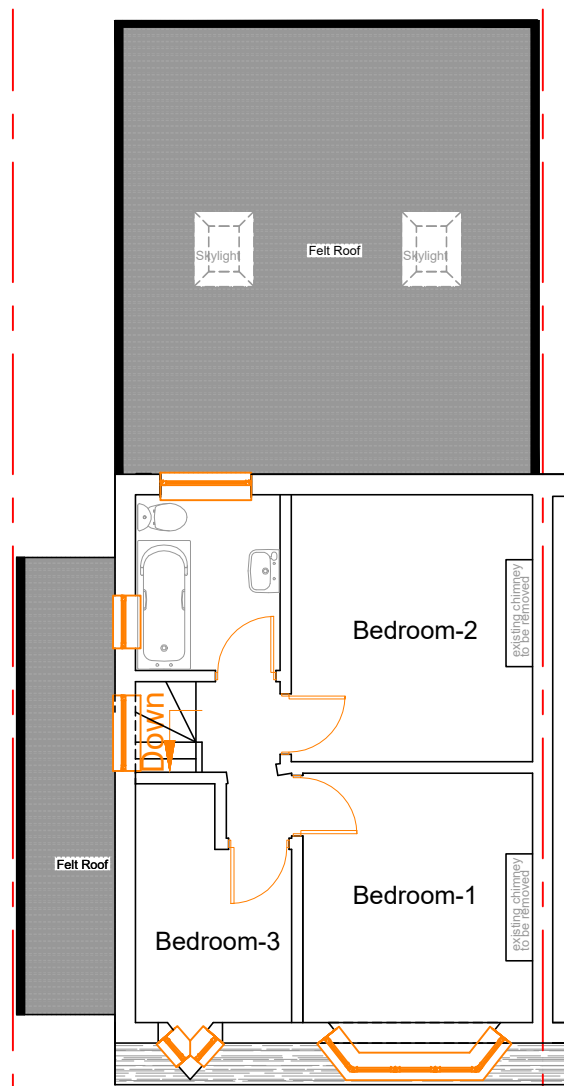
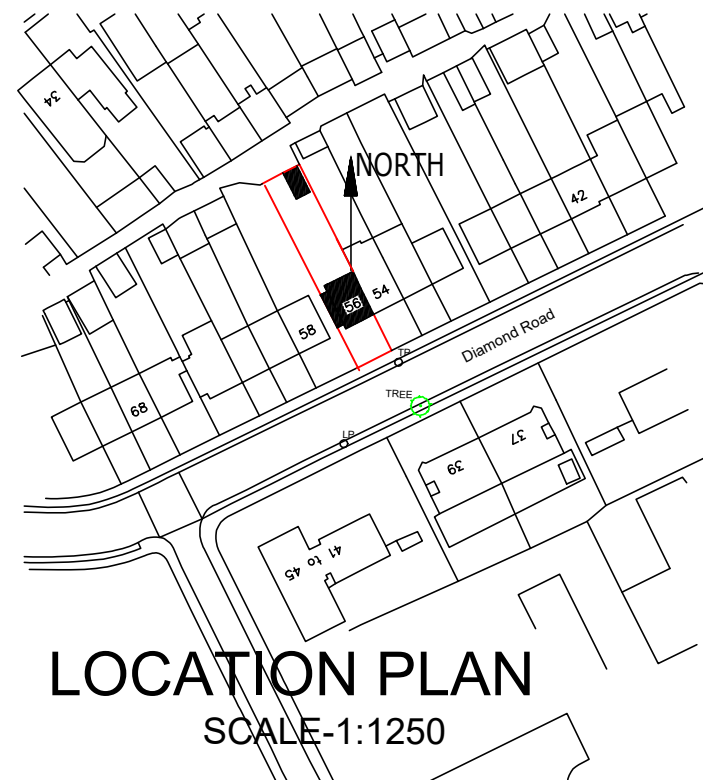


**EXISTING  
FIRST FLOOR PLAN**  
SCALE:-1:100



**PROPOSED  
FIRST FLOOR PLAN** SCALE:-1:100

WITH EXTERNAL BRICK FINISH  
AND AN OBSCURE WINDOW TO THE FLANK WALL



**LOCATION PLAN**  
SCALE:-1:1250

**VENTILATION-INTERNAL  
RAPID VENTILATION**  
Habitable rooms to have a ventilation opening equal to at least 1/20th room floor area. Kitchen to have ventilation via openable window.  
**BACKGROUND VENTILATION.**  
Habitable rooms to have 8000m<sup>2</sup> trickle ventilation via new windows or air brick with internal plaster and insect screen. Kitchen to have 4000m<sup>2</sup> trickle ventilation via new window or air brick with internal plaster louvre and insect screen. Air brick to be red bank manufacturing co ltd. type 373 200mmx145mm rectangular hole red terracotta ATR brick together with an inclined pattern bridging duct.  
**EXTRACT VENTILATION**  
Loft floor wc, utility room & shower room to have mechanical extract 15 litres/sec. with 15 min. overrun on fan connected to light switch located outside room. All ventilation to comply with approved document F.

**LIGHTING**  
Energy efficient lighting to be provided to proposed dwellings. 1 per 25m<sup>2</sup> SQ of dwelling floor area or 3 out of 4 energy efficient light fittings to be installed. Fixed internal lighting should have effective control and/or use efficient lamps. Either have a lamp capacity not exceeding 150W per light fitting and light alternately switches off when enough daylight and when required at night, or the light fittings have sockets that can only be used with lamps having an efficiency greater than 40 lumens per circuit-watt.  
All wiring and electrical work to be designed, installed and inspected/tested in accordance with requirements of BS7671. The IEE 17TH wiring guidance and building regulations part P, on completion of the works a copy of the installers electrical installation certificate compliant with BS7871 to be provided to the client and the local authority. Prior to covering all wiring/cables the applicant is to ensure that the installation is inspected as described above.

Rain water to be connected to existing surface water system or discharge into soakaway, detail to be agree with Building control officer  
New rain water gully and pipe extended from existing location  
if required, new soak away pit to be built, subject to building control officer approval  
600x750dp mc strip footing (min. 1.20m deep, if new foundation found to be deeper than existing this should be carried out in underpinning sequences, maximum length of each pin is 1.0m.)  
Extg. extension foundation to be checked on site if this found less than 1.5m deep then underpin the foundation to required depth, sequences as noted.

Approved application  
Ref-16429/APP/2021/1533

Client:-Mr.Ashokkumar Kugathanan

Drawing no:-56CR

Revision-B

Checked  
by:S.E

Title:- Proposed variation of condition, wall finishes from approved render to brick including a widow to the flank wall of rear extension at No:56 Diamond Road, Ruislip, HA4 0PG.

Drawn by:-  
S.E 06/22

Scale:-1:100,1:1250  
Org.size-A3

