
ALDI STORES LIMITED, HAREFIELD ROAD, UXBRIDGE

TN03 – S73 APPLICATION – PROPOSED CAR PARK AMENDMENTS

15TH APRIL 2026

1.0 Introduction

- 1.1 Connect Consultants Limited is a firm of transport planning and highway design consultants that have been instructed by Aldi Stores Limited in respect of their site located off the B467 Harefield Road in Uxbridge.
- 1.2 This Technical Note (TN03) provides information to support a S73 application to amend the previously approved drawings associated with the planning permission under 6299/APP/2023/3691.
- 1.3 This entails amending the wording of the following conditions associated with the above permission:

Condition 10

*The turning loading facilities/sightlines and parking areas (including the marking out of parking spaces) shown on the approved plans (reference: **16401-1-THPR-XX-00-DR-A-1014-Rev-P08 P09**) shall be constructed prior to the first use of the development hereby permitted and thereafter permanently retained and used for no other purposes.*

REASON: To ensure that appropriate facilities are provided in accordance with Policies D5, T2, T4, T6, and T7 of The London Plan (2021) and Policies DMT 1, DMT 2, DMT 5, and DMT 6 of Hillingdon Council's Local Plan Part 2 (2020).

Condition 12

*The development shall be carried out in accordance with the materials details on the approved plans (reference: **16401-1-THPR-XX-EL-DR-A-1011-Rev-P03 P04** and **16401-1-THPR-XX-EL-DR-A-1012-Rev- P03 P04**).*

REASON: To ensure that the development presents a satisfactory appearance in accordance with Policy DMHB 11 of Hillingdon Council's Local Plan Part 2 (2020).

Condition 23

*At least 30 short-stay and 20 long-stay cycle parking spaces shall be installed and available for use in accordance with approved plans (reference **16401-1-THPR-XX-00-DR-A-1014-Rev- P08 P09**) and the London Cycle Design Standards prior to the first use of the development hereby approved. The cycle parking spaces shall thereafter be permanently retained on site, maintained, and be kept available for use.*

REASON: To ensure appropriate cycle parking provision in accordance with Policy T5 of The London Plan (2021) and Policies DMT 2 and DMT 5 of Hillingdon Council's Local Plan Part 2 Development Management Policies (2020).

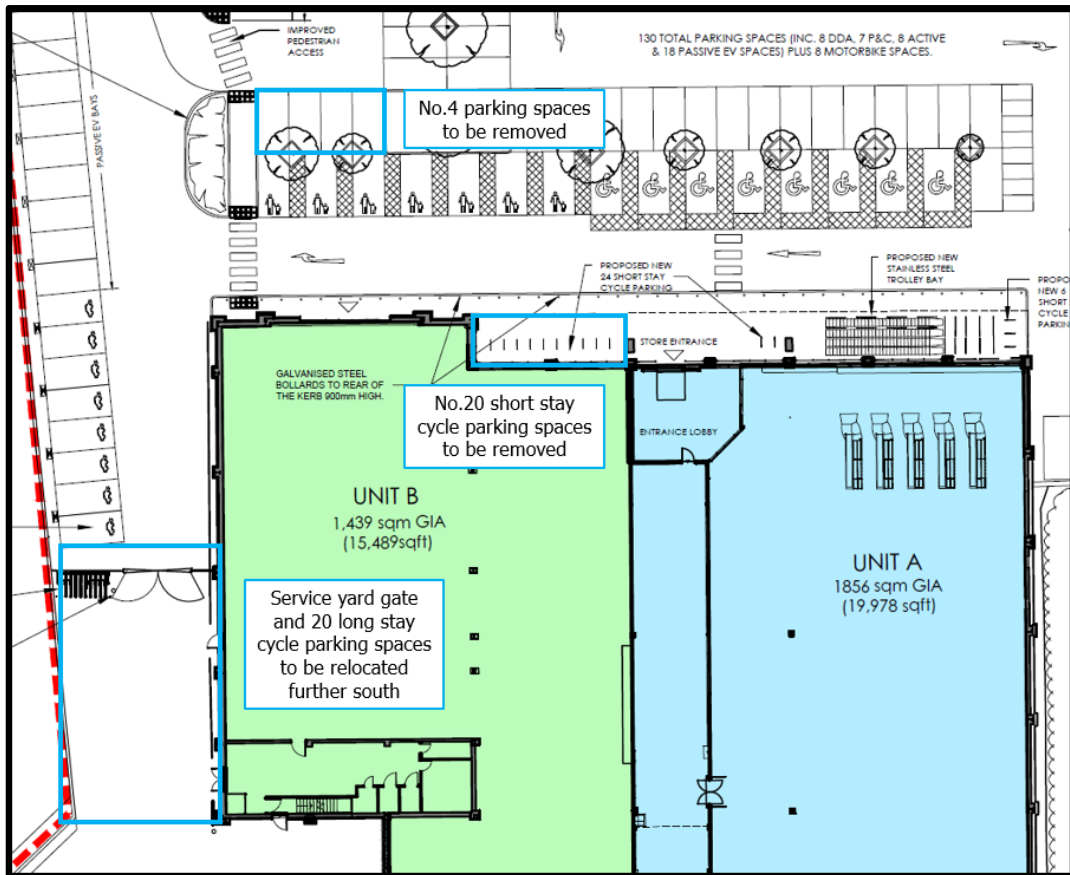
- 1.4 This TN03 considers the amendments to conditions 10 and 23.

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- 1.5 The previously approved Site plan drawing '16401-1-THPR-XX-00-DR-A-1014-Rev-P08' is provided at Appendix 1.
 - 1.6 The proposed Site plan drawing '16401-1-THPR-XX-00-DR-A-1014-Rev-P09' is provided at Appendix 2.

2.0 Proposed Amendments

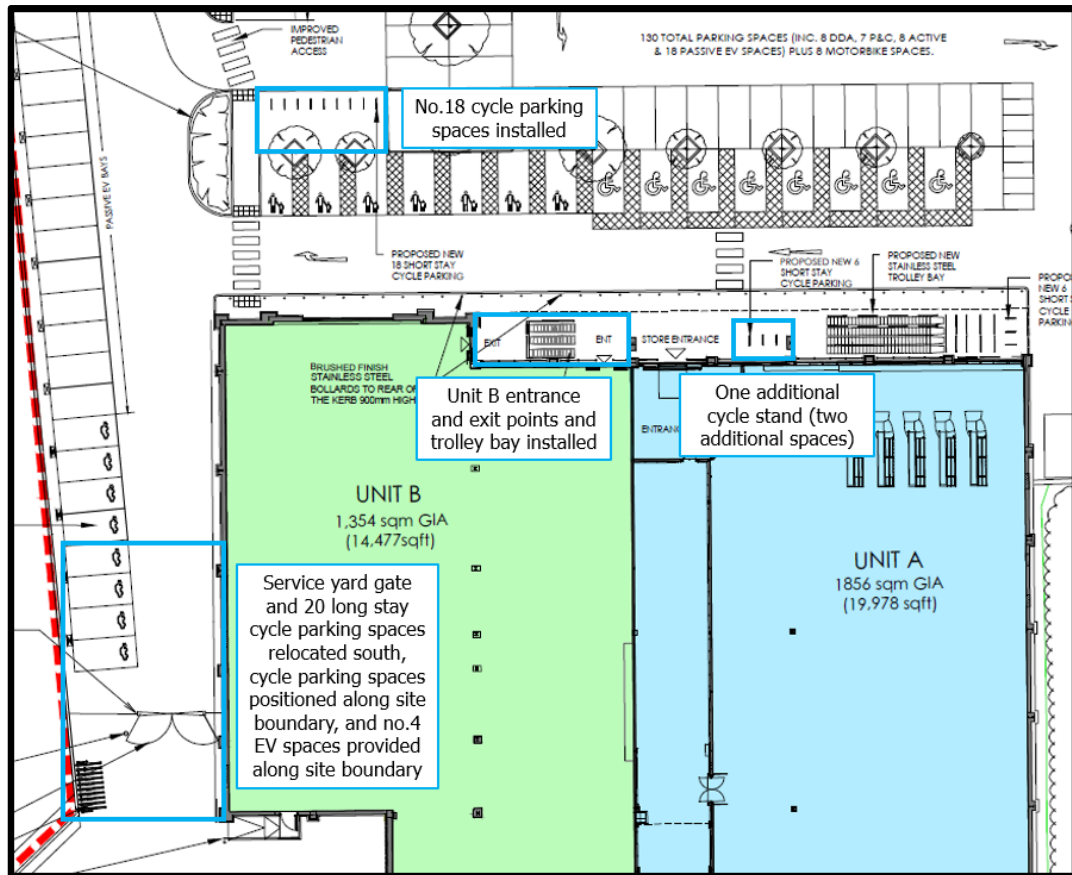
- 2.1 The previously approved Site plan indicated that Unit B would be accessed via the existing unit's entrance on the building's north frontage, which had formed the entrance for the previous operator of the unit, Halfords.
- 2.2 The proposed S73 amendments includes removing the previously approved Unit B entrance and installing separate entrance and exit points on the building's north frontage east of the previous entrance, along with installing an adjacent trolley bay.
- 2.3 The proposals allow Unit B to have its own outdoor trolley provision which is conveniently located adjacent to the new entry and exit points. These entry and exit points are also fronted by a greater area of paving than the previous entrance, which improves the efficiency of customer flow in and out of the building and enhances the general appeal of the unit.
- 2.4 To facilitate the new Unit B entry and exit points, it is proposed to remove the previously approved ten cycle stands (20 cycle spaces) fronting Unit B. In replacement of these stands, nine cycle stands will be installed to replace four car parking spaces at the western end of the car park's central row of spaces and one stand added onto the two stands fronting Unit A. There will be a dedicated pedestrian route from the nine stands to the entrances of the units.
- 2.5 The aforementioned four car park spaces will be removed to accommodate the nine cycle stands. In replacement of these spaces, four car parking spaces will be added to the south end of the row of spaces along the western boundary of the Site. This will be accommodated by repositioning the service yard gate and adjacent 20 long stay cycle parking spaces further to the south. The cycle parking spaces will be repositioned to the western boundary of the Site.
- 2.6 The active and passive EV charging provision will be retained as previously approved with eight active and 18 passive spaces.
- 2.7 An extract of the previously approved Site plan (16401-1-THPR-XX-00-DR-A-1014-Rev-P08) is provided at Figure 1, which highlights in blue the areas of the proposed changes.

Figure 1 – Extract of Previously Approved Site Plan



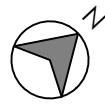
2.8 An extract of the proposed Site plan (16401-1-THPR-XX-00-DR-A-1014-Rev-P09) is provided at Figure 2, which highlights in blue the areas of the proposed changes.

Figure 2 – Extract of Proposed Site Plan



2.9 In summary, the proposed changes to the car park layout will not impact on the quantity of car and cycle parking provision.

**Appendix 1 – Approved Site Plan `16401-1-
THPR-XX-00-DR-A-1014-Rev-P08`**



BASE PROPOSED DRAWINGS SHOWN AS PER APPROVED APPLICATION 16299/APP/2023/3691

KEY
 --- BOUNDARY LINE

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Rev	Date	Description	Drawn	Chk'd
P01	27.02.24	Car Park Amended	JT	DRW
P02	05.04.24	Car Park Amended	JT/DRW	DRW
P03	09.04.24	Car Park Amended	DRW	DRW
P04	22.05.24	Car Park Amended	JT	DRW
P05	30.09.24	Floor Plan Amended	KB	DRW
P06	03.02.25	General amendment	IMN/JT	DRW
P07	14.02.25	General amendment	JT	DRW
P08	17.06.25	Text amended	JT	DRW
P08	17.06.25	General revision	JT	DRW

SITE AREA	2.30 acres
PROPOSED CUSTOMER SPACES	130 TOTAL SPACES 9 DDA, 6 P&C, 8 ACTIVE & 18 PASSIVE EV SPACES) PLUS 8 MOTORCYCLE SPACES

PROPOSED UNIT A	
GROSS INTERNAL AREA	1,856 sqm
GROUND FLOOR	1,750 sqm
MEZZANINE	106 sqm

PROPOSED UNIT B	
GROSS INTERNAL AREA	1,439 sqm
GROUND FLOOR	1,345 sqm
MEZZANINE	94 sqm

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THE HARRIS PARTNERSHIP
 ARCHITECTS

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Client
LEGAL & GENERAL

Project Title
PROPOSED DEVELOPMENT

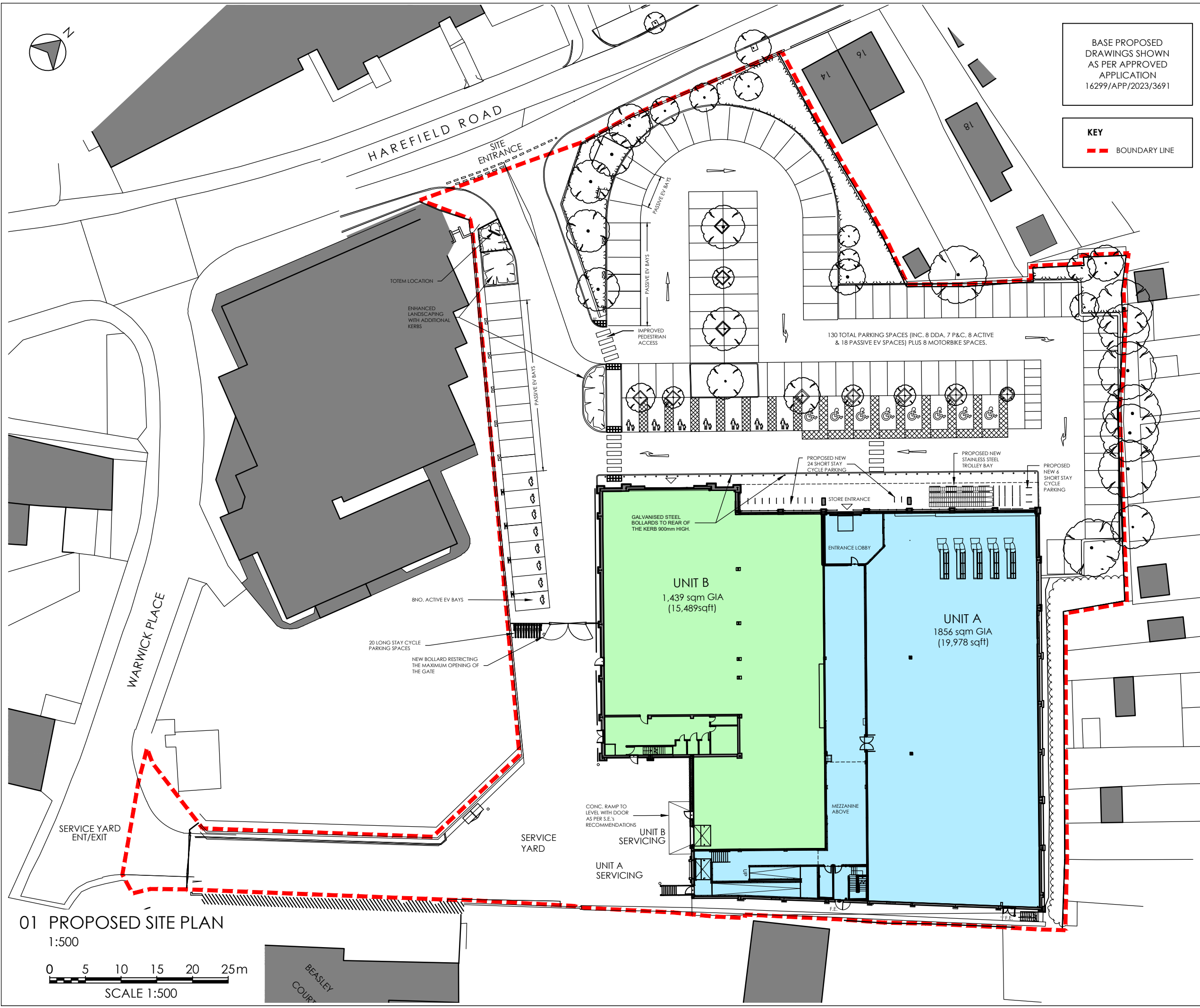
**HAREFIELD ROAD
 UXBRIDGE
 UB8 1JS**

Drawing Title
PROPOSED SITE PLAN

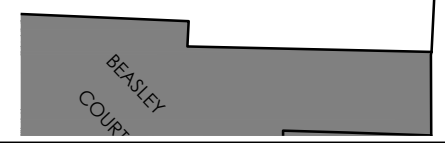
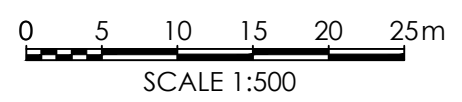
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Drawing Status	Rev.	THP Project No
PLANNING	P08	16401-1

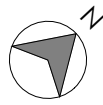
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01 PROPOSED SITE PLAN
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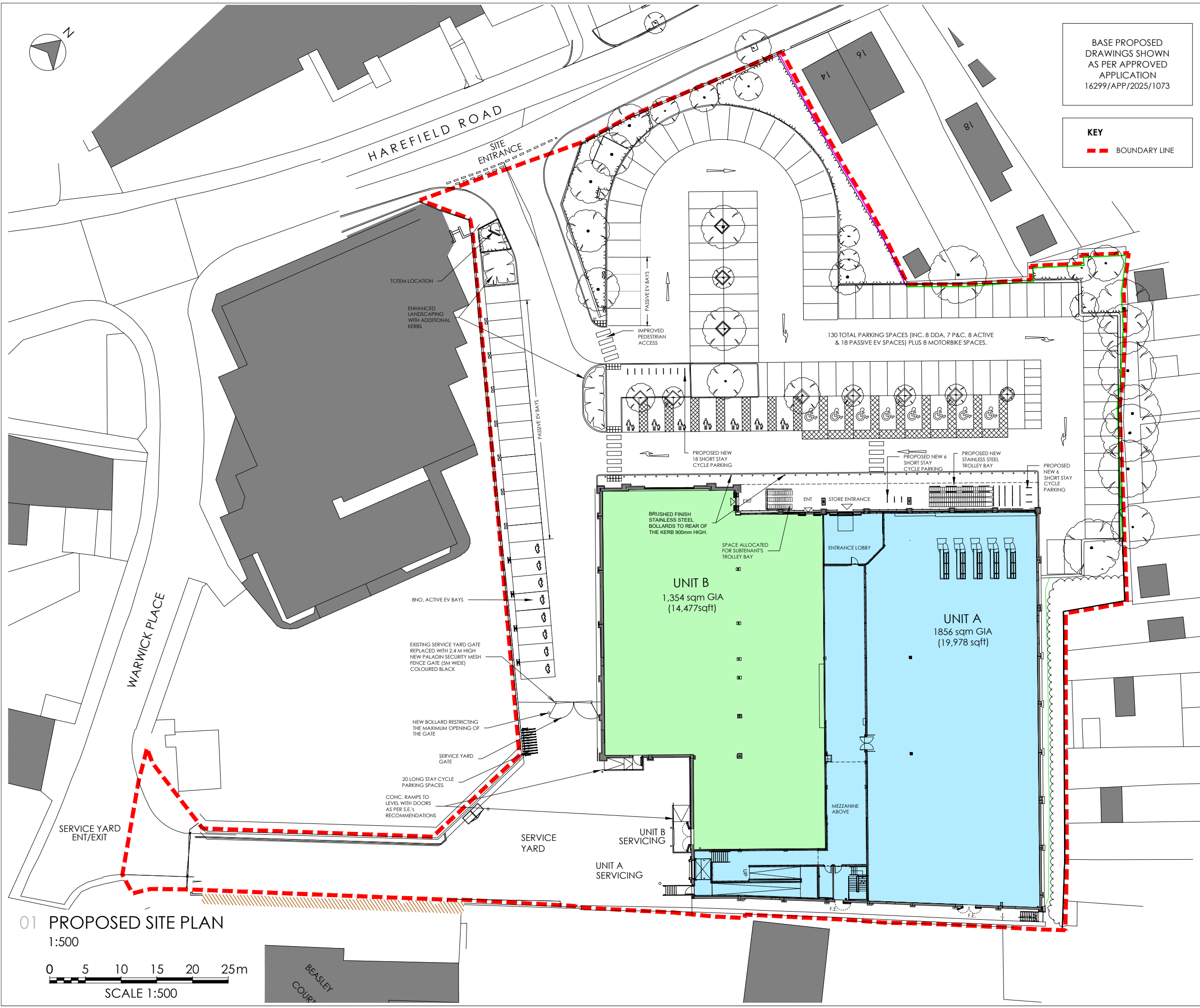


**Appendix 2 – Proposed Site Plan `16401-1-
THPR-XX-00-DR-A-1014-Rev-P09`**



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P09	03.11.25	Unit B, Unit A FE, & car park amended	KB	DRW

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PLANNING	P09	16401-1		

Project No.	Originator	Volume	Level	Type	Role	Number
16401-1	THPR	XX	00	DR	A	1014

01 PROPOSED SITE PLAN
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