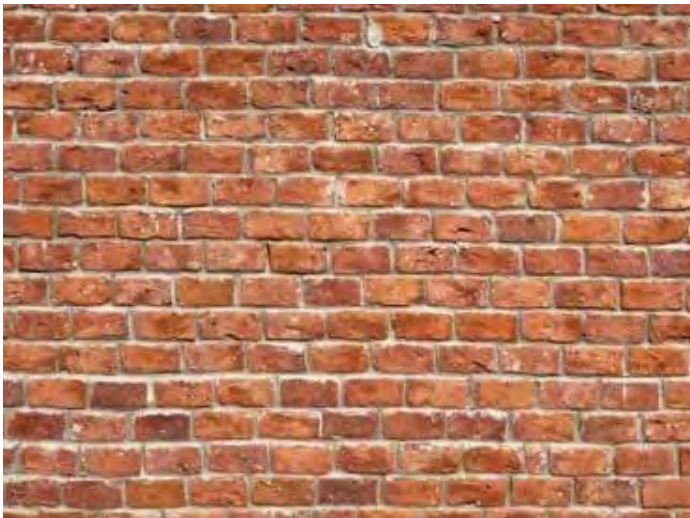


106 Copse Wood Way - Asymmetrical form with large dormers and central gable

2.0 Site & Existing

2.4 Site Description cont.

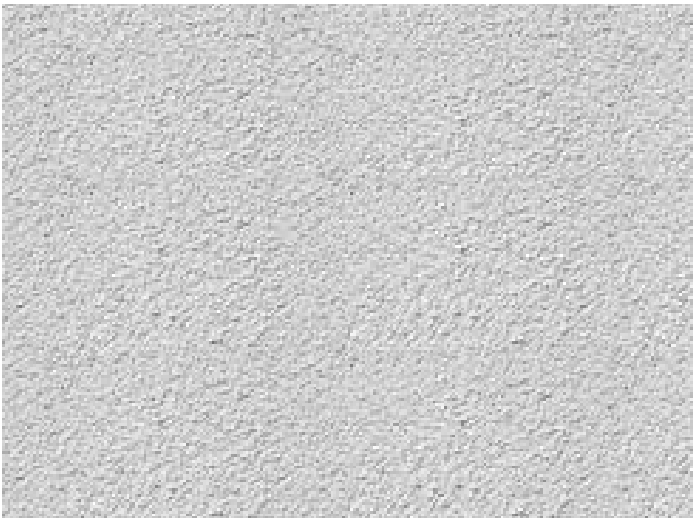
Local use of materials and architectural features



Red brick



Red / brown clay roof tiles



Render



Gable Front with Rendered Elements



Dark metal roof trims



Combination of contrasting materials



Dark Metal Garage Doors



Natural Stone Detailing / Trims



Crown Roofs

2.0 Site & Existing

2.4 Site Description cont

7 Nicholas Way is clad entirely in red brick that is showing clear areas of weathering and deterioration. It features 3no. brick chimneys that extend through the dark brown clay tiled crown roof and each chimney has a simple corbelled brick detail at the top.

Several of the larger windows around the property feature a splayed gauged arched brick detail, with pale cream protruding keystones, however the detailing of these are poorly executed and they are not well bedded into the surrounding brickwork.

There is an uneven tarmac driveway leading from the roadside to a mock Georgian portico, with doric style painted white columns with a lead roof covering which is showing signs of buckling and poor bedding into the masonry grouting. A large black metal lantern currently hangs from the central arch, with brown stained timber glass doors to form a small draught lobby at the front entrance.

The windows throughout are generally white painted timber frames with leaded glass style panes and the rainwater goods are predominantly black uPVC. The existing windows offer poor thermal performance and are in need of updating.

There are two small extensions to the rear of the property which feature different window styles and an alternative brick window header detail, which are not cohesive with the rest of the property.



Front Elevation Portico



Rear Elevation



Front Elevation from Nicholas Way



Existing Outbuilding

2.0 Site & Existing

2.4 Site Description cont

There is a separate double garage building that fronts the property which is in a poor state of repair, with a failing corrugated metal roof and precast concrete panelled walls which are not inkeeping with the local material palette and character.

The property also has two further outbuildings at the rear which are dilapidated and of poor construction quality. These are proposed to be carefully removed and replaced with a single outbuilding which is covered under a separate application - **16461/APP/2024/2299**.

Overall the property is a mix of architectural styles from a range of historic periods and is not a refined architectural example within the locality.

Our proposal seeks to consolidate the architectural styles of the building to improve the overall look of the property, whilst extending its ground floor footprint to improve the functionality of the home and create a more cohesive link between the main house and its ancillary buildings and landscape.



Front Elevation / Garage



Garage building from rear garden



Existing outbuildings



Existing outbuildings

2.0 Site & Existing

2.4 Site Description cont

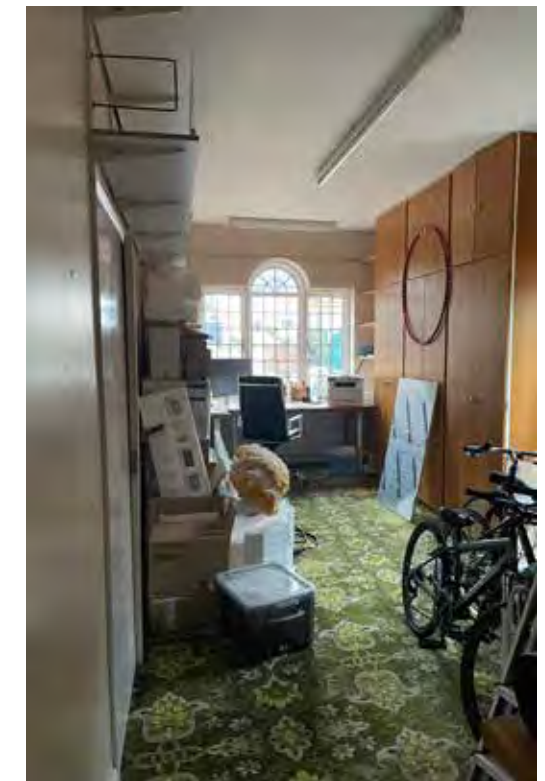
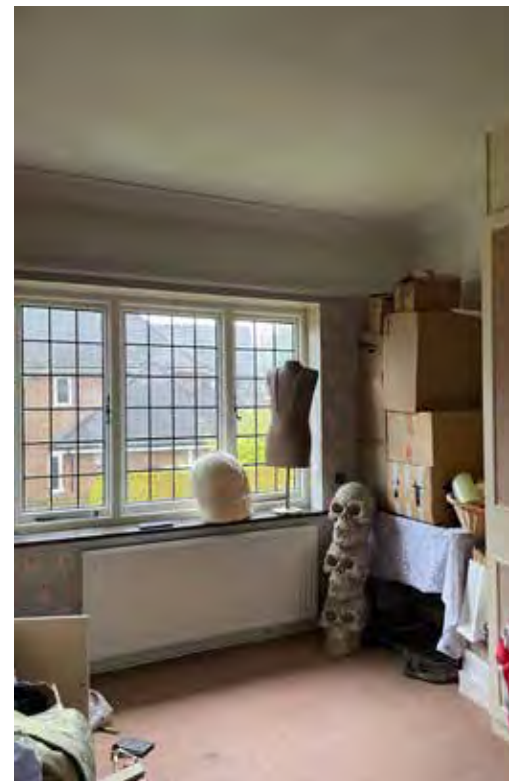
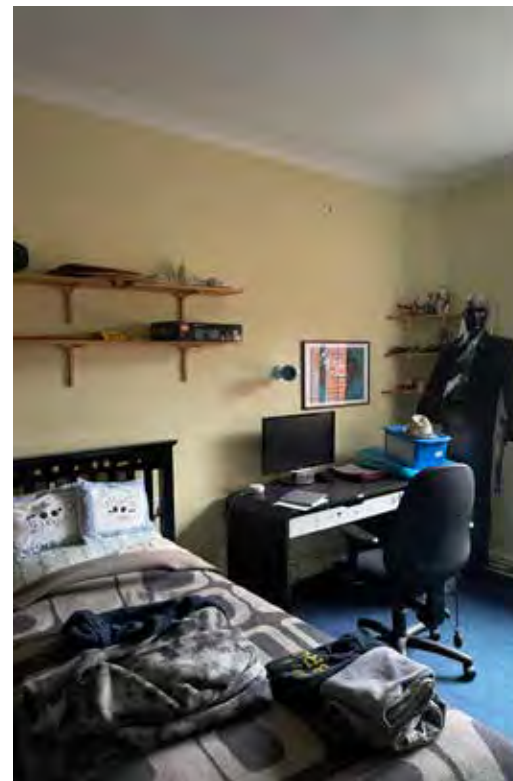
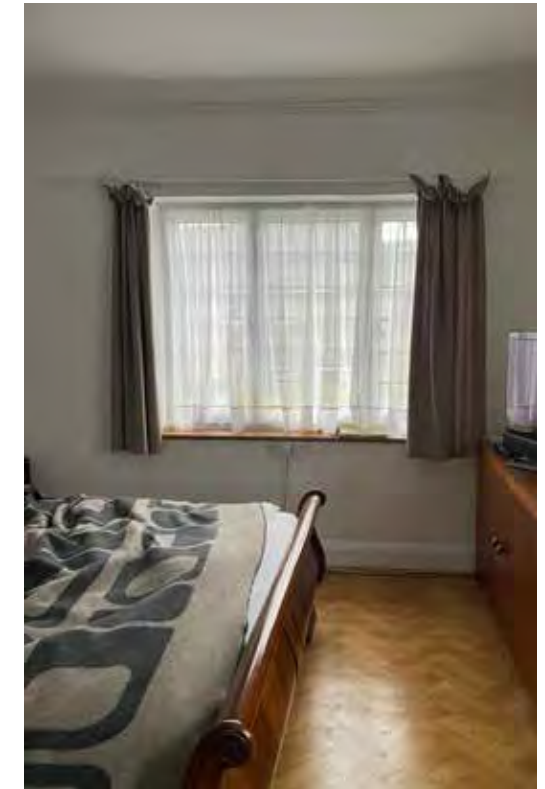
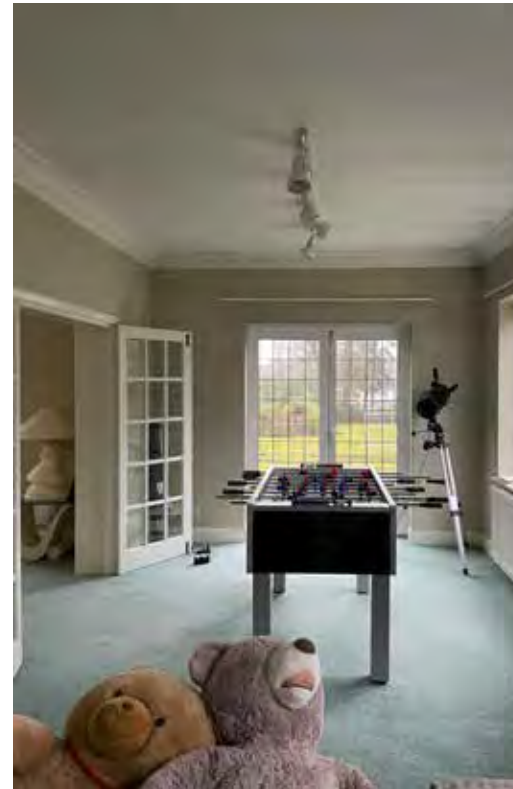
The interior of 7 Nicholas Way is dated and in need of refurbishment. The current kitchen is disproportionately small for the house and protrudes from the rear elevation into a small single storey flat roof extension. The fenestration of this extension is not inkeeping with the rest of the property and forms an awkward addition to the rear elevation.

There is another single storey rear extension that forms a games room which is more appropriate in its form, however the brick detailing and window styles have been executed in a way that attempts to tie in with the rest of the house but in a more crude way.

The external landscaping also sits quite uncomfortably within its context and one of the aims of the refurbishment and extension works will be to create a softer link between the building and its natural surroundings.

The large existing entrance and staircase is a great feature of the house, but its current arrangement does not allow for efficient circulation and functionality of the house.

The existing stained glass windows to the upper landing of the stairs are also not inkeeping with the period or architectural style of the property or its locality and as part of the works are proposed to be simplified and modernised.



2.0 Site & Existing

2.4 Site Description cont

To the rear of the main house is a large area of hardstanding which was formerly a swimming pool. It has now been covered with concrete pavers, 4 steps lower than the patio area which forms the immediate curtilage of the house.

Our proposal seeks to remain largely within the extents of this hard landscaping at the rear and avoid extending any further into the rear depth of the garden.



Overlaid swimming pool patio



Existing outbuilding



Existing outbuildings and overlaid swimming pool patio



Existing Side Elevation and newly constructed No.5 Nicholas Way

2.0 Site & Existing

2.5 Planning History

16461/APP/2013/1205 Withdrawn (P)

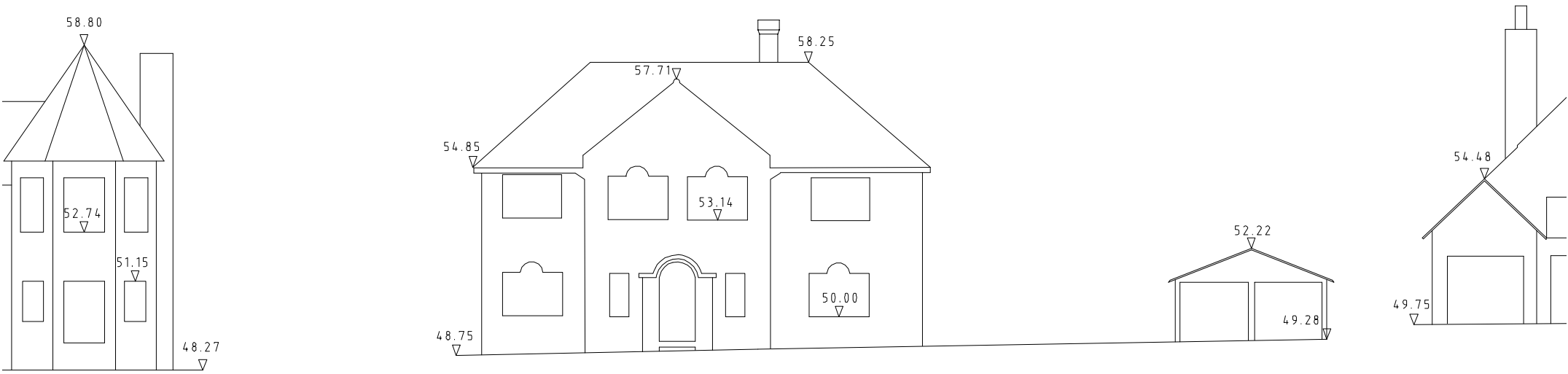
There have been previous applications on the site for new build houses, two of which were refused and one of which was approved.

Below is the extract from the decision notice for this 2013 application:

“1. The proposed development, by reason of its bulk, depth, width, classical design and crown roof would be an incongruous addition to the streetscene and would cause harm to the character and appearance Copsewood Estate Area of Special Local Character. The proposal is, therefore, contrary to Part 1 Policy BE1 and Part 2 Policies BE5, BE13 and BE19 of the Hillingdon Local Plan (November 2012).

2. The proposal would, by reason of the loss of two protected Oak trees, result in harm to character and appearance of the Copsewood Estate Area of Special Local Character. The proposal is, therefore, contrary to Part 1 Policy BE1 and Part 2 Policies BE5 & BE38 of the Hillingdon Local Plan (November 2012).

3. The applicant has failed to provide contributions towards the improvements of services and facilities as a consequence of demands created by the proposed development (in respect of education facilities). The scheme therefore conflicts with Policy R17 of the Hillingdon Local Plan (November 2012) and the Council’s adopted Supplementary Planning Guidance on Planning Obligations.”



AS EXISTING



AS PROPOSED

2.0 Site & Existing

2.5 Planning History cont

16461/APP/2013/3160 **Appealed**

Below is the extract from the successfully appealed decision notice for this 2013 application:

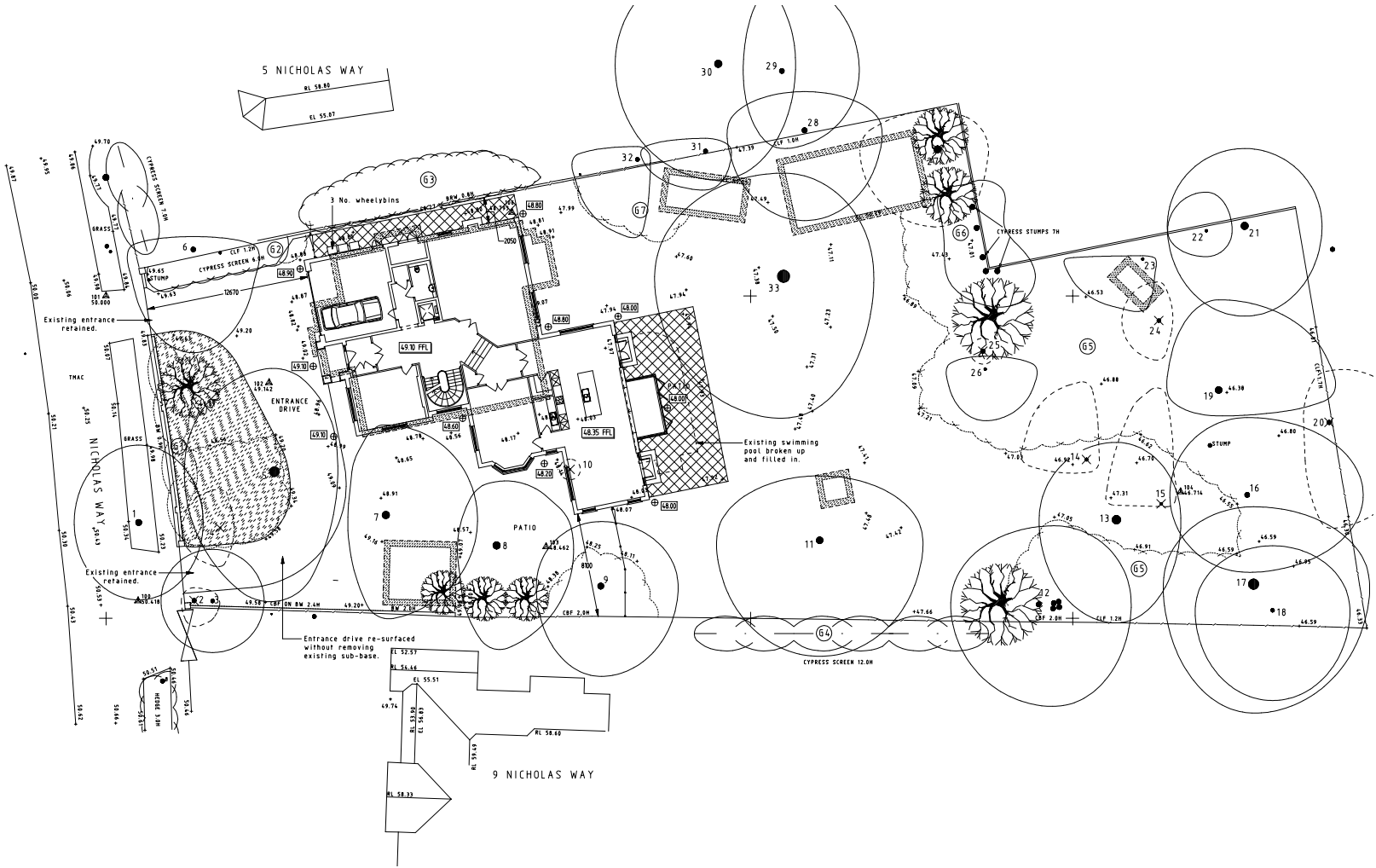
Original Refusal:

“The proposed dwelling, by reason of its overall size, classical design with crown roof and mix of style and designs is considered unacceptably out of keeping with the Area of Special Local Character. It is considered to undermine the reason for its designation as an Area of Special Local Character and the applicant has failed to comply with all 16 Lifetime Home Standards.

However, the porch with a flat roof and the design, in terms of balls, quoins and soffits would not relate to the character of the Copsewood Estate. The single storey rear element, in relation to the two storey rear element would be an incongruous addition, unrelated to each other by way of design and style, with the single storey element unacceptably spreading away from the main bulk of the building. The classical style with a crown roof, four two-storey brick quoins, ornate window heads and large windows on the first floor would fail to adhere to any of the design principles which are prevalent on the Copsewood Estate. As such the classical design of the proposal is inappropriate for a vernacular style house and is considered to cause unacceptable harm to the visual amenities of the Copsewood Estate and would be contrary to Policy BE5, BE6, BE13 & BE19 of the Hillingdon Local Plan (November 2012).”

Appeal Decision

“In conclusion on this case, I find that the proposed house, by virtue of the subservient nature of its side and rear extensions, would not appear overly bulky or be out of scale with the general tone of the area along this part of Nicholas Way. Furthermore, its design, including its crown roof, would not appear out of character with its surroundings. Finally, the siting and design of the house would have no significantly harmful effect on the protected trees within the site, and thus would not be detrimental to the generally wooded appearance of the area.”



2.0 Site & Existing

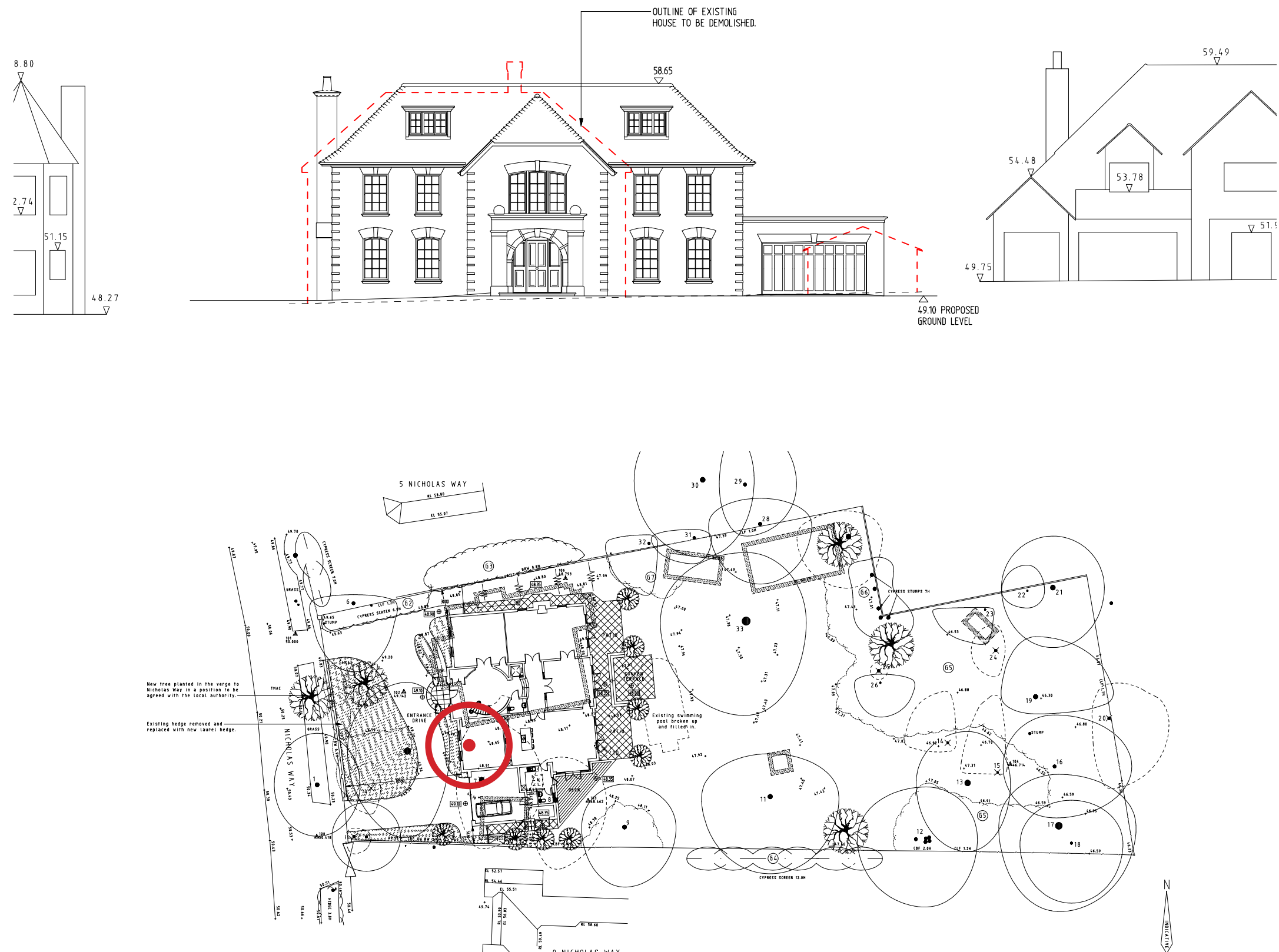
2.5 Planning History cont

16461/APP/2014/2077 Refusal

Below is the extract from the decision notice for this 2014 application which was refused:

The proposal makes inadequate provision for the retention, protection and utilisation of the protected trees of merit on the site. The proposal would therefore be detrimental to the visual amenity and arboreal/wooded character of the street scene and the wider Copse Wood Estate Area of Special Local Character, contrary to policies BE19 and BE38 of the Hillingdon Local Plan: Part Two - UDP Saved Policies (November 2012).

Two trees (Oaks T7 & T8) have been classified as C grade trees and have been shown to be removed to facilitate development.



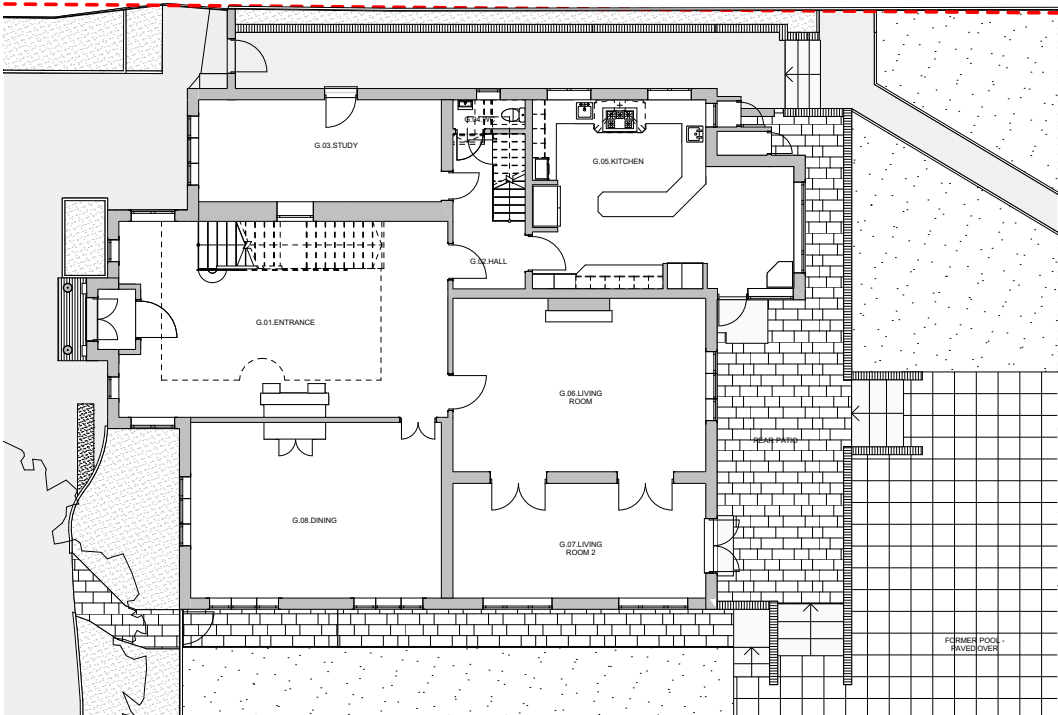
2.0 Site & Existing

2.5 Existing Drawings

In order to gain a comprehensive understanding of the existing building and its setting, a full measured survey and arboricultural survey has been commissioned for the site.

The adjacent existing floor plans were produced which illustrate the disjointed nature of the existing house.

Although there is a large central circulation space, there is no direct connection between the main living spaces which has resulted in a disconnected layout which is not conducive to modern family living. Previous extensions have been added to the rear and side in an ad-hoc manner, with no thought towards the overall impact on the house, which has further reduced the quality of the spaces internally.



Ground Floor Existing



First Floor Existing



Front Elevation Existing



Side Elevation Existing



Rear Elevation Existing



Side Elevation Existing

3.0 Design Development

3.1 Initial Proposals

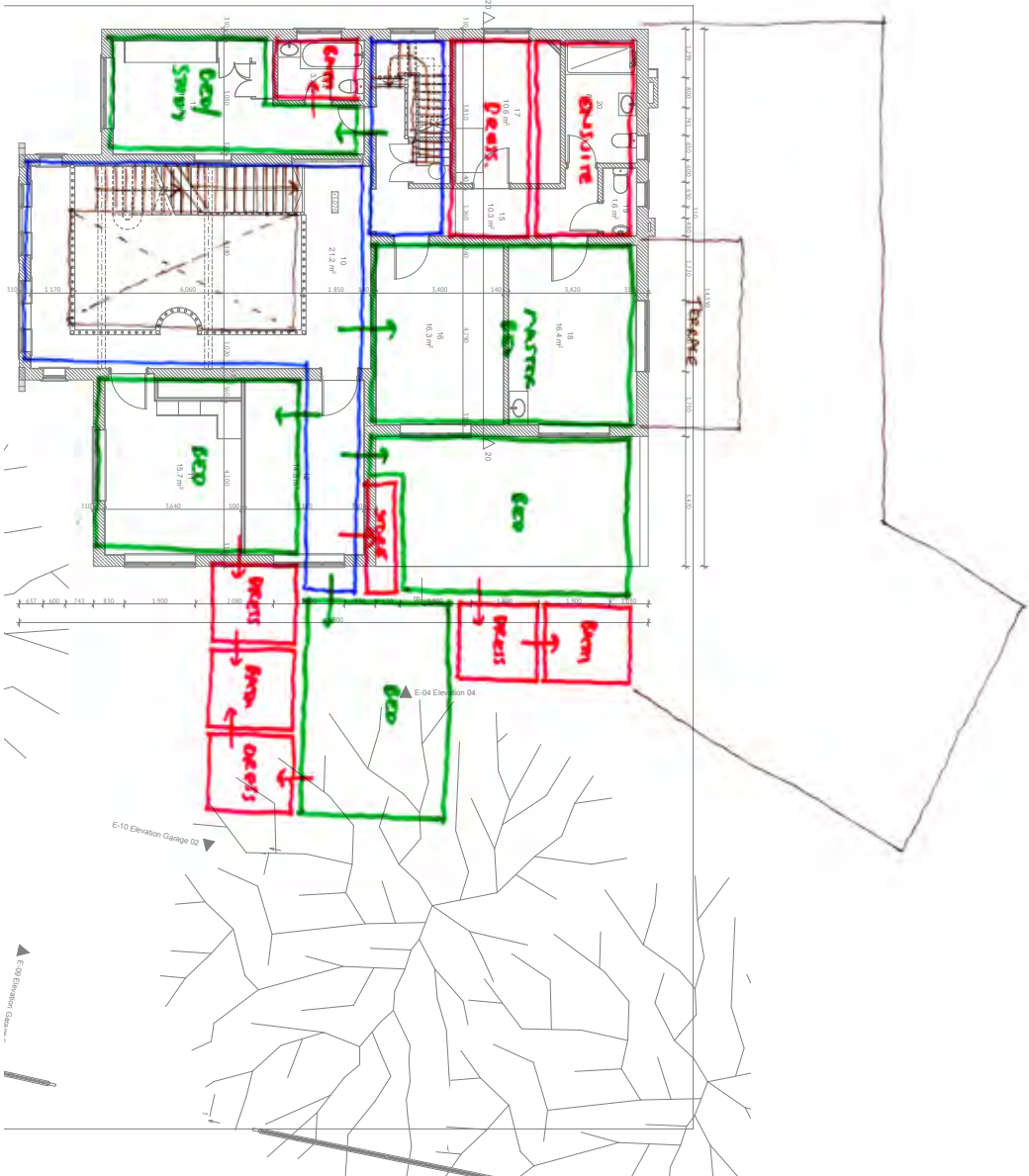
A variety of options have been explored in 2D and 3D which have included a two-storey side extension as well as more sensitive single storey rear extensions.

It was decided that a two storey side extension made the property feel too large and visually intrusive to the streetscape. Therefore an infill extension to the rear of the first floor only is proposed to consolidate the overall form of the property, with the addition of a further single storey rear extension to improve the internal layout and functionality of the property.

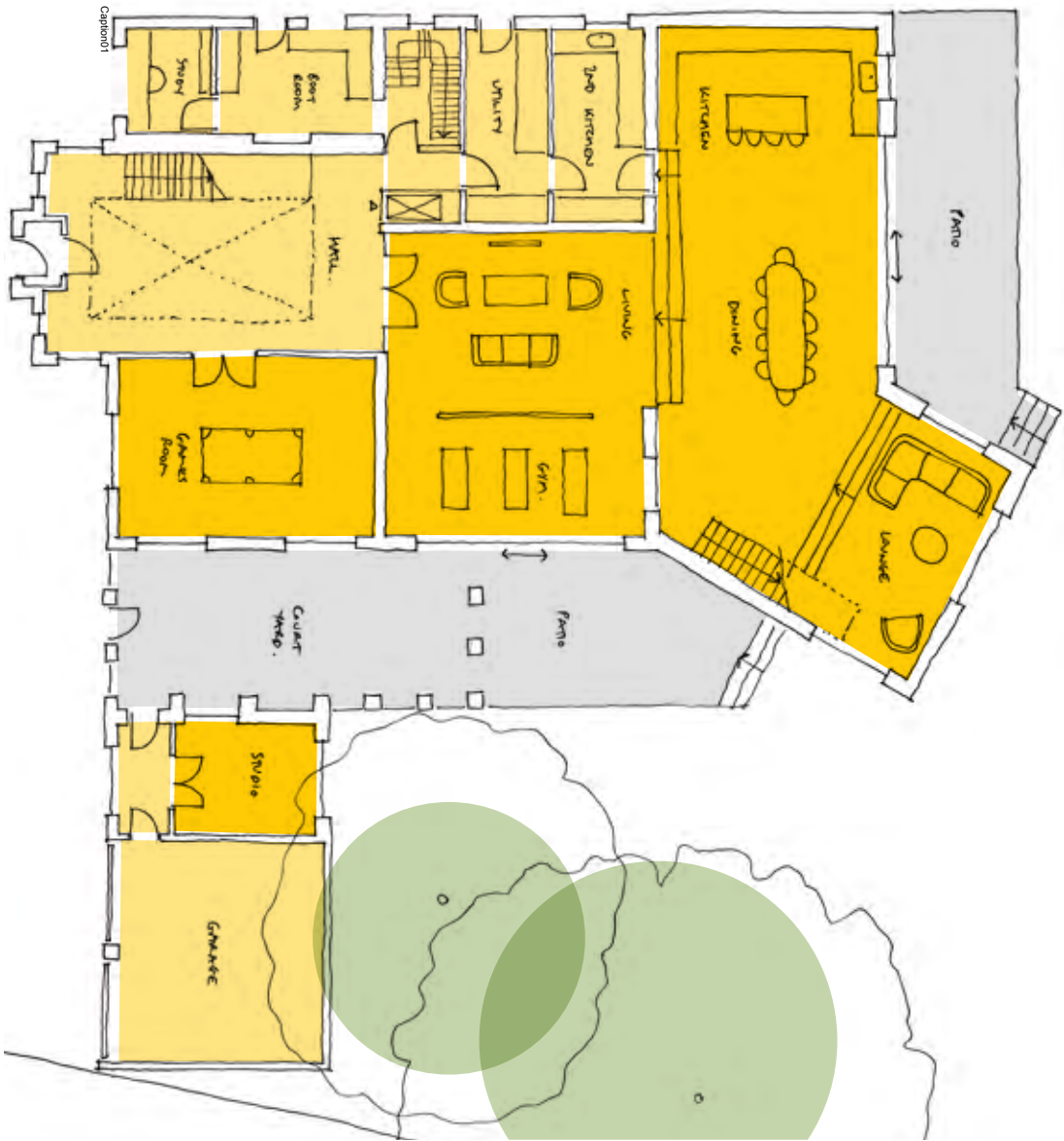
The plan also developed from having an integrated garage to a standalone building similar to the existing scenario.

A preferred design was then prepared for presentation to the Planning Department for Pre Application Advice which included the following key features;

- Colonnaded frontage wrapping around the building and continuing through to the rear extension
- Alterations to the existing roof to form a gable end on the front elevation with apex glazing
- Double garage with studio space as standalone building linked via colonnade
- Rear extension to provide open plan living space with angled element to direct views down the full extent of the garden
- Rear and side patios with altered existing openings from side of property to open the building up to these external spaces



Initial Sketch Diagrams

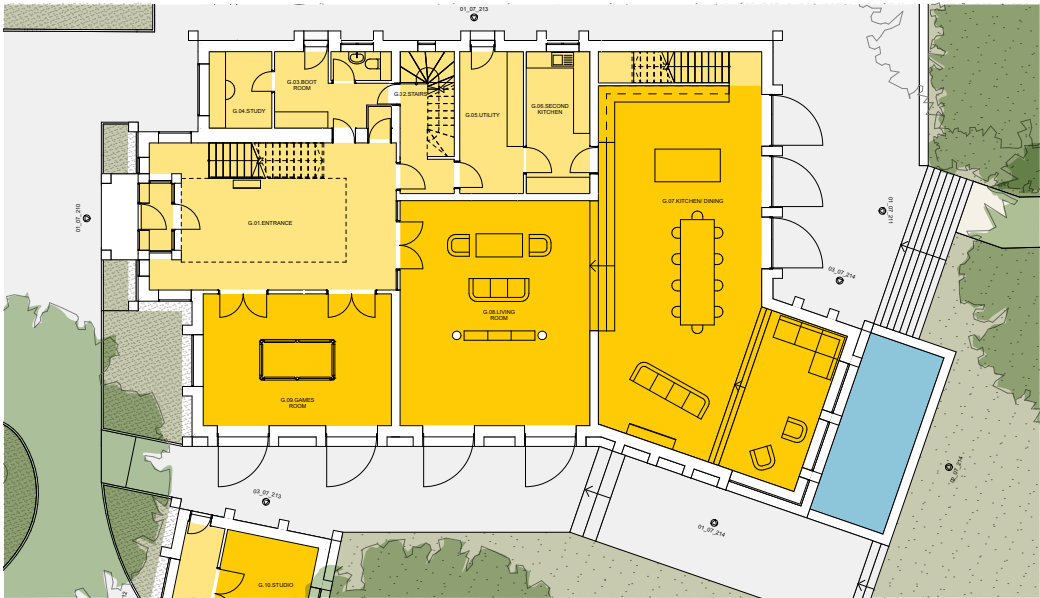


Developed Sketches

3.0 Design Development

3.2 Pre-Application Proposals

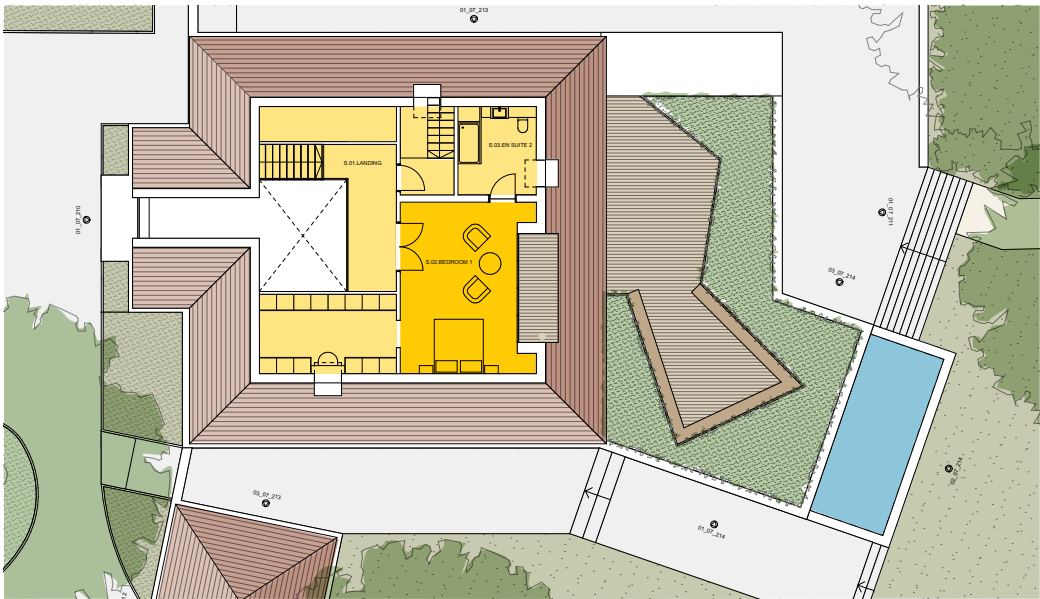
The adjacent plans show the proposals presented to the Planning Department as part of the Pre-Application Advice Consultation.



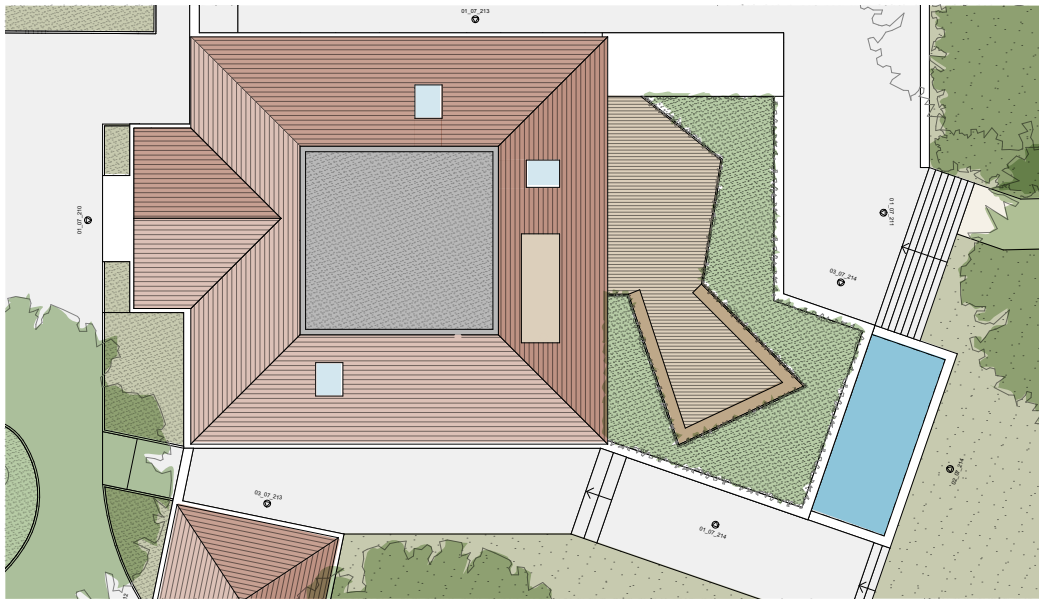
The proposed ground floor layout creates a better link from the hallway atrium through to the living spaces. The ancillary amenity spaces are generally kept to the north side where the existing plumbing and drainage is located. Large doors open out to physically connect with the new landscaping. The new extension is angled to face the main thrust of the garden. A reflective pool sits at the end of the extension. A new staircase is located behind the kitchen, which gives access to the new roof terrace, whilst also providing a privacy screen to the neighbouring property.



At first floor, the bedrooms have been reconfigured and a small first floor extension added to in-fill the corner and 'square-off' the house. The rear bedrooms have easy access out onto the new roof terrace over the ground floor extension. The main staircase continues to wrap around the atrium space and gives access to the new loft conversion. The second staircase also gives access up to the top floor from this level.



A loft conversion is proposed, which incorporates the new roof to the first floor extension and provides a master suite with dressing and en suite bathroom. The front gable is given a true gable frontage and allows for the atrium to extend through to this floor with vaulted ceiling.



The roof plan shows the new extended crown roof and gable fronted bay. The roof has three new velux-style rooflights and a recessed dormer window with balcony.

3.0 Design Development

3.3 Pre-Application Feedback

This preferred option was presented to Hillingdon Planning Department and formal feedback was obtained. Below is a summary of the feedback and how we have now responded to these where relevant;

Paragraph 134 of the National Planning Policy Framework
'Extension and alteration of an existing residential property is acceptable in principal'

- **Noted. No action required.**

Policy D3 of the London Plan
'Development proposals should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale, appearance and shape. With due regard to existing and emerging street hierarchy, building types, forms and proportions.'

- The local area and neighbouring properties have been researched and key characteristics to be retained or enhanced within the proposal have been identified
- Scale of new build proposals have been reduced.
- Orientation of rear extension has been amended to align with the existing property
- Link between main property and garage building has been omitted to retain existing layout scenario with standalone garage building next to the main house
- Scale of garage building has been reduced with flat roof proposed to reduce presence on street frontage

Policy D4 of the London Plan
'Development should have regard to the form, function and structure of an area, place of street and the scale, mass and orientation of surrounding buildings. It should improve an area's visual or physical connection with natural features. In areas of poor or ill-defined character, development should build on the positive elements that can contribute to establish an enhanced character for the future function of the area.'

- The local area has been researched and key characteristics to be retained or enhanced within the proposal have been identified
- Scale of new build proposals have been reduced.
- Proposals allow for the removal of poor quality rear extensions and outbuildings and overall improvement to the existing property's architectural style and cohesion with its natural environment

Policy BE1 of the Hillingdon Local Plan: Part One
'New developments are to achieve a high quality of design in all new buildings, alterations, extensions and the public realm which enhances the local distinctiveness of the area, contributes to community cohesion and a sense of place'

- **Proposals include locally established architectural features materiality and improves upon the overall current aesthetic of the property**

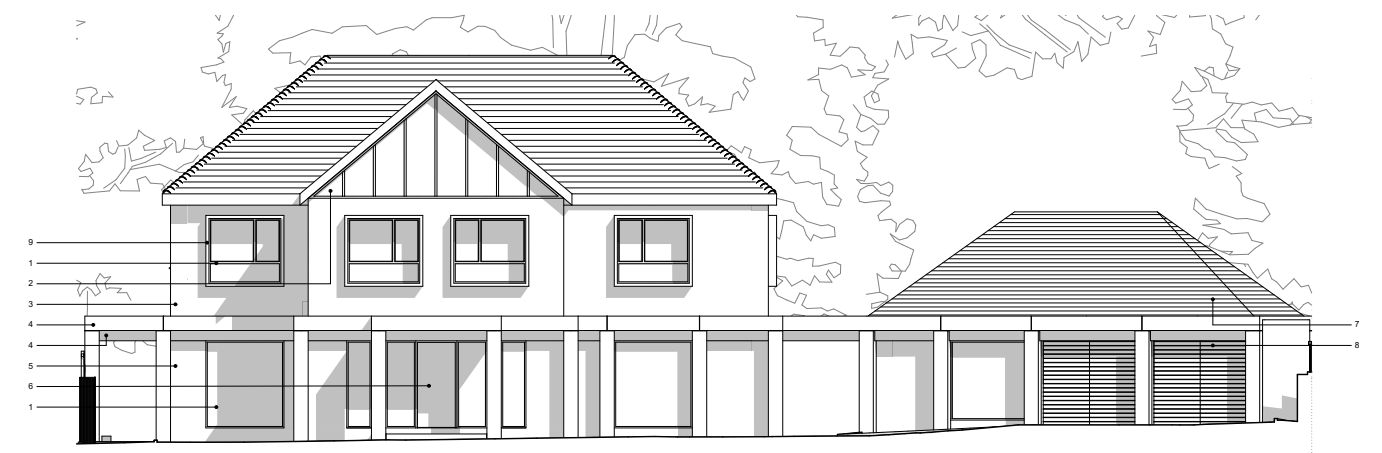
Policy HE1 of the Hillingdon Local Plan: Part One
'The Council will conserve and enhance Hillingdon's distinct and varied environment, its settings and the wider historic landscape (including...Areas of Special Local Character), and encourage the reuse, modification and regeneration of historic assets.'

- **The revised proposal respects and enhances the Copse Wood Area of Special Local Character by removing dilapidated structures and poor quality additions to the property to form architectural cohesion whilst retaining and refurbishing the existing property and its general presence as part of the streetscape**

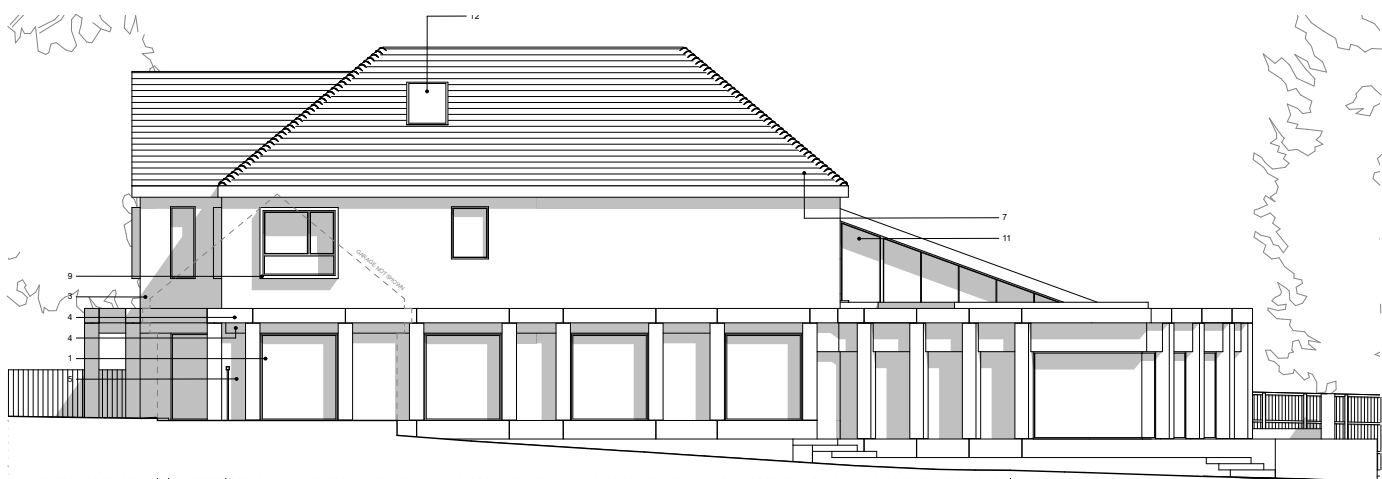
Policy HC1 of the London Plan
'Seeks to conserve and enhance the historic environment and heritage assets. Development proposals affecting historic assets and their settings should conserve their significance, by being sympathetic to the asset's significance and appreciation within their surroundings and avoiding harm.'

Policy DMHB 1 of the Hillingdon Local Plan: Part Two
'The council will expect development proposals to avoid harm to the historic environment and to prevent the loss of significance or harm to the character, appearance and setting of heritage assets'

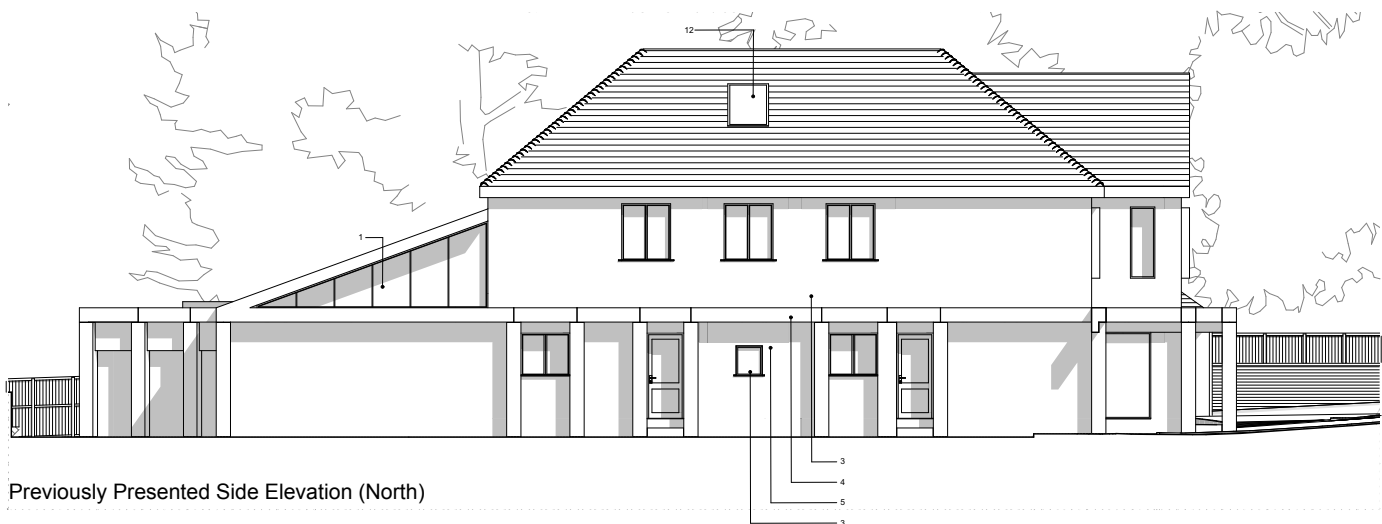
- **The existing property and its outbuildings is not of historic significance, however the mature trees that surround the property are protected and crucial to the area's character. Therefore no existing trees are proposed to be removed or altered as part of the works, with no-dig construction methodology utilised where required.**



Previously Presented Front Elevation



Previously Presented Side Elevation (South)



Previously Presented Side Elevation (North)

3.0 Design Development

3.3 Pre-Application Feedback

Policy DMHB 5 of the Hillingdon Local Plan: Part Two *‘New development in Areas of Special Local Character reflected the character the area and its original layout and respect the established scale, building lines, height, design and materials of the area. Extensions should be subservient to and respect the architectural style of the original buildings and allow sufficient space for appropriate landscaping...The replacement of buildings which positively contribute to the character and local importance of the area will normally be resisted’*

- The proposal uses a material palette of red brick and natural stone to respect the local use of materials whilst implementing them in a more appropriate, contemporary manner. The extensions are subordinate to the existing property and the existing trees and mature landscaping are a key consideration of the overall design with effort being made to restrict the rear extensions within the extents of existing areas of hard landscaping.

Policy DMHB 6 of the Hillingdon Local Plan: Part Two *‘Developments in the Cope Wood Estate...reflect the materials, traditional roof design, design features and architectural style predominant in the area. The policy also seems to ensure that developments...preserve the mature trees...to reinforce existing landscaping and Estate settings’*

- The choice of materials for the proposals has been informed by the neighbouring properties and wider estate. The Cope Wood Estate features a variety of roof styles with crown and gable roofs being a common feature throughout the locality, with flat roofs featuring on rear extensions only. The existing crown roof is to be adjusted to accommodate the small first floor extension whilst proposing a front gable which is a prevalent architectural feature in the area. All existing mature trees will be retained and flat roofs are proposed to the rear extensions and garage building to further emphasise the subservient nature of the additions and to reduce their impact on the landscaping.

Policy DMHB 11 of the Hillingdon Local Plan: Part Two *‘Developments are to be designed to the highest standards and incorporate principals of good design, either complementing or improving the character and appearance of the area’*

- The proposal seeks to consolidate and improve the architectural design of the existing property and its outbuildings by using a palette of traditional materials in a contemporary manner. Red brick to match the existing is proposed, along with stone details in line with the original architectural style.

Policy DMHB 14 of the Hillingdon Local Plan: Part Two *‘Ensure developments retain and enhance existing landscaping and trees’*

- The proposal aims to soften the existing junctions between the build form and the landscaping, whilst setting up and framing views of the natural elements on the site.

Policy G7 of the London Plan *‘Existing trees of value are retained’*

- All existing mature trees are covered by a Group TPO and are to be retained as part of the proposals, with the garage building being moved away from the existing mature tree behind it and the rear extension being restricted to primarily within the footprint of the existing hard landscaping and retaining walls.

Policy DMHD 1 of the Hillingdon Local Plan: Part Two *‘Alterations and extensions of dwellings would not have an adverse cumulative impact on the character and appearance of the street scene and should appear subordinate to the main dwelling. It also requires that there is no unacceptable loss of outlook to neighbouring occupiers.’*

- The existing garage and outbuildings are currently adversely impacting on the street scene and the existing property is of poor architectural quality. Therefore the proposals seek to improve the overall appearance of the property and its setting. The scale of the proposals around the main dwelling will have no loss of outlook to the neighbours which is demonstrated in the diagrams overleaf.



Existing Front Elevation



Proposed Front Elevation

3.0 Design Development

3.3 Pre-Application Feedback

Part B of Policy DMHD 1 of the Hillingdon Local Plan: Pt2 *Single storey rear extensions on detached houses... should not exceed 4m in depth. Single storey extensions with flat roofs should not exceed 3m in height... Pitched roofs on two-storey extensions should be of a similar pitch and materials to that of the original roof...*

- The rear extension exceeds these guidelines but remains within an appropriate and subservient scale when considering the existing and neighbouring properties. The extent of the proposed extension remains within the extents of the existing hard landscaping and retaining wall structures within the garden and the height of the proposal correlates to the established heights of existing property. The small extension at first floor level seeks to consolidate the form of the existing property and will match the existing roof in style and materiality.

Part C of Policy DMHD 1 of the Hillingdon Local Plan: Pt2 *Side extensions should not exceed half the width of the original property, appear subordinate to the main house and reflect the architectural style of the main building*

- The existing garage building is of very poor quality and not inkeeping with the style or materiality of the existing building. This proposal seeks to remove the garage building and replace it with a more appropriate garage building which is more aligned with the property in its geometry, style and materiality.

Part D of Policy DMHD 1 of the Hillingdon Local Plan: Pt2 *Alterations and extensions to the front of a house must be minor and not alter the overall appearance of the house or dominate the character of the street*

- The proposal seeks to improve the overall appearance of the house whilst retaining the existing property and therefore will have no adverse impact on the character of the street

Part E of Policy DMHD 1 of the Hillingdon Local Plan: Pt2 *Roof extensions should be located on the rear elevation only, be subservient to the scale of the existing roof and should not exceed more than two thirds the average width of the original roof...All roof extensions should employ appropriate external materials and architectural details to match the existing dwelling.*

- The proposed alterations to the main roof are to accommodate the small first floor extension which aims to consolidate the overall form of the property. This will have no impact on the front elevation of the property with the extension proposed to the south east corner of the property. The materiality of the new roof is to match the materiality and style of the existing roof to provide a seamless finish with the existing dwelling.

Reference to Copse Wood Estate Area of Special Local Character & Reference to TPO 393 providing high amenity value.

- No trees are proposed to be removed as part of the works and the local characteristics of large detached dwellings in spacious plots is retained with existing extents of hard landscaping respected and the overall mass to the street elevation retained.

Planning Officer Comments:

The proposed contemporary design is out of character and does not sit comfortably within the site context and wider Copse Wood Estate Area of Special Local Character

- Refer to local contemporary precedents and revised use of traditional materials in a contemporary manner.

In particular the large roof form, the large rear extension and the proposed colonnade around the building...would increase the overall bulky appearance of the proposed development.

- Extensions have been reduced in scale and colonnade omitted.

The front windows projecting forward of the front elevation combined with the proposed hip to gable end conversion on the front elevation would increase the visual impact of the dwelling on the character and appearance of the immediate street scene

- Gable ends are prevalent in the local area and the overall visual impact of existing house on the street scene is not being altered. Large apex glazing has been omitted from gable.

The colonnade feature to the front visually increases the overall scale of the development within the site context. A proper segregation between the main house and the garage needs to be considered.

The overall scale and size of the garage along the side of the property would not be supported...It is advised that any amendments to the overall scale, height and footprint of the garage should take account the likely implications for the existing trees.

The scale size and height of the proposed double garage and studio needs to be reduced and to appear as separate from the main dwelling

- Colonnade omitted. Garage building has been reduced in scale and remains separate to the main dwelling and has been pulled forward away from nearby tree. Flat roof has been proposed to garage to reduce overall scale of the proposal to be lower than current overall height.

Any extension and alterations to the application property need to be sympathetic to the character and appearance of the Copse Wood Estate Area of Special Local Character The proposed development should reflect the existing materials, traditional roof design and the architectural style of the area.

- Material palette amended to be sympathetic to the local area and neighbouring properties.

It is considered that a mix of traditional and contemporary design, particularly along the front elevation / street scene would be more appropriate

- Material palette amended to be sympathetic to the local area and neighbouring properties but implemented in a contemporary manner.

The proposed single storey rear extension would significantly exceed the Council's recommended depth standard...and would not appear as a subordinate addition to the application property. The proposed flat roof of the rear extension should also not exceed 3m in height

- The proposals are not in line with Council guidance on depth standards, however it is now subordinate to the scale of the existing property and its large setting. The existing property is proportionally small within its plot when compared to neighbouring dwellings. Flat roofs have been utilised to reduce the overall height of the proposals but to remain appropriate to the scale of the existing property, this slightly exceeds the council guidelines.

The terrace above the ground floor extension...may lead to visual clutter at upper floor level. Reducing this size and setting it further away from neighbours boundaries should be considered

Policy DMHD 1 of the Hillingdon Local Plan Part Two *Alterations and extensions to dwellings will be required to ensure that: ii) a satisfactory relationship with adjacent dwellings is achieved v) there is no unacceptable loss of outlook to neighbouring occupiers*

Development proposals do not adversely impact on the amenity, daylight and sunlight of adjacent properties and open space

It is suggested that the overall size of the terrace is reduced further to mitigate any overlooking concerns

- Terrace area has been reduced and sits within the original house footprint so it cannot be seen from the street. Due to the natural screening provided by the mature trees and the distance from the boundary walls, there are no overlooking concerns. A review of the neighbouring property has been carried out and there is no visual impact to neighbouring properties.

3.0 Design Development

3.3 Pre-Application Feedback

Sufficient separation from the site boundary would need to be provided and any side windows would need to be non-habitable rooms, obscure glazed and non opening above 1.8m above finished floor level.

- The rear extension is single storey only and has no side windows / doors that would overlook the neighbouring properties. The infill extension at first floor level includes one small fixed side window but due to its use as a bathroom, it will be obscured.

It is considered that the proposed double garage / studio would not cause harm to the residential amenity of 9 Nicholas Way through the loss of light, loss of privacy or overlooking.

Replacing the existing garage with a larger garage able to store modern sized cars would be acceptable

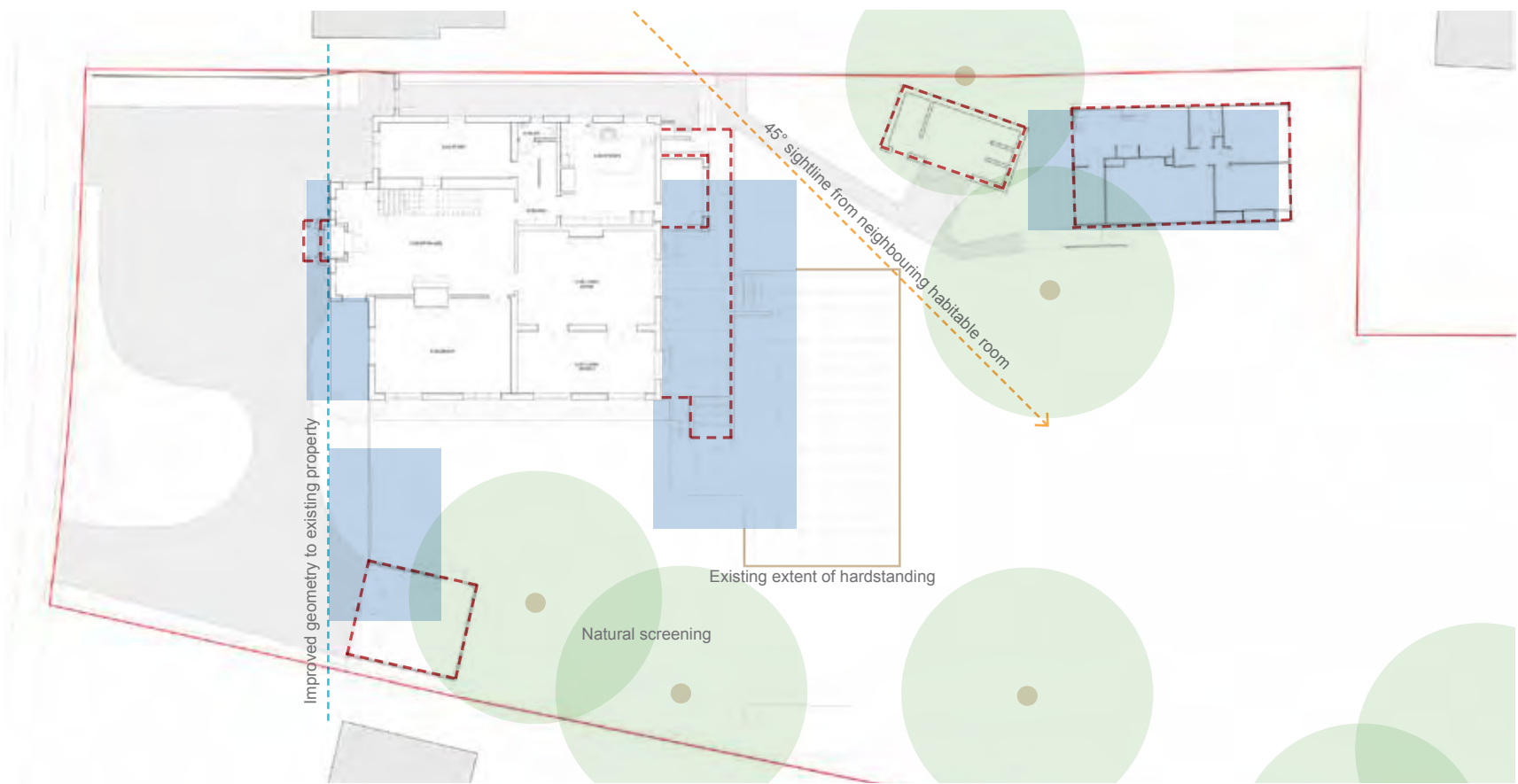
- The garage has been reduced in scale with a new flat roof proposed to reduce its overall mass and presence on the street and to neighbouring properties.

It is considered the parking provision would be acceptable...and the proposed development would not cause harm to highway safety

- Noted, no action taken.



Pre Application Proposal Massing on Existing Ground Floor



Revised Proposal Massing on Existing Ground Floor

- Demolitions
- New Build Proposals

4.0 Revised Proposals

4.1 Revised Proposals

The revised proposal seeks to address the original briefing criteria to open up, extend and refurbish the property, whilst responding to the planner’s comments following the pre-application consultation.

As a result, the overall scale of the proposals have been reduced, with the new garage building remaining as a standalone building, whilst being shifted away from the boundary wall and existing tree to align with the geometry of the front elevation of the property. The garage is proposed to have a flat roof which will reduce its overall mass when compared to the existing pitched roof garage and will have no impact on neighbouring views or outlook.

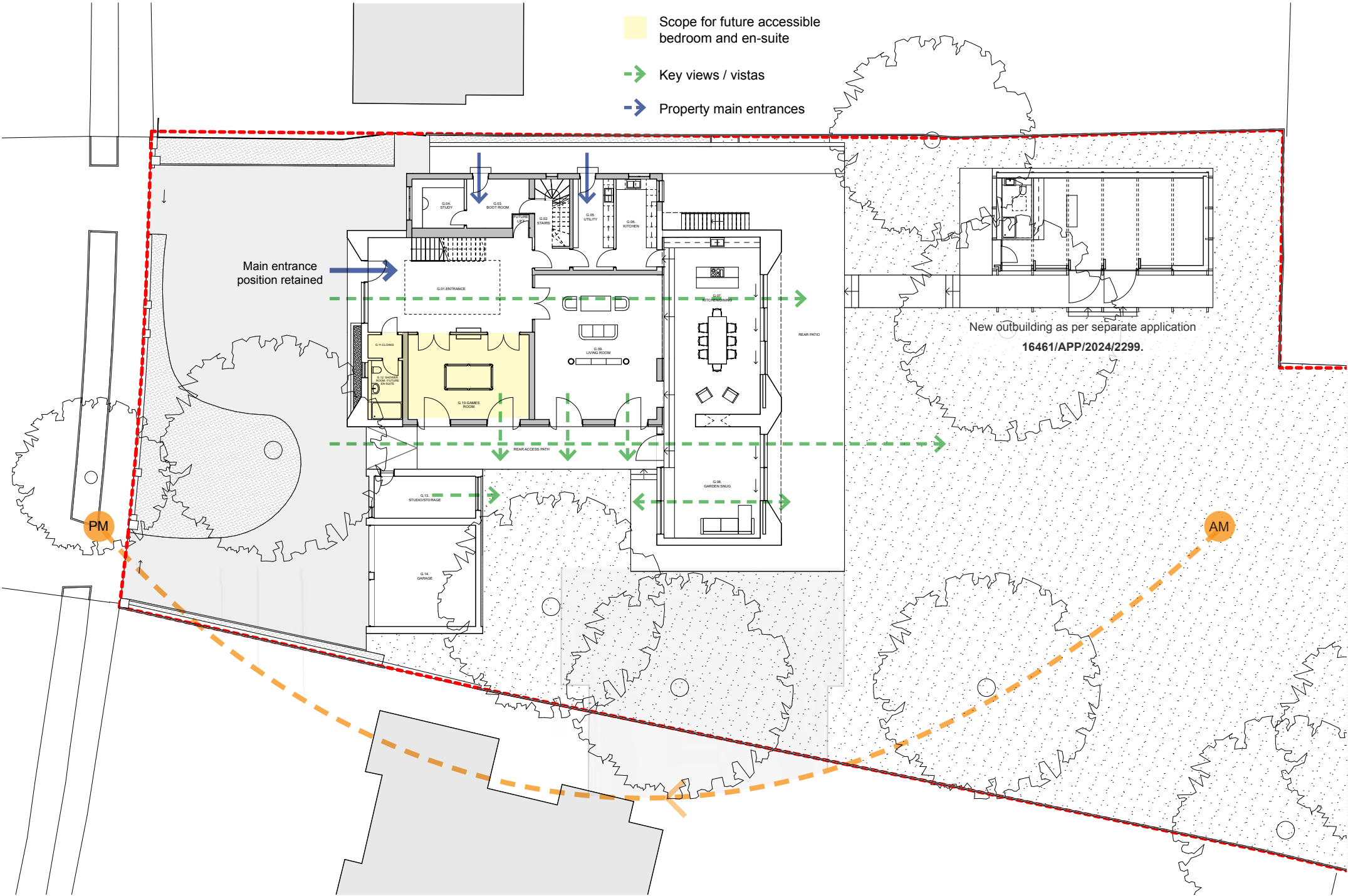
The rear extension has been revised to align with the existing property’s orientation and its context, whilst respecting the scale and setting of the existing house.

The rear extension feature a flat roof and a small roof terrace which will be accessible from first floor level only to minimise the impact on the street scene and avoiding any overlooking or privacy issues with neighbouring properties. Both the garage and rear extension will be clearly subordinate to the existing property and appropriate in scale to their setting.

To enhance the positive features of the site, the proposals aim to blur the lines between inside and outside, to celebrate the existing mature trees and integrate the proposals into the landscape by setting up and framing key vistas throughout the site and gardens.

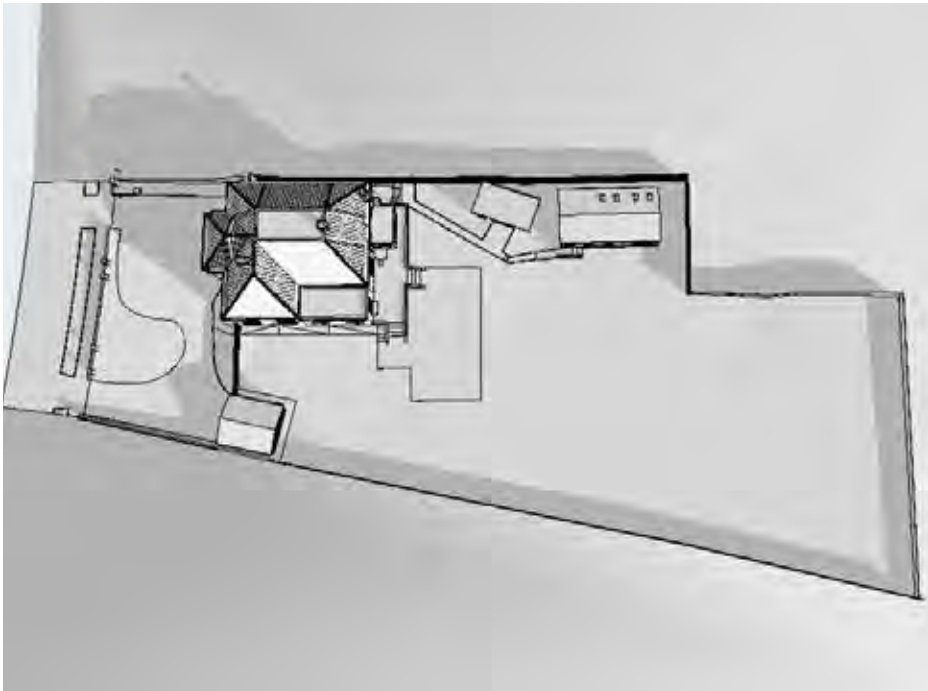
The rear extension is limited in its footprint to primarily within the existing hard landscaping footprint where a swimming pool previously sat, to minimise the potential disturbance to the existing tree roots.

Internally the proposals seek to open up the house to its natural surroundings and improve connectivity of internal spaces. The small front elevation extension provides continuity to the front elevation whilst expressing the asymmetry of the property which is a key characteristic of the locality. This change also allows for the lifetime homes futureproofing of the proposed games room to be converted into a downstairs bedroom with en-suite shower room if required.

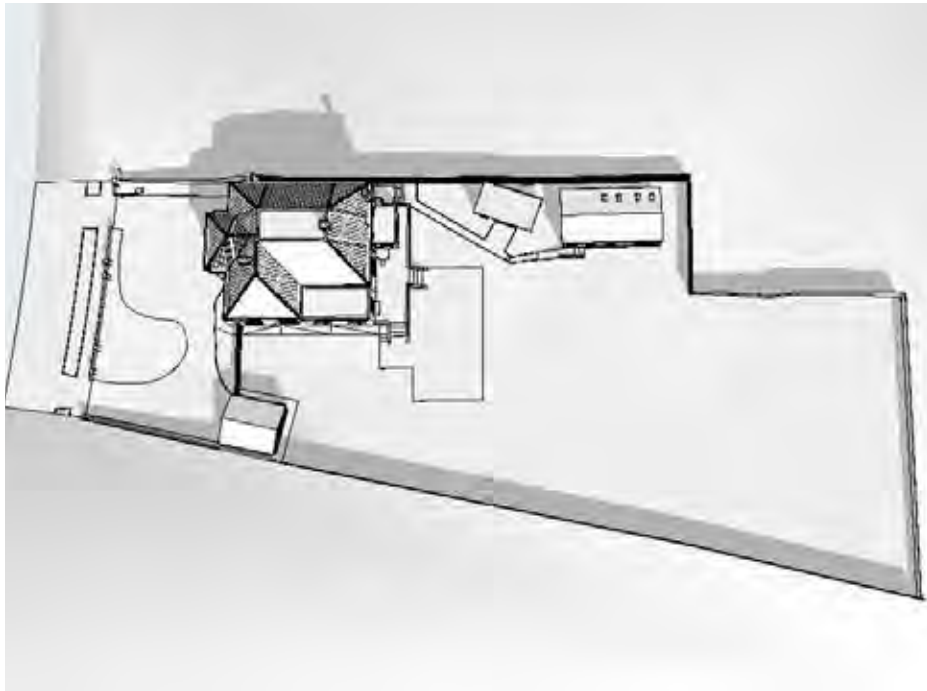


4.0 Revised Proposals

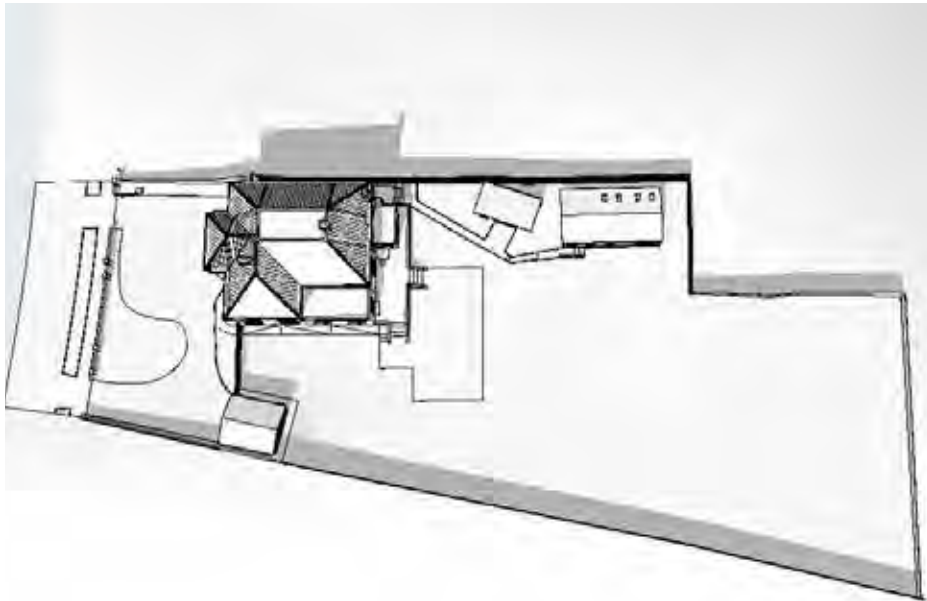
4.2 Sun Path Study - Existing



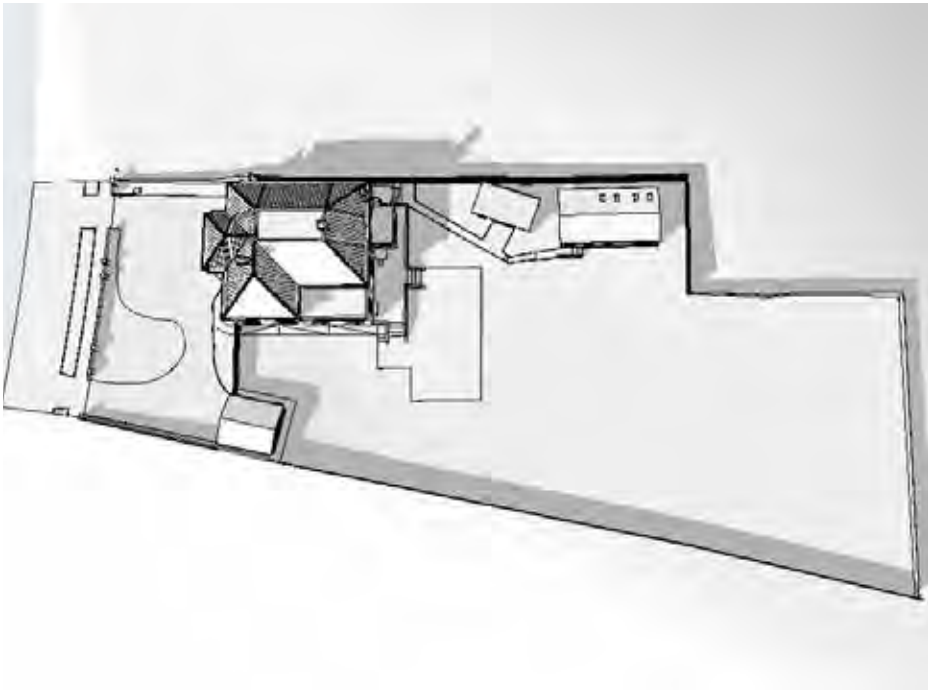
21 March - 8:00 - Existing



21 March - 10:00 - Existing

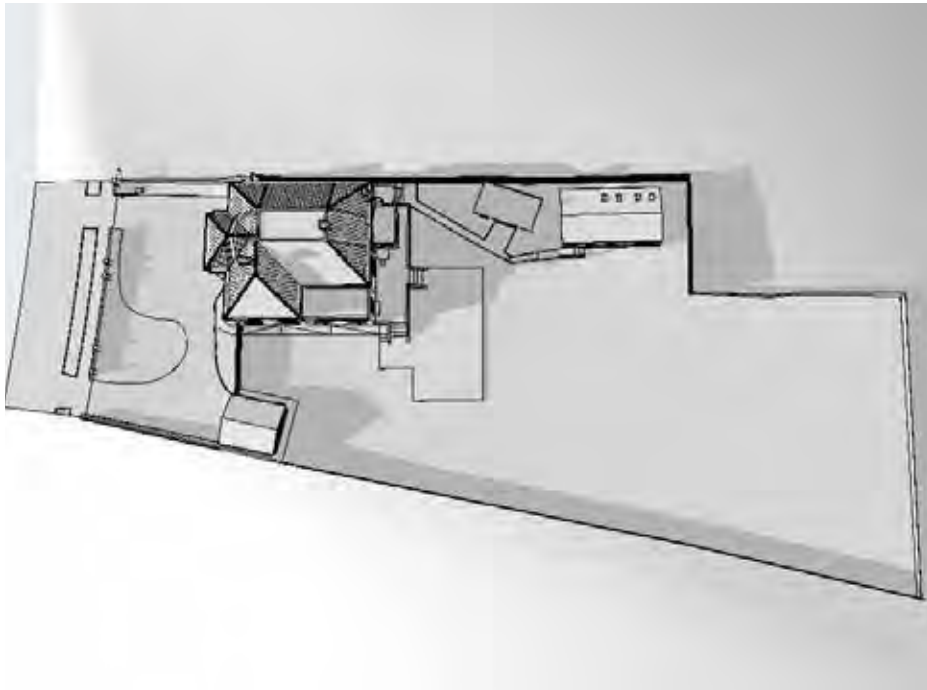


21 March - 12:00 - Existing

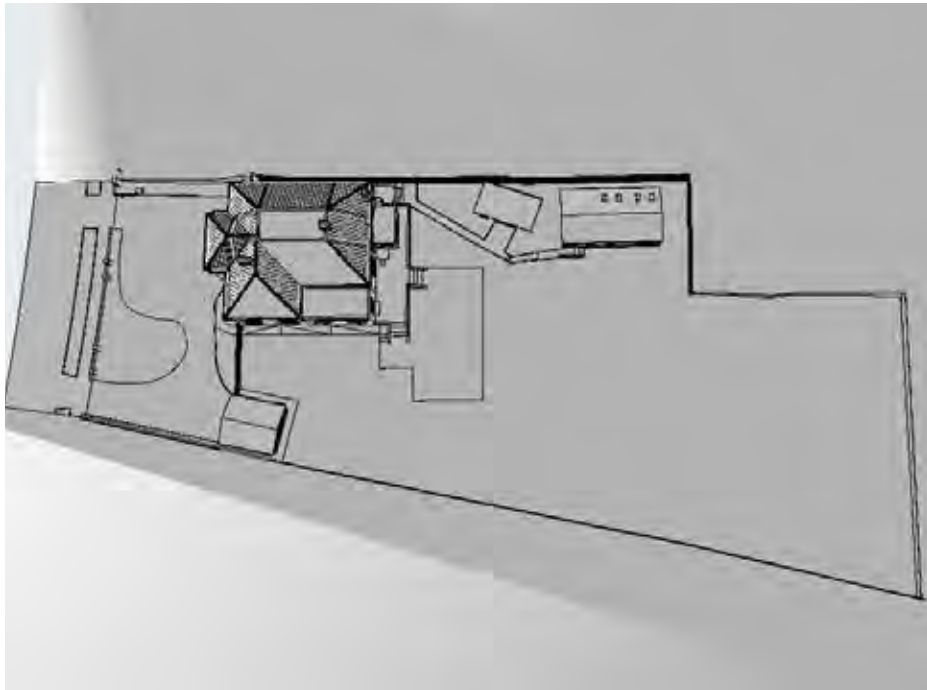


21 March - 14:00 - Existing

Note that existing trees have not been modelled for clarity of the proposals. But no alterations are proposed to the existing trees.



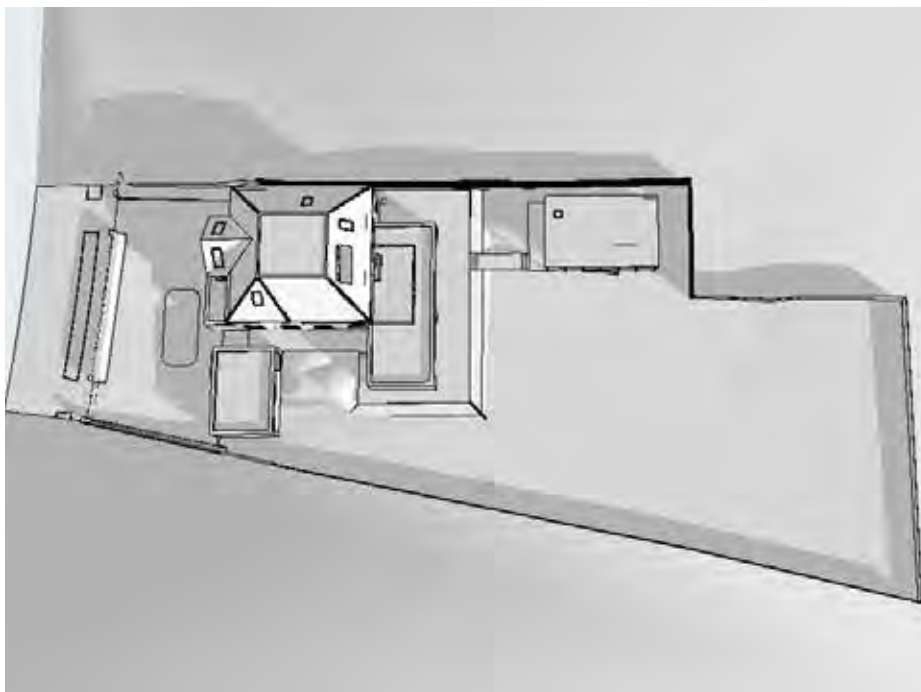
21 March - 16:00 - Existing



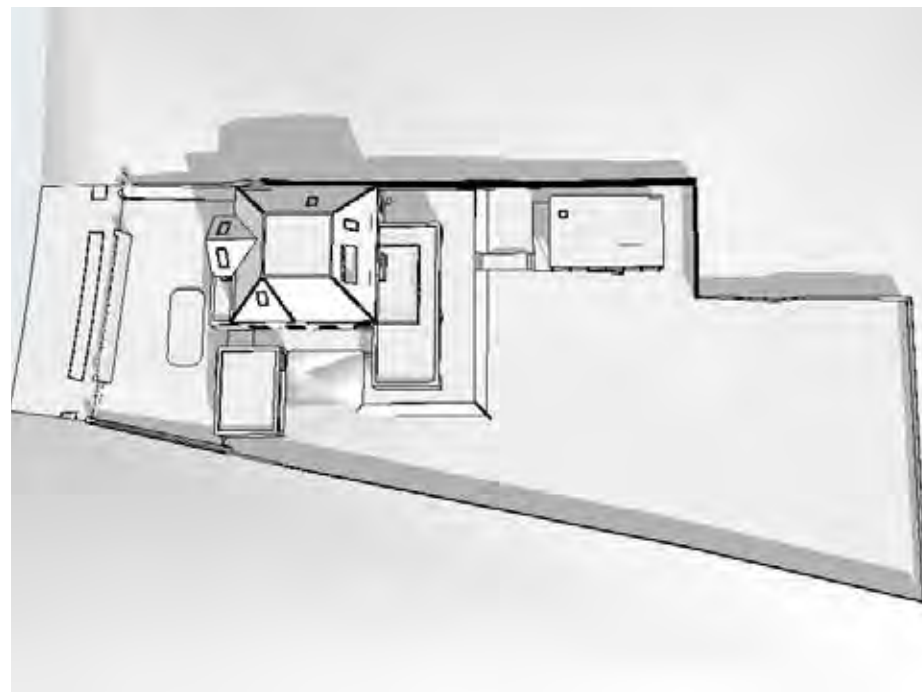
21 March - 18:00 - Existing

4.0 Revised Proposals

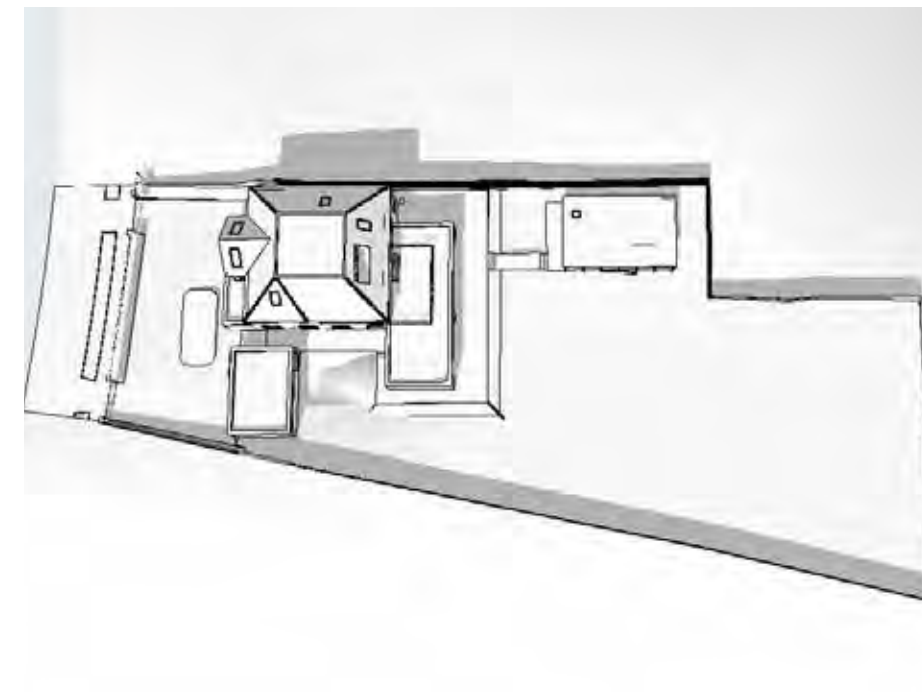
4.2 Sun Path Study - Proposal



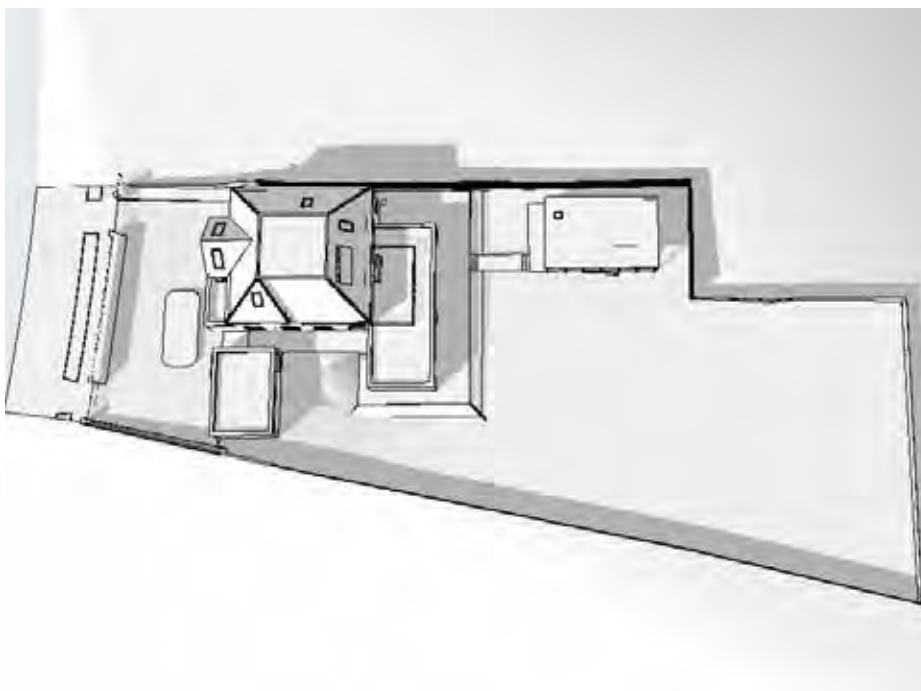
21 March - 8:00 - Proposed



21 March - 10:00 - Proposed

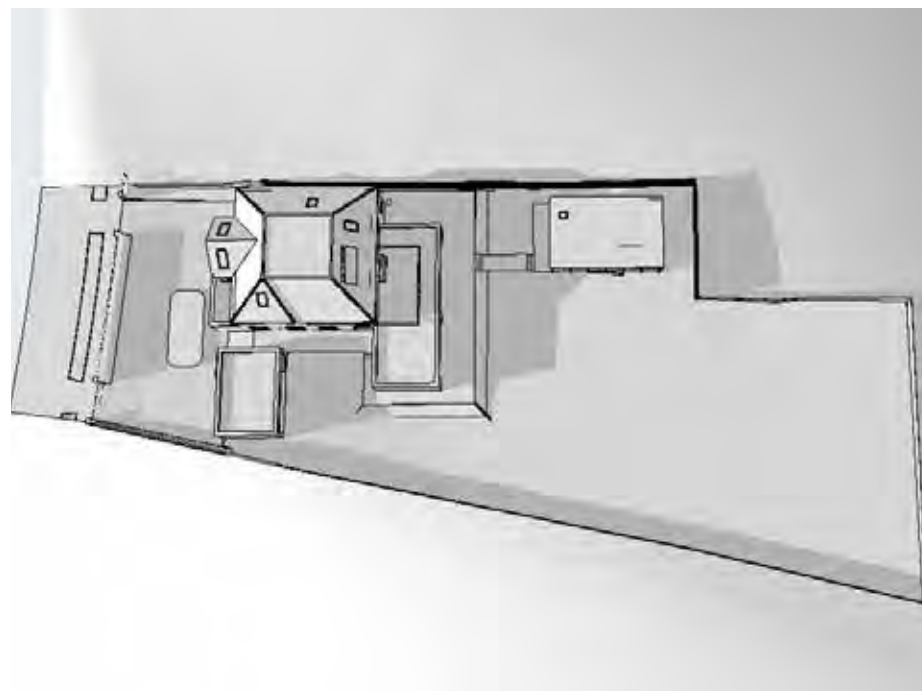


21 March - 12:00 - Proposed



21 March - 14:00 - Proposed

Note that existing trees have not been modelled for clarity of the proposals. But no alterations are proposed to the existing trees.



21 March - 16:00 - Proposed



21 March - 18:00 - Proposed

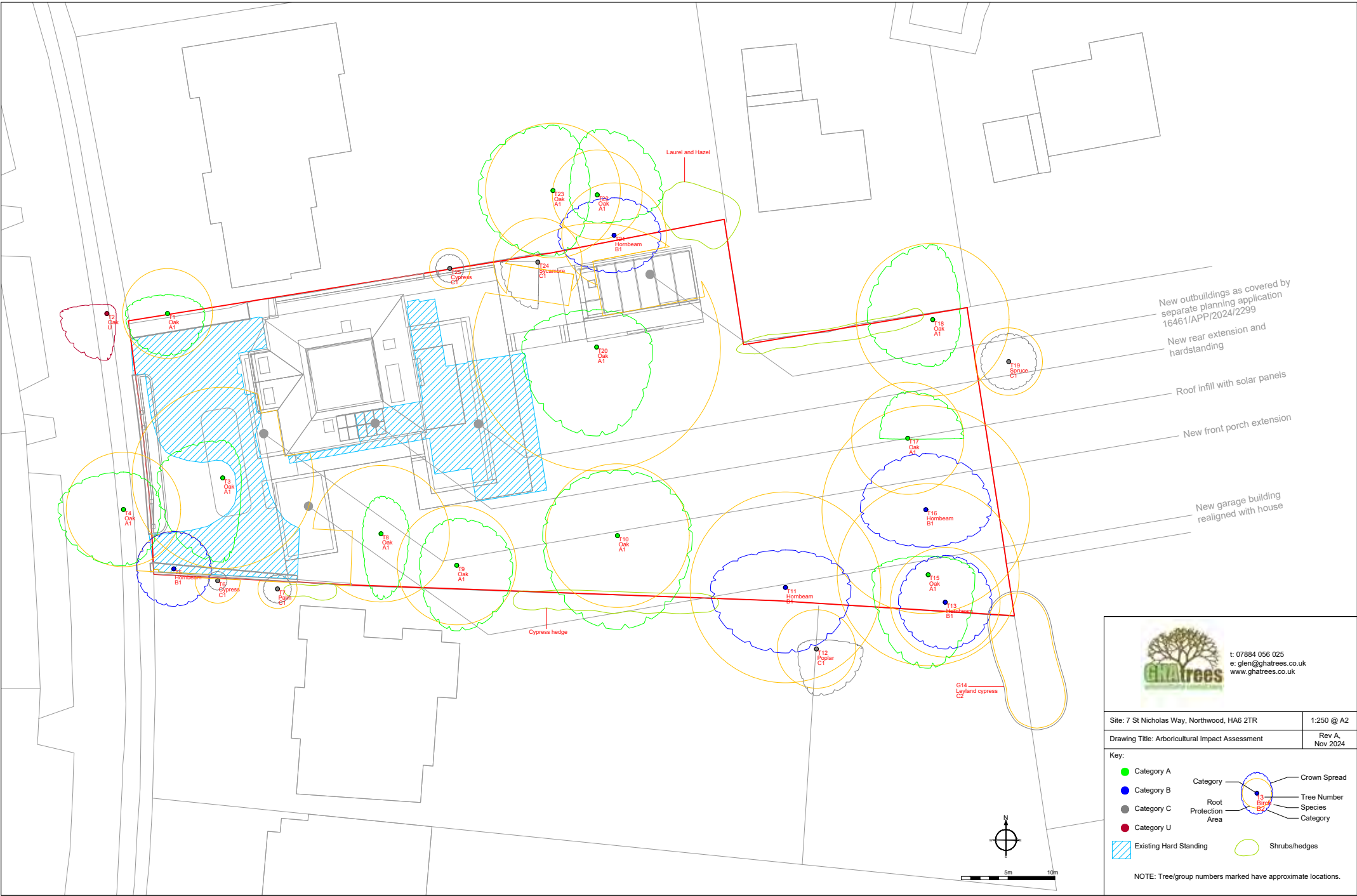
4.0 Revised Proposals

4.3 Existing Trees

The proposals aim to blur the lines between inside and outside with the use of similar landscaping and flooring materials as well as large glazing panels to frame and enhance key views into the garden.

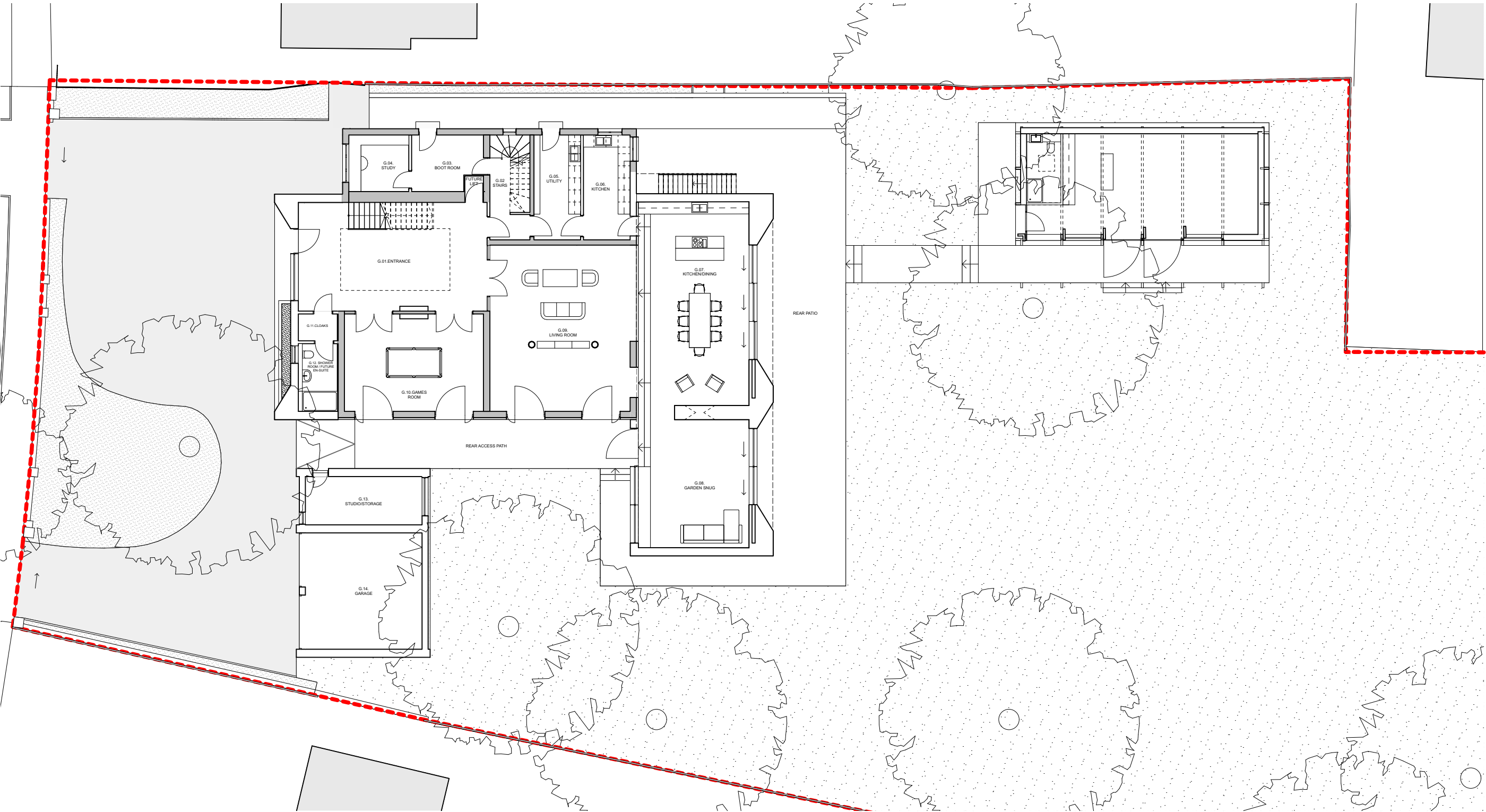
An Arboricultural Impact Assessment has been carried out to review the possible impact of the proposals on the mature trees present on and around the site, and the report has confirmed that the proposals require no removals or pruning of any trees.

Where there is a slight encroachment into the root protection area of T3 for the new porch and T8 for the garage, mini piles in conjunction with ground beams will be used instead of traditional strip foundations to ensure any significant roots that are present in the area can be retained and avoided as part of the works.



4.0 Revised Proposals

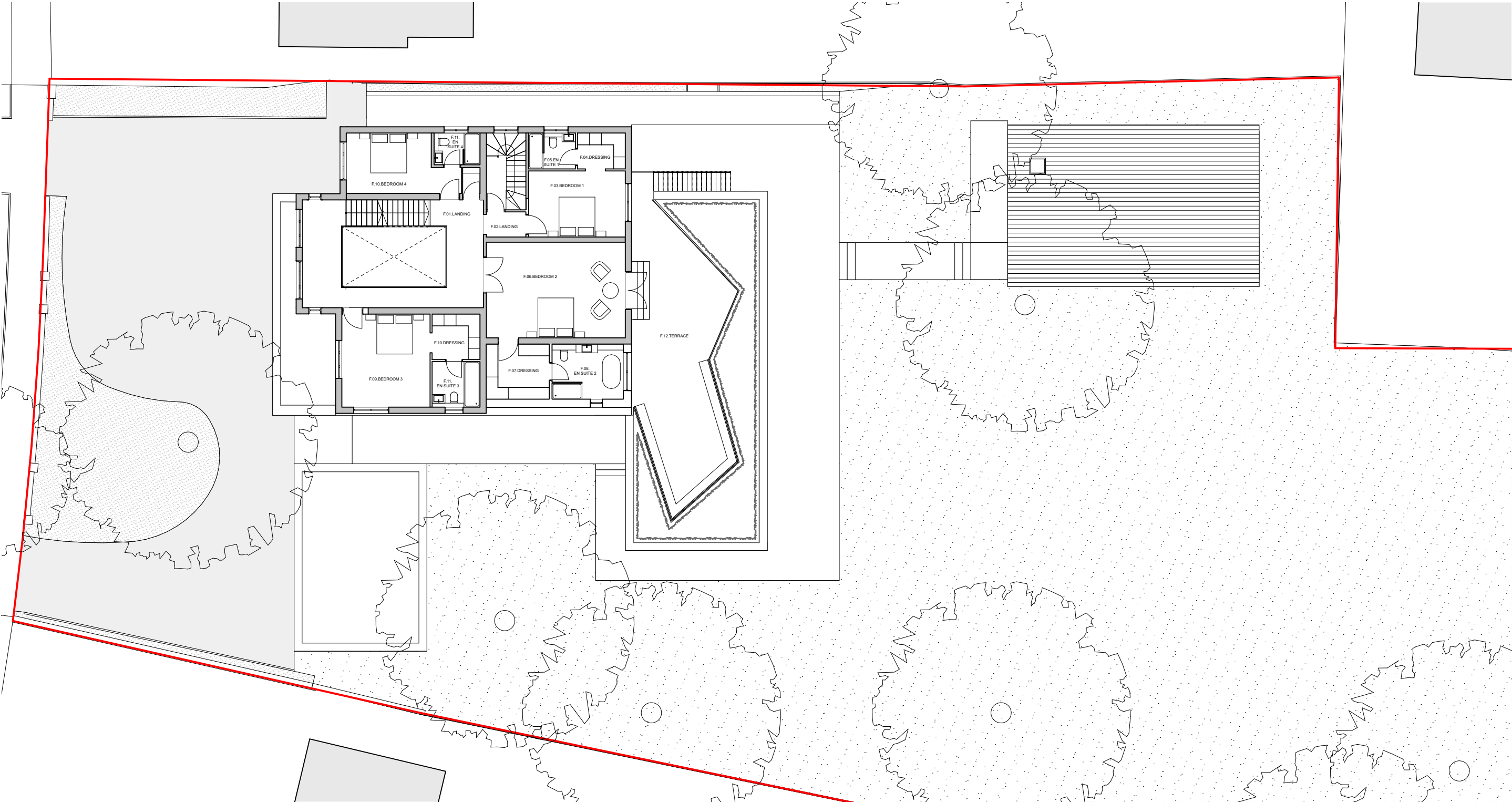
4.4 Proposed Drawings



Ground Floor Plan

4.0 Revised Proposals

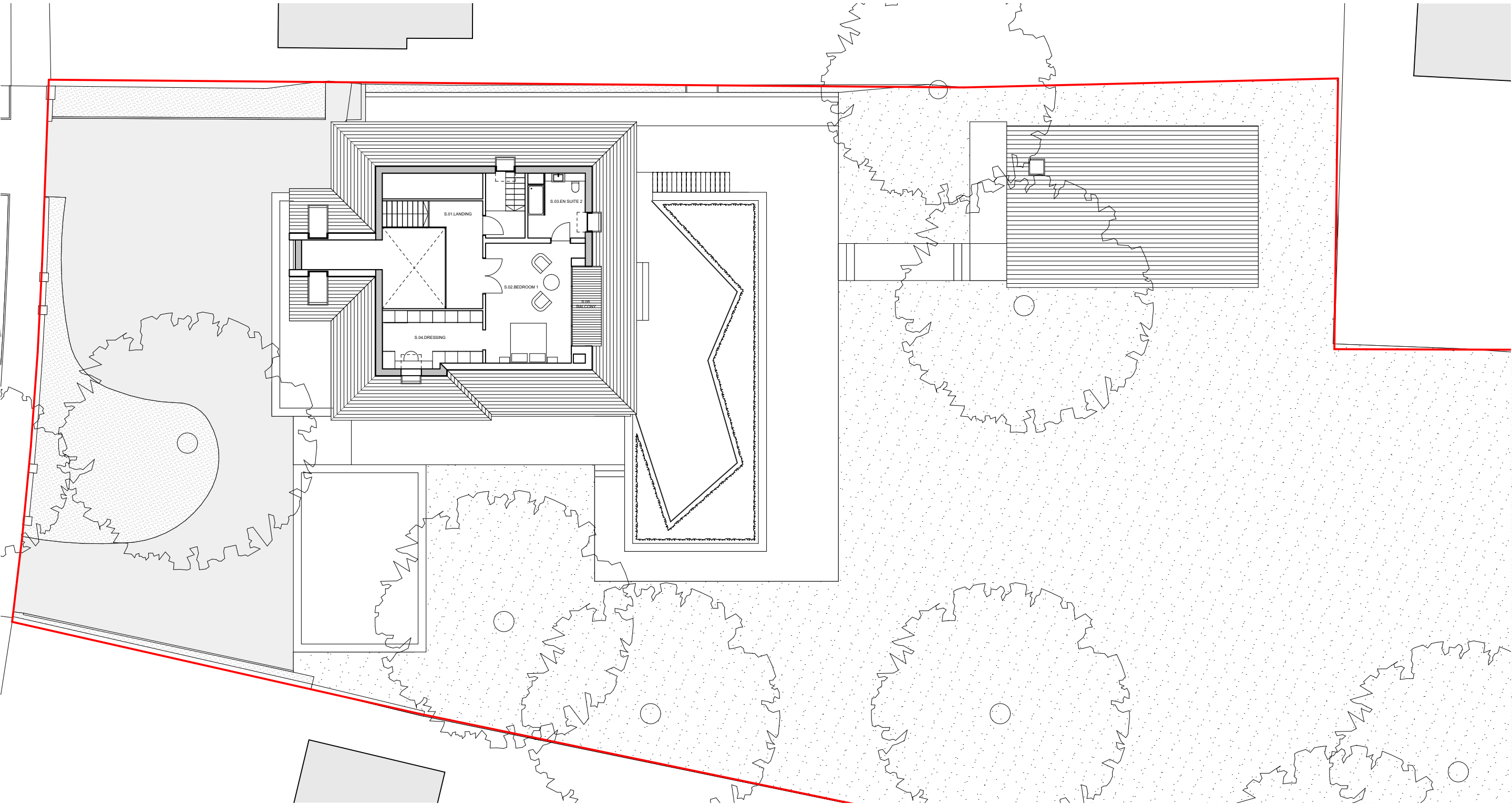
4.4 Proposed Drawings



First Floor Plan

4.0 Revised Proposals

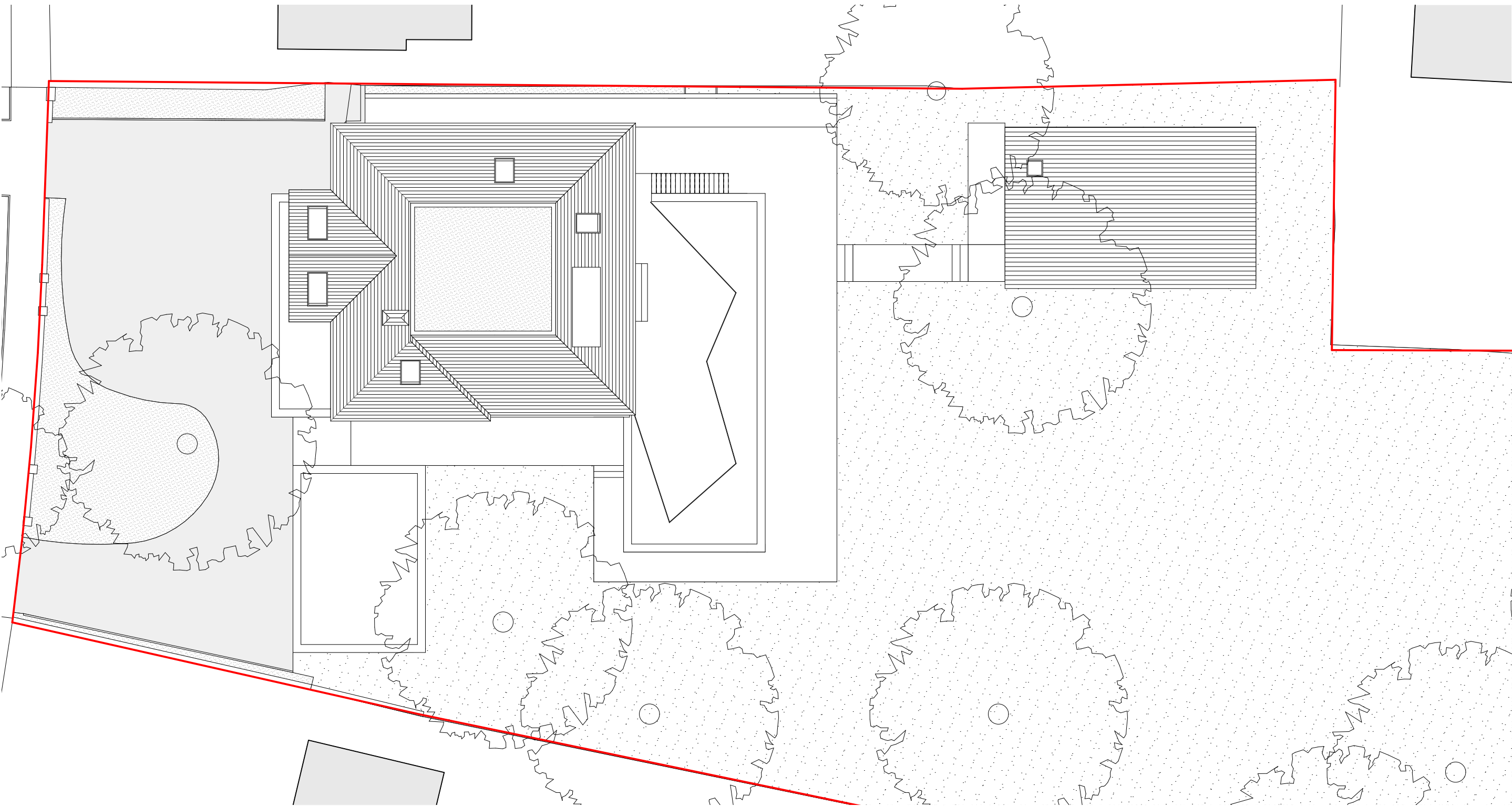
4.4 Proposed Drawings



Second Floor Plan

4.0 Revised Proposals

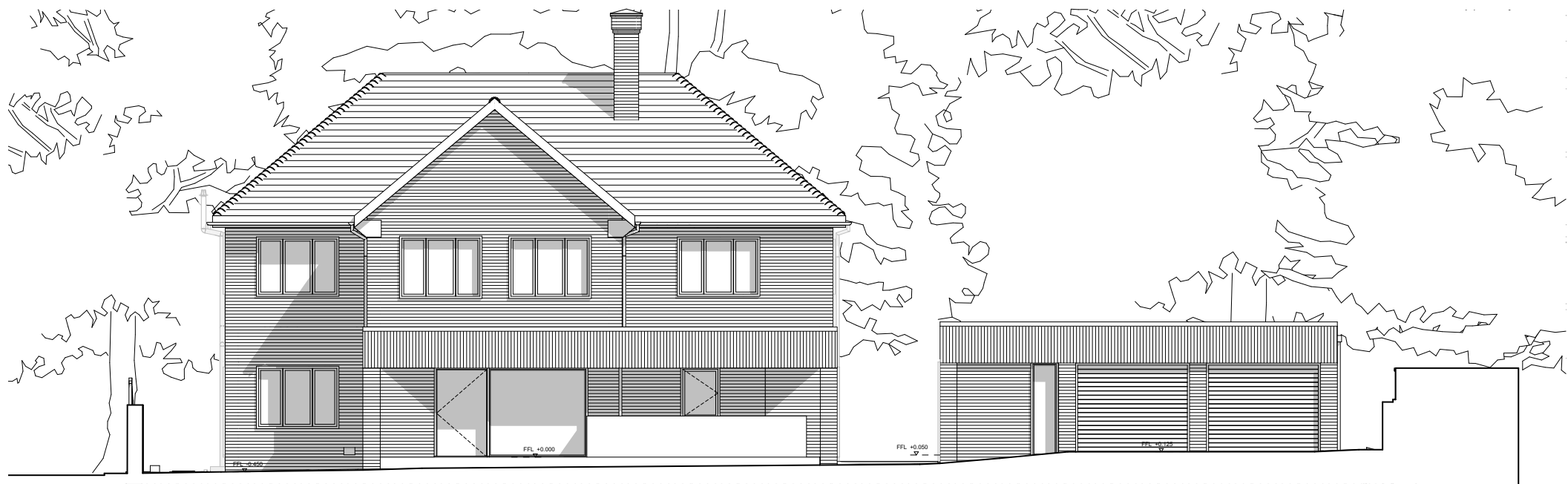
4.4 Proposed Drawings



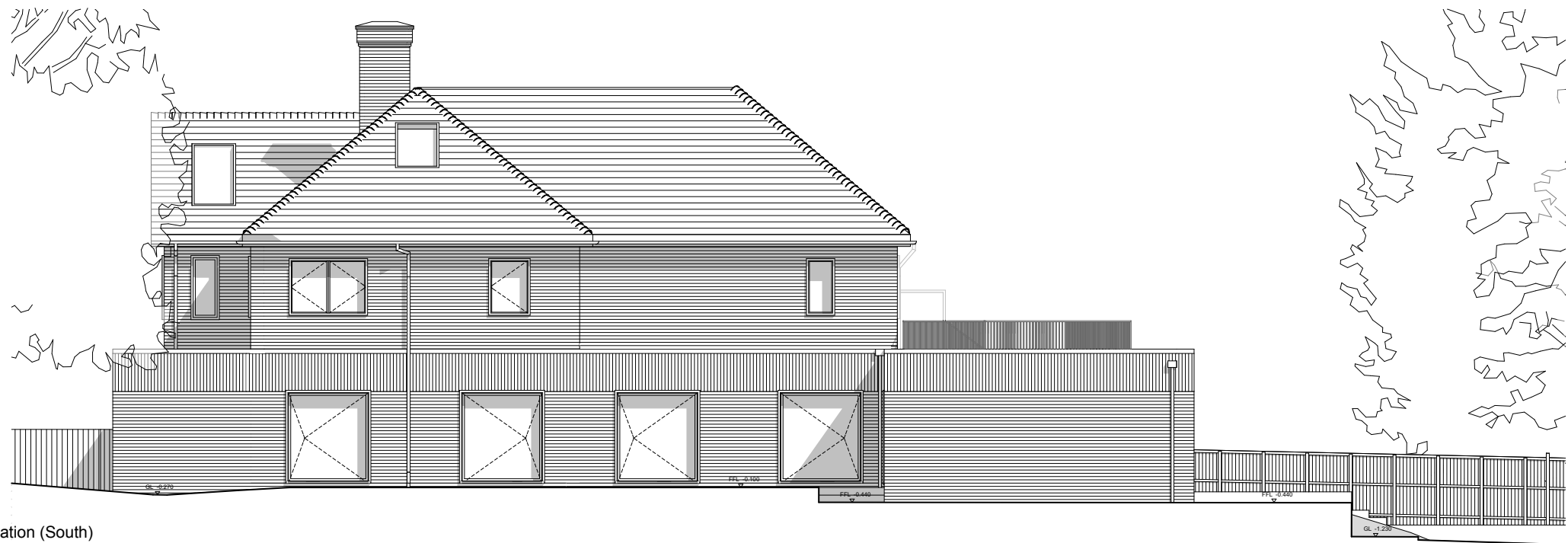
Roof Plan

4.0 Revised Proposals

4.4 Proposed Drawings



Front Elevation



Side Elevation (South)

4.0 Revised Proposals

4.4 Proposed Drawings



4.0 Revised Proposals

4.6 Proposed 3Ds

Front Elevation / Main Entrance



4.0 Revised Proposals

4.6 Proposed 3Ds

South facing courtyard



4.0 Revised Proposals

4.6 Proposed 3Ds

Rear extension



4.0 Revised Proposals

4.6 Proposed 3Ds

Pedestrian Views



Medium distance view from south approach



Medium distance view from north approach

4.0 Revised Proposals

4.7 Material Palette

The proposals materials are historic in their form but will be contemporary in their application.

Red mix bricks to match the existing are sympathetic to the original house materiality. Subtle brick soldier coursing will define the wall / parapet junctions as well as window and door openings.

Bronze / wam grey aluminium framed windows and doors are proposed throughout to create a soft finish against the natural materials and as part of its natural setting.

Natural stone copings and window surrounds are proposed to the new build elements to clearly define them from the existing house.

The existing clay roof tiles will be retained and reused where possible across the original house pitched roofs

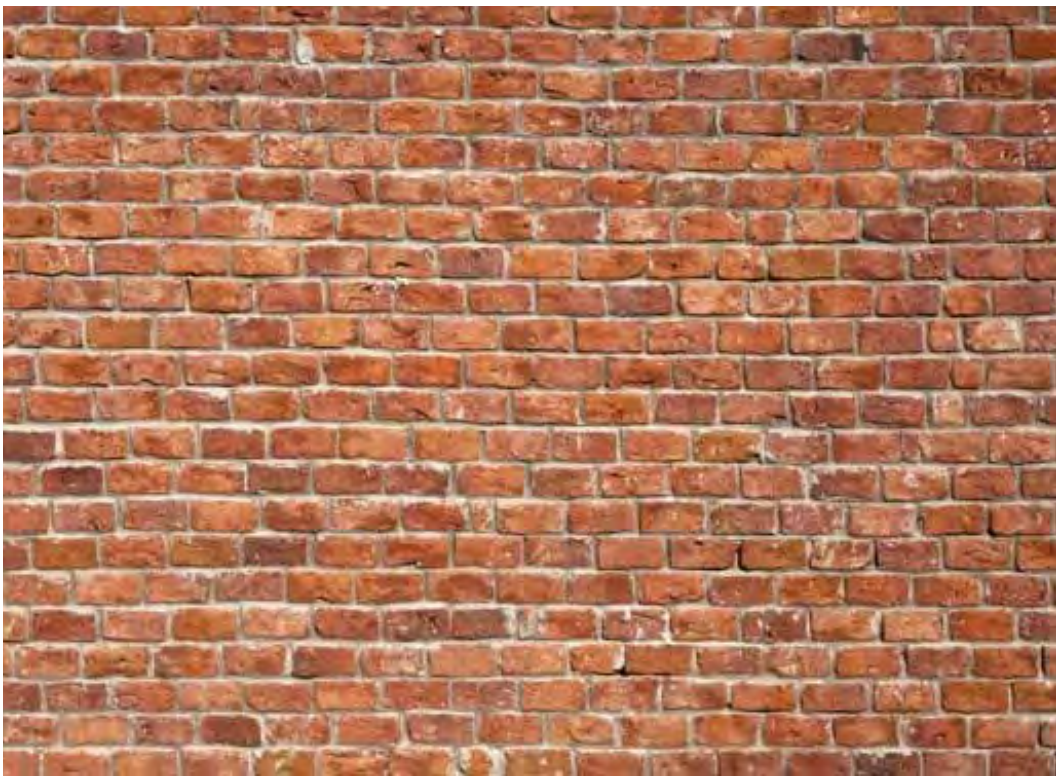
Single ply flat roofs are proposed to all new build elements to keep the overall scale of the proposals to a minimum.



Clay Roof Tiles to match existing



Bronze Aluminium Frame Windows



Brick to match existing



Stone Window Reveal

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