

DESIGN & ACCESS STATEMENT

47 Sweetcroft Lane, Uxbridge, UB10 9LE



DESIGNING RESIDENTIAL COMMUNITIES

PROJECT REFERENCE

21060

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INTRODUCTION & ANALYSIS

PROPOSED & EXISTING

PROPOSAL

This Design & Access Statement explores the possibility to redevelop the application site as per the description below:

The development at 47 Sweetcroft Lane, Uxbridge, UB10 9LE. The scheme proposes a three-storey new build house consisting of 6 bedrooms in total.

EXISTING

The existing site consists of 1 main building, a garage and two small out-buildings, one at the front and the other at the rear for storage. The site is not located at streetfront, and lies behind the primary row of houses on the street. It is accessed by a single, long, narrow lane from the main road.



FIG 01: Satellite site plan

INTRODUCTION & ANALYSIS

LOCATION & BLOCK PLAN - SCALE AS INDICATED

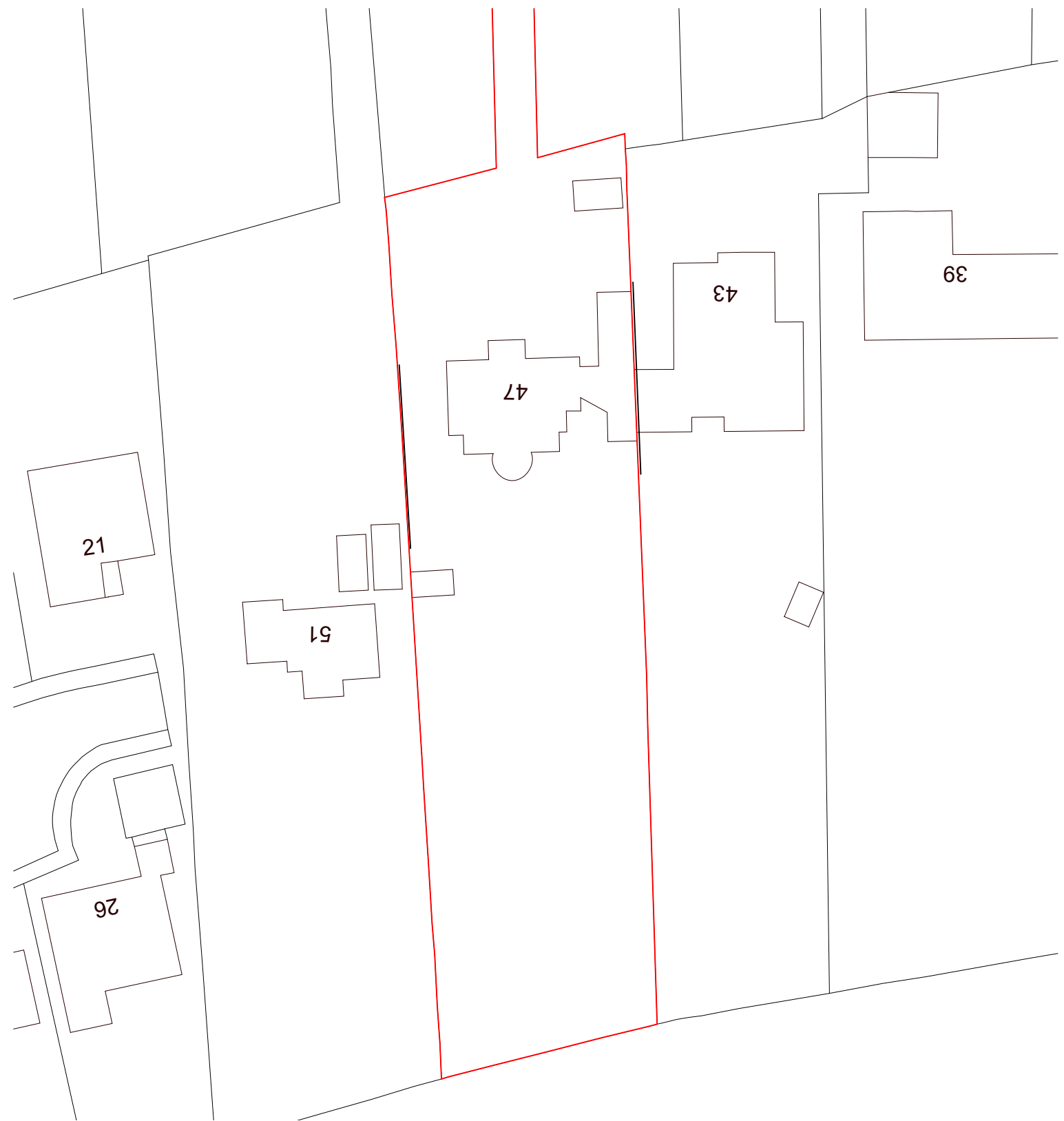
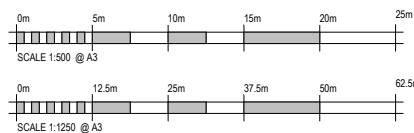


FIG 02: Location plan - scale 1:1250@A3

FIG 03: Block plan - scale 1:500@A3

INTRODUCTION & ANALYSIS

SITE PHOTOGRAPHS

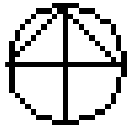


Fig 4: Key Plan



Fig 5: Site Photograph 01



Fig 6: Site Photograph 02

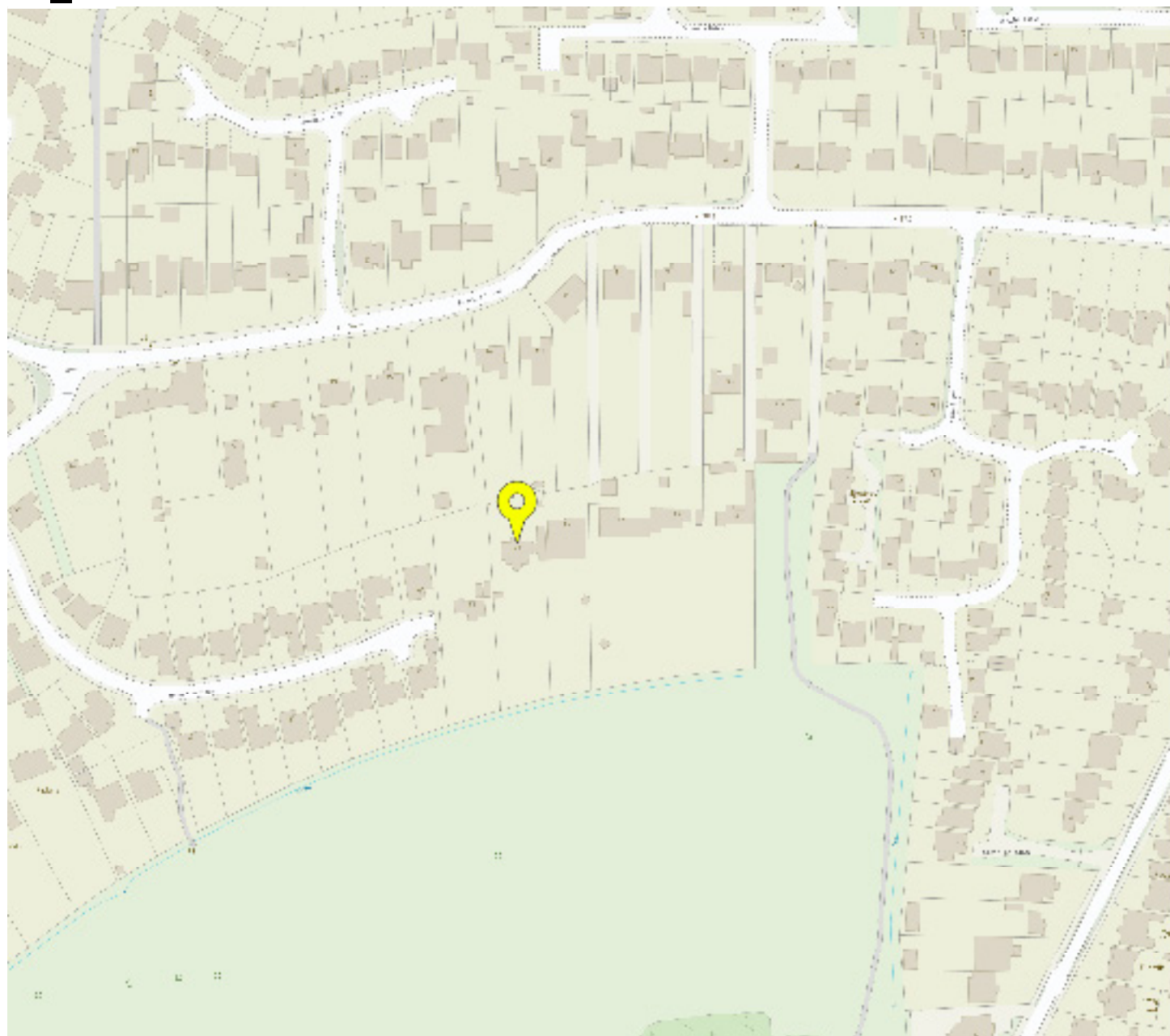
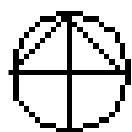


Fig 7: Site Photograph 03



Fig 8: Site Photograph 04

INTRODUCTION & ANALYSIS



Flood map for planning

Your reference
21060 Flood

Location (easting/northing)
507277/184306

Scale
1:2500

Created
29 Apr 2022 18:12

- Selected point
- Flood zone 3
- Flood zone 3: areas benefitting from flood defences
- Flood zone 2
- Flood zone 1
- Flood defence
- Main river
- Water storage area

0 20 40 60m

As shown by the environmental agency flood map to the left, the application site lies within flood zone 01. The risk of flooding is at its lowest, meaning there is no need to conduct further research or commission any further reports to investigate the possibility of flooding at this point in time.

However, Hillingdon Council identify the site as being located within a Critical Drainage Area called Group 1_023, a location which means a SuDS report is to be submitted alongside the application.

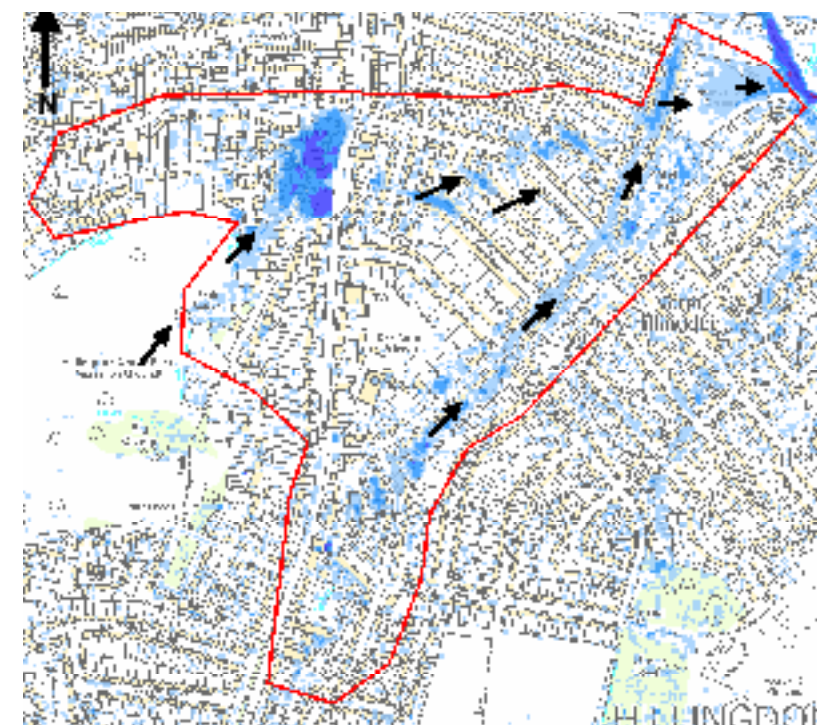


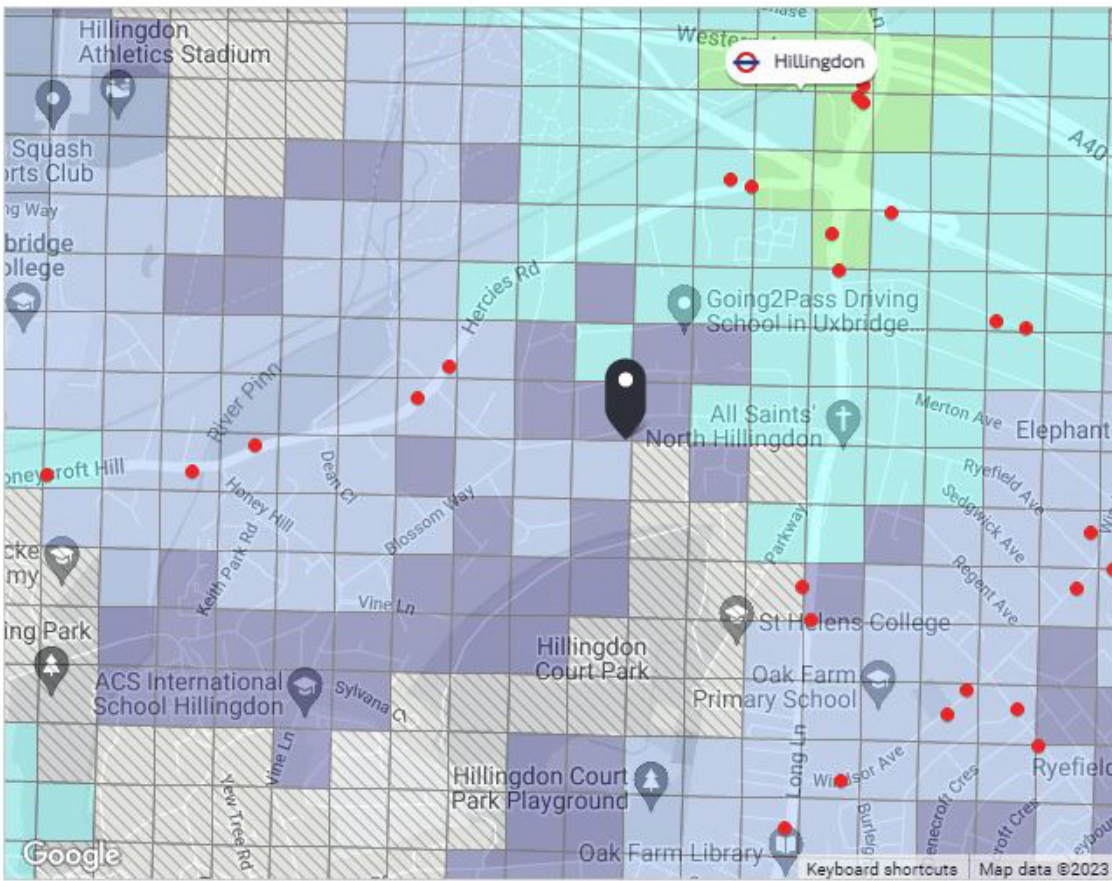
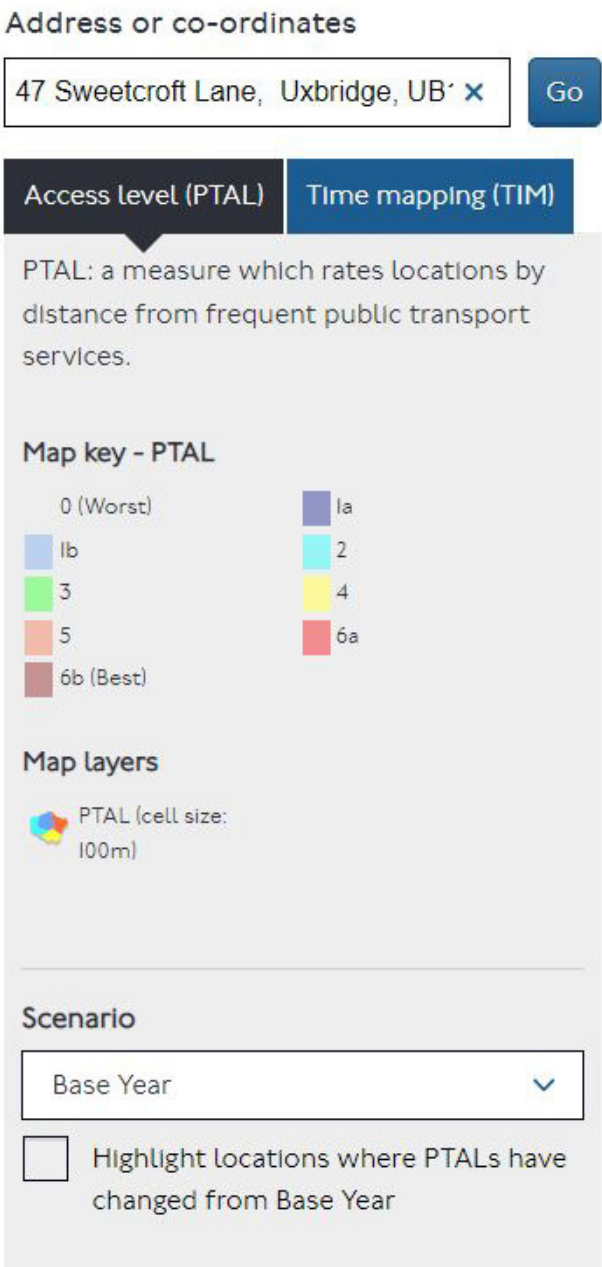
Fig 9: Flood Risk Assessment

Fig 10: Critical Drainage Area Map - Hillingdon SWMP Evidence Base

INTRODUCTION & ANALYSIS

ACCESSIBILITY

As shown by the map on the right, the application site is located in a fairly remote area indicated by the PTAL rating of 1b. However, Hillingdon train station is within a 10 minute walk and buses run frequently along the nearby roads of Long Lane and Hercies Road.



You can click anywhere on the map to change the selected location.

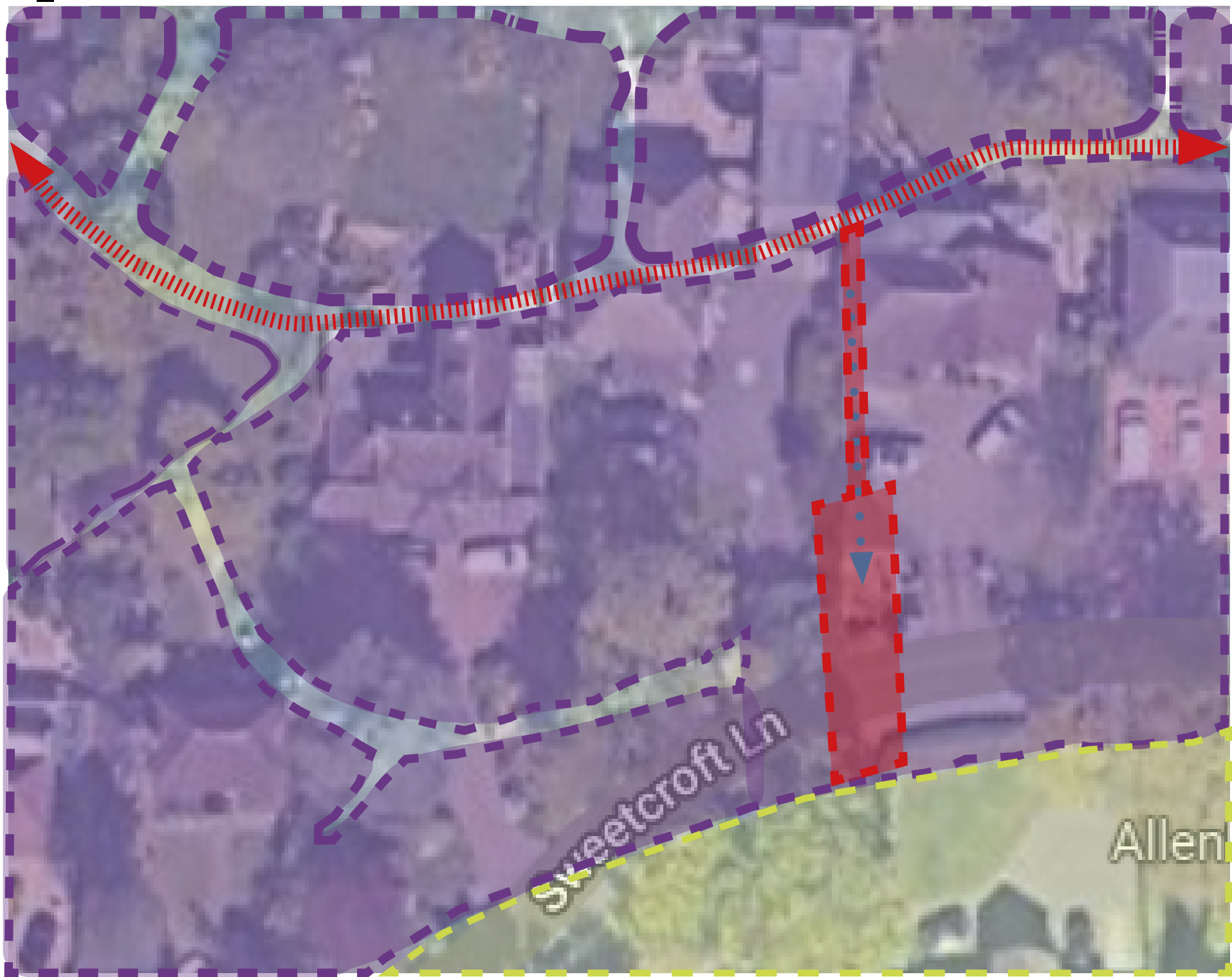
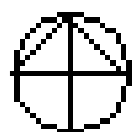
PTAL output for Base Year

1b

47 Sweetcroft Ln
47 Sweetcroft Ln, Uxbridge UB10 9LE, UK
Easting: **507283**, Northing: **184392**

Fig 11. PTAL Map

INTRODUCTION & ANALYSIS



The site is situated in a densely residential area with the surrounding typology of houses being mainly detached housing at the 2-3 storey height, finished in either brickwork or render with tiled pitched roofs. The site lies behind the primary row of houses on the street and is accessible via a single, long, narrow lane from the main road.

- Application Site
- Residential Housing
- Green Areas
- Main Road (Sweetcroft Lane, Uxbridge)
- Small Lane access within application site

Fig 12. Context Map

DESIGN DEVELOPMENT

POLICIES & HISTORY

POLICIES

The site has been highlighted in the policies map to the right. The relevant policies include that the site is in an Area of Special Local Character and is close by a Nature Conservation Site of Local Importance.

Below are more specific policies that are relevant to the site application:

London Borough of Hillingdon_Local Plan Part 1_Policy HE1

1. Conserve and enhance Hillingdon's distinct and varied environment, its settings and the wider historic landscape, which includes:

- Locally recognised historic features, such as Areas of Special Local Character...
- London Borough of Hillingdon_Local Plan Part 2_Policy DMHB 5_Areas of Special Local Character:

A) Within Areas of Special Local Character, new development should reflect the character of the area and its original layout. Alterations should respect the established scale, building lines, height, design and materials of the area.

B) Extensions to dwellings should be subservient to, and respect the architectural style of the original buildings and allow sufficient space for appropriate landscaping, particularly between, and in front of, buildings.

C) The replacement of buildings which positively contribute to the character and local importance of Areas of Special Local Character will normally be resisted.

HISTORY

The site's planning history is listed below:

15756/APP/2023/2417 | Demolition of existing house and erection of a three storey 6-bedroom dwelling with a basement and garage outbuilding to the front.
14-08-23 | Withdrawn

15756/F/97/0464 | Erection of a rear conservatory
01-04-97 | Approval

15756/C/91/0121 | Installation of a rear dormer (Application for determination under Section 64 of the Act)
29-01-91 | General Perm. Devt.

15756/B/90/0442 | Erection of a single storey side and front extension for granny annexe, erection of detached double garage and erection of a front porch
06-03-90 | Approval

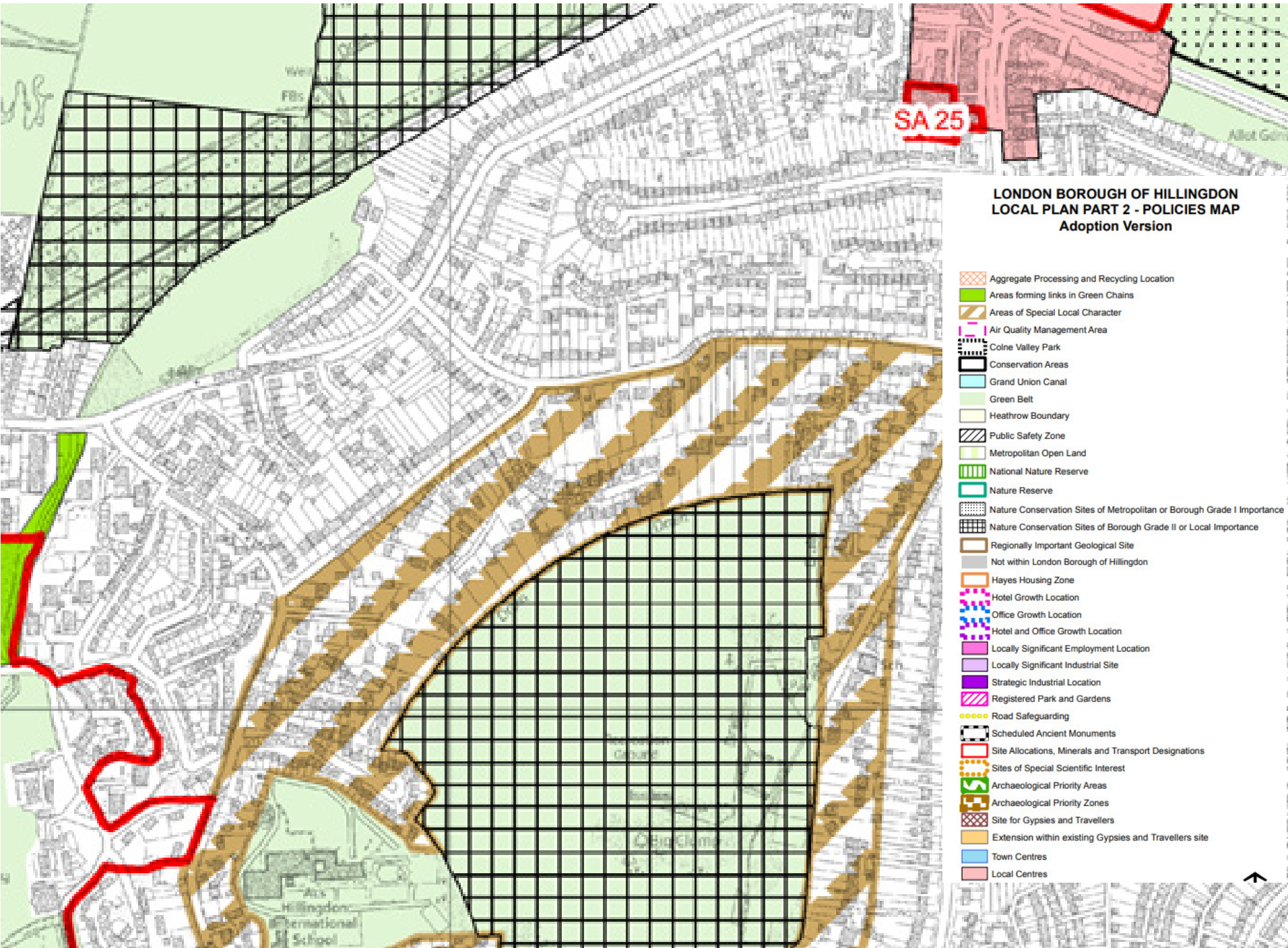


Fig 13: Policies Map

DESIGN DEVELOPMENT

NEIGHBOURING DEVELOPMENTS

43 Sweetcroft Lane

Ref No. 17412/APP/2022/854

No. 43 Sweetcroft Lane has been granted approval for the proposal below dated 7/09/2022:

“Single storey side extensions, single storey rear extension and for conversion of roof space to habitable use to include, raising of ridge of roof, 6 side dormers, 5 side rooflights and extension and conversion of front and rear of roof from hip to gable end with new gable end windows’ to allow minor fenestration changes, changes to the rooflights and dormers, internal layout changes and the ground floor side windows to remain obscure glazed but be restricted opening to allow for natural ventilation”

As shown by the approved drawings to the left, the property will be extended substantially, including a drastic increase in its ground floor footprint.

When assessing the massing of our proposal, we looked to the surrounding context to see what would be an acceptable depth for the new dwelling. This approval demonstrates to us that it’s possible to have a greater footprint at ground floor level whilst still being respectful to the neighbouring dwellings.

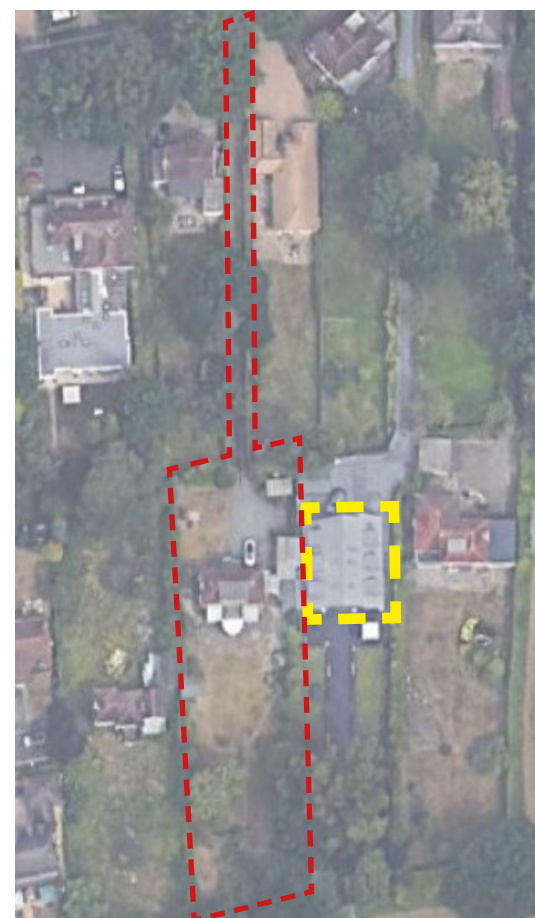
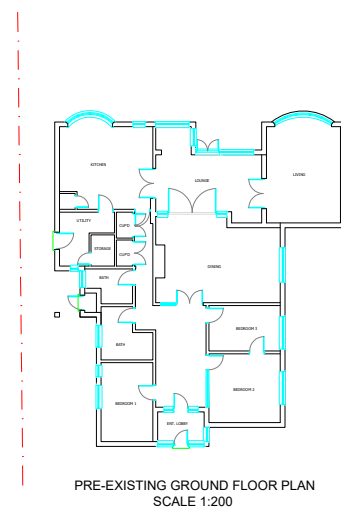
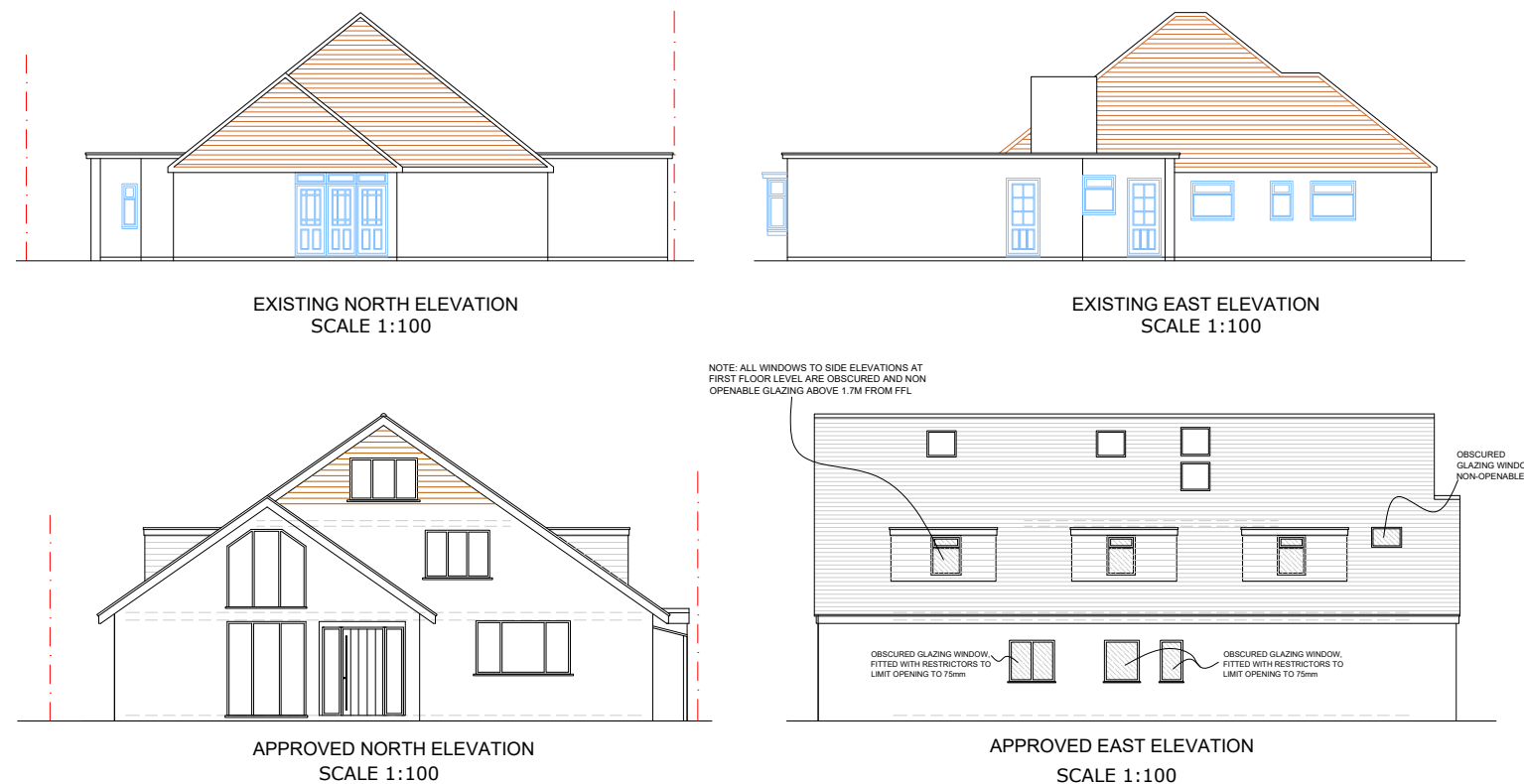


Fig 14: Approved Proposal (Ref No. 17412/APP/2022/854)

Fig 15: Location of site in respect to proposal

DESIGN DEVELOPMENT

NEIGHBOURING DEVELOPMENTS

125 Sweetcroft Lane

Ref No. 76491/APP2022/3383

Approved 22/12/2022

“Conversion of roof space to habitable use to include a rear dormer, 2 front roof lights, conversion of roof from hip to gable end and the erection of single storey side extension. (Application for a Certificate of Lawful Development for a Proposed Development)”

As shown by the approved drawings to the right, the proposal seeks to alter the existing roof substantially in order to create habitable space. This results in a significant change to the street scene as the preferred roof style of the neighbouring houses are hip roofs.

Therefore, this approval illustrates that the creation of habitable space in the loft is acceptable to the LPA, even when the street scene is thereby amended.

Though the site of our proposal is not located on the streetfront, it was important that the proposed design both created habitable space at second floor level whilst maintaining the hip roof design to ensure the impact to the existing street scene is minimal.

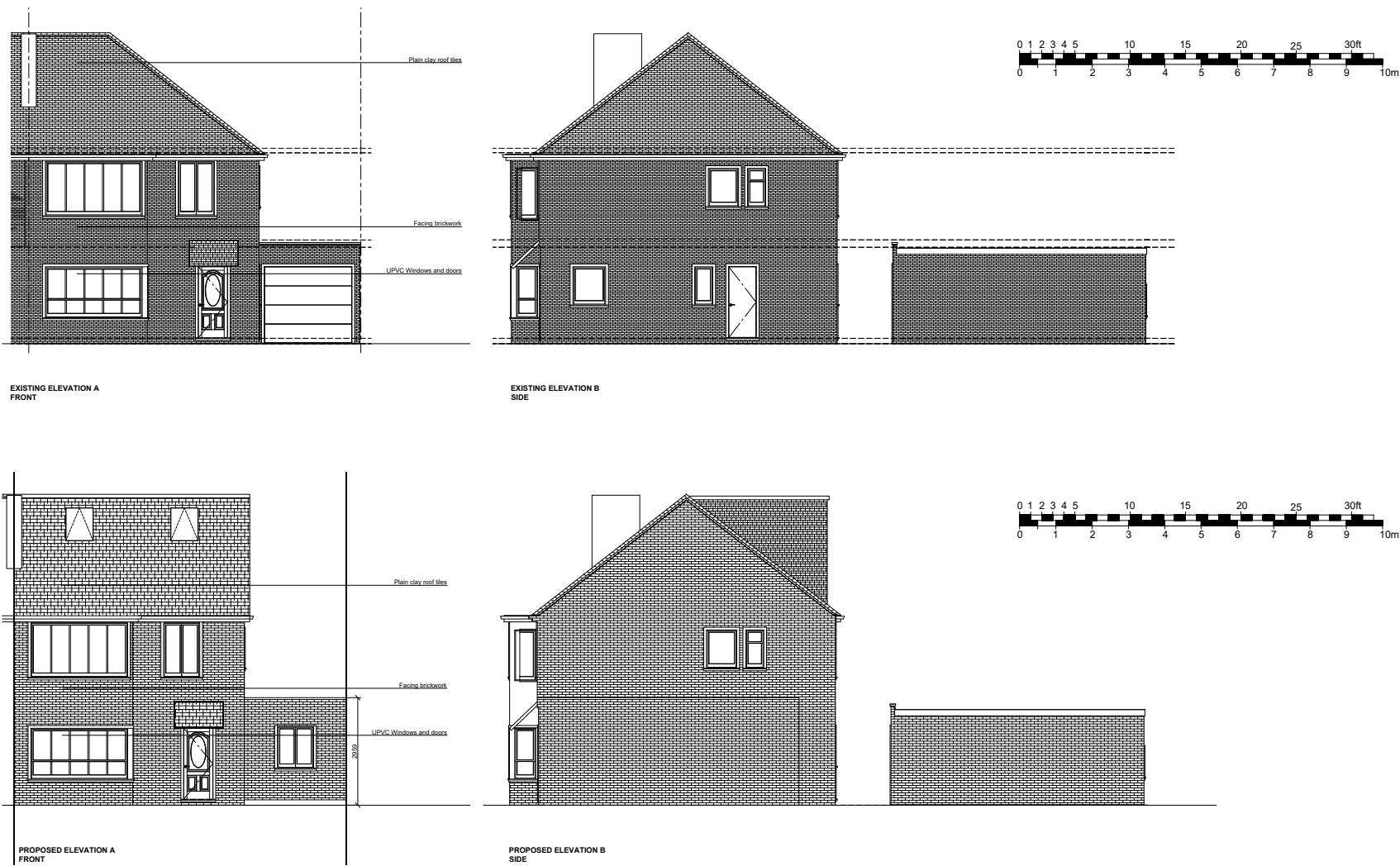


Fig 16: Approved Proposal (Ref. No. 76491/APP2022/3383)

DESIGN DEVELOPMENT

NEIGHBOURING DEVELOPMENTS

7 Dean Close

Ref No. 4774/APP/2022/1045

No. 7 Dean Close has been granted approval for the proposal below dated 27/09/2022:

“Erection of a single storey rear infill extension, construction of additional floor with loft accommodation, front dormer and front and rear rooflights”

As shown by the approved drawings to the left, the property will be extended substantially including drastic alterations to the roof.

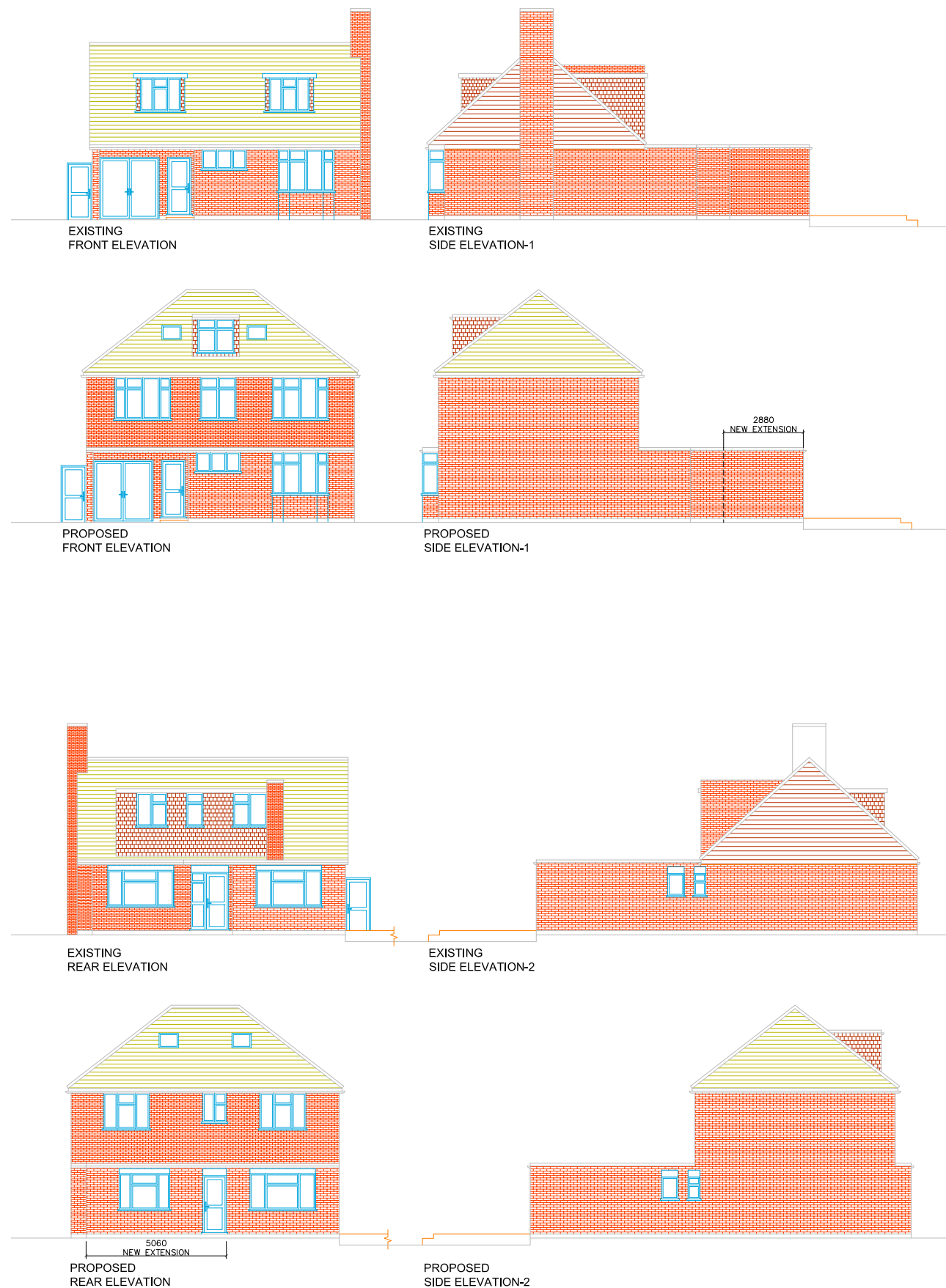


Fig 17: Approved Proposal (Ref. No. 4774/APP/2022/1045)

DESIGN DEVELOPMENT

EXISTING FLOOR PLAN AND ELEVATIONS

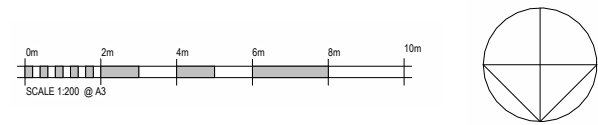


Fig 18: Existing Front Elevation



Fig 20: Existing Side Elevation

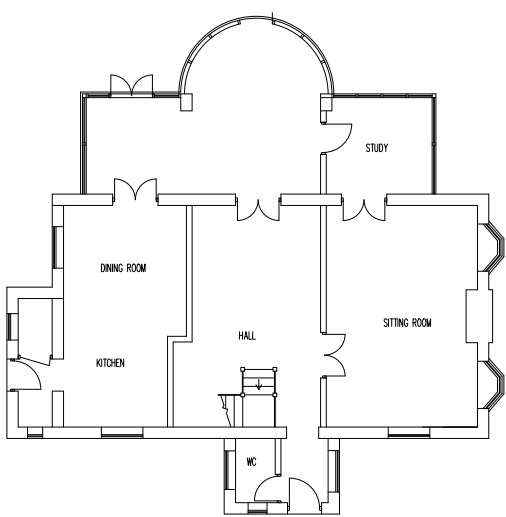


Fig 22: Existing Ground Floor



Fig 19: Existing Rear Elevation



Fig 21: Existing Side Elevation

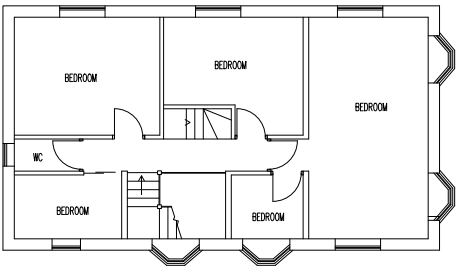


Fig 23: Existing First Floor

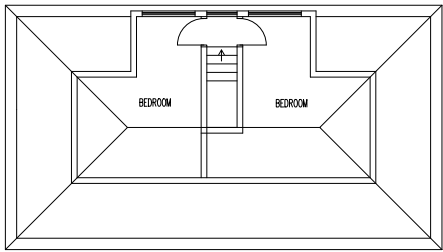


Fig 24: Existing Second Floor

PREVIOUS DESIGN

Pre-Application Design 15756/PRC/2022/115

A pre-application scheme was sought from the council on 19/05/22, followed by a meeting on 29/06/22 with Ms. Zara Raza. A response was received on 7th September 2022. Key takeaways from the pre-application process were as follows:

- The building footprint should not be moved forward to maintain the staggered arrangement of properties on Sweetcroft Lane.
- The size of the crown roof should be reduced to avoid a bulky and incongruous appearance.
- Evidence should be provided to demonstrate that the proposed footprint and massing will not negatively impact the amenity, daylight, and sunlight of neighboring properties.
- The architectural style and configuration should consider the site context, as it is located within an Area of Special Local Character.

Planning Application Ref No. 15756/APP/2023/2417

Following the pre-application process, a planning application was submitted on 14/08/2023. Despite the numerous reductions made to address the above issues, further concerns were raised by the planning officer, Mr. Michael Briginshaw. He recommended that the scheme be withdrawn and resubmitted for a pre-application discussion. Key issues noted by the planning officer were outlined in an email sent to GAA on 10/11/2023 as follows:

- Massing of the scheme in relation to the neighbouring houses
- Architectural style
- Contradiction in the landscape plan indicating the removal of trees



Fig 31: North/ Front Elevation as submitted at application Ref No. 15756/APP/2023/2417



Fig 34: East/ Flank Elevation as submitted at application Ref No. 15756/APP/2023/2417



Fig 32: South/ Rear Elevation as submitted at application Ref No. 15756/APP/2023/2417



Fig 35: Side Elevation as submitted at application Ref No. 15756/APP/2023/2417



Fig 33: Front CGI as submitted at application Ref No. 15756/APP/2023/2417



Fig 36: Rear CGI as submitted application Ref No. 15756/APP/2023/2417

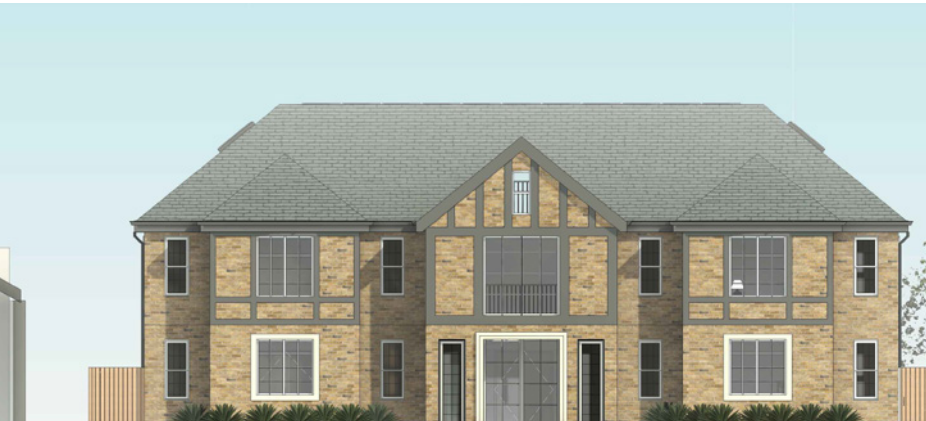


Fig 25: North/ Front Elevation as submitted at pre-application Ref No.15756/PRC/2024/16



Fig 28: East/Flank Elevation as submitted at pre-application Ref No.15756/PRC/2024/16

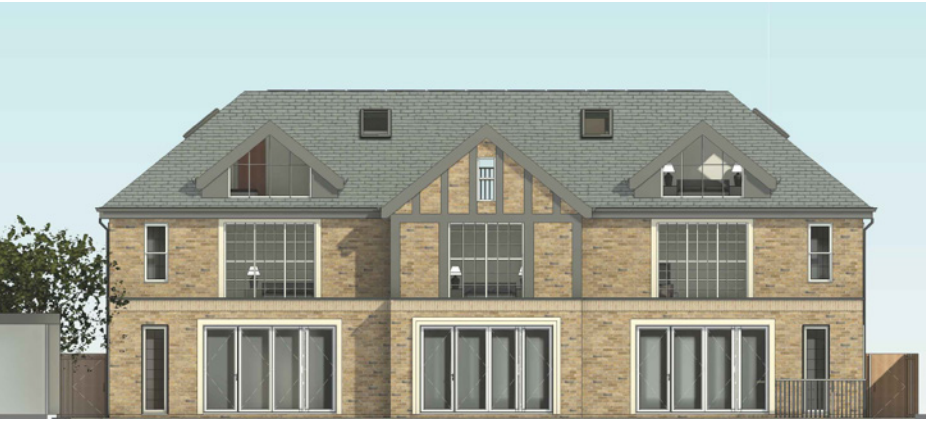


Fig 26: South/ Rear Elevation as submitted at pre-application



Fig 29: West/Flank Elevation as submitted at pre-application Ref No.15756/PRC/2024/16



Fig 27: Rear CGI as submitted at pre-application Ref No.15756/PRC/2024/16



Fig 30: Rear CGI as submitted at pre-application Ref No.15756/PRC/2024/16

Pre-Application Ref No. 15756/PRC/2024/16

Following the pre-application process, a planning application was submitted on 25/01/2024, and a meeting was held on 27/03/2024 with Mr. Daniel Ambrose. A response was received on 19/07/2024. Key takeaways from the pre-application were:

- The crown should be reduced, along with an overall reduction in the mass and bulk of the building.
- The large willow tree at the rear of the site and the oak tree just outside the site should be protected in relation to future proposals and construction, given their extensive root protection areas.

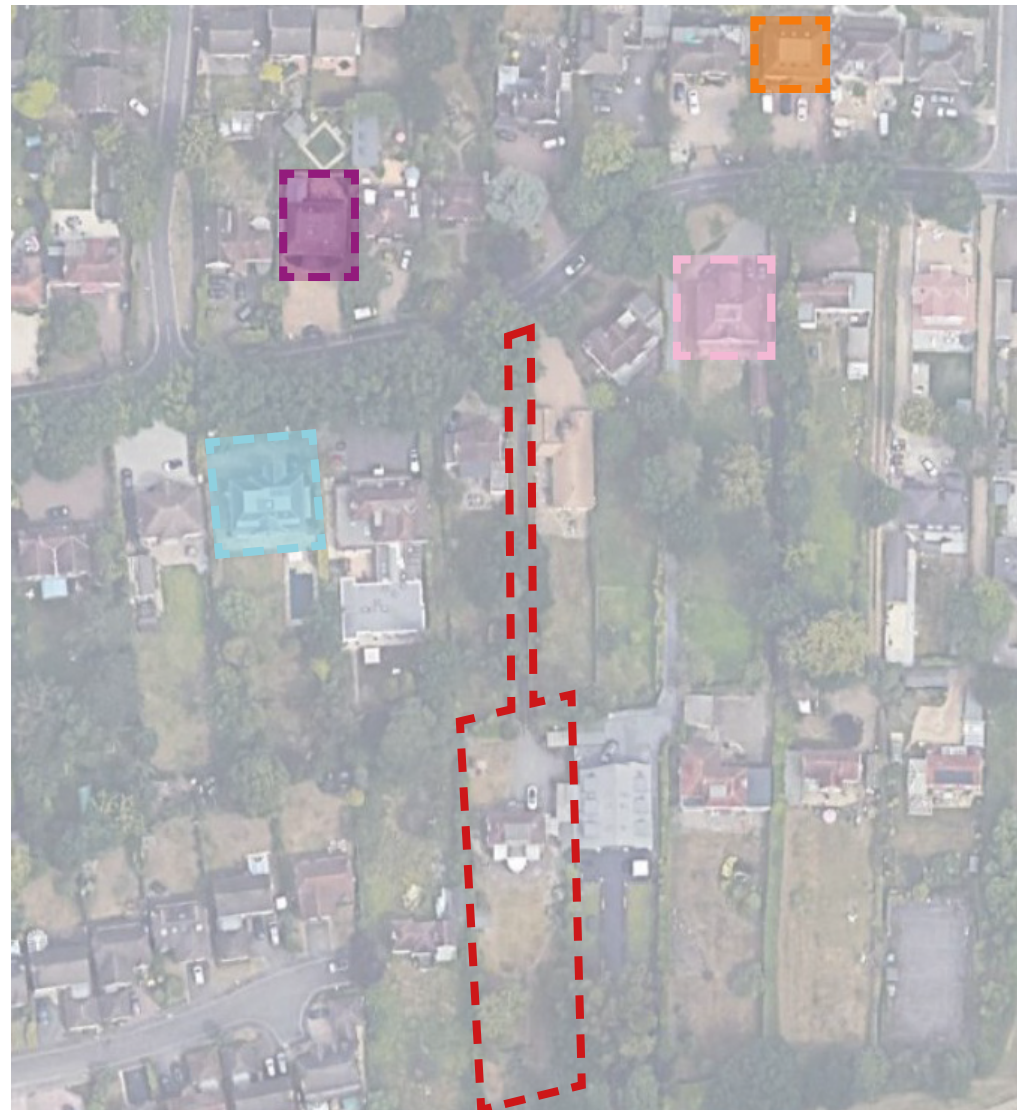


Fig 37: 3D View of Proposal

- KEY
- Location of proposal
 - 50 Sweetcroft Lane
 - 38 Sweetcroft Lane
 - 41 Sweetcroft Lane
 - 57 Sweetcroft Lane

Design Changes

As per the changes addressed in Pre-application ref. 15756/PRC/2024/16, the proposal has reduced in mass and bulk, whilst the accommodation is similar to the scheme as submitted at planning i.e 6 bedrooms, though there has been a significant reduction in the mass of the scheme.

Furthermore, the first floor has been recessed to allow for a smaller, 'thinner' building at first floor. Also the articulation of front facade, reduces the mass of the building.

Considering the trees on the site (especially mentioned: willow tree at rear and Oak tree on entrance of the site), as mentioned in all previous planning references, the measures are being taken and survey has been provided for protection of trees during construction and in future.

The ridge height has been dropped in comparison to the scheme submitted at planning. The ridge height of the proposed scheme is 524 mm higher than the existing ridge height. It must be realised however that the new scheme is compliant with the technical space standards and the london plan, that were not applicable to the existing house which has an impact to the overall height of the scheme.

Crown Roof

In his email on 6th Novemeber 2023, Michael Briginshaw had made reference to the crown roof of 23 msq, following the latest planning ref as well in 2024. The crown roof area is similar in the current scheme to the scheme submitted at planning. This has been retained as a design solution for hosting the solar panels. In contrast the dormers provided do not have flat roofs, and are pitched.

In response to the same comment, the crown roofs of neighbouring houses were considered, and thus the crown roof was greatly reduced in size to 14 sqm. The location of neighbouring properties with crown roofs have been documented in fig. 37, the most recent being approved by the council in 2009.

50 Sweetcroft Lane, planning approved 2005 61078/APP/2005/3254
 38 Sweetcroft Lane, planning approved 2008 25056/APP/2008/474
 41 Sweetcroft Lane, planning approved 2009 56308/APP/2009/110
 57 Sweetcroft Lane, planning approved 1990

DESIGN PROPOSAL

INTRODUCTION

Design

The proposed development is for a three-storey, six-bedroom house alongside a new garage at the front. The design responds to comments recieved from planning officers during the pre-application and planning stages. In response to this feedback, the scheme has been redesigned to imitate an edwardian style of architecture, which is more in keeping with the character of the street scene on Sweetcroft lane.

Massing/ Height

As per the section AA besides, the proposal will be 524mm taller than the existing house. It is important to note that the planning officer’s comments as mentioned earlier have been taken on board. The proposed scheme is 1614mm lower than the scheme submitted for planning. The proposal situates the property just over 1m from the side boundary on both sides. This allows for paths leading to the garden from both side of the property. Furthermore, the first floor is set back from the ground floor to reduce the overall mass of the building. Fig 38 provides a comparison of the scheme submitted at planning and evidences a large reduction in massing volume of the scheme. It is important to note that internal minimum ceiling heights of 2500mm were implemented to comply with the London Plan.

The angle of the pitch sits at 40°, which is close to the minimum required for a pitched roof. Whilst the minimum pitched recommended for our specified tile is 35°, we are working with 40° to eliminate any risk or performance failure by the tile. Also as per previous planning ref. comments, the crown size is reduced, making the elevation look less bulky.

Layout

The ground floor will be extended to the rear no more than 4m from the original footprint of the existing dwelling. This is to provide a larger layout with a greater number of rooms to accommodate the increased number of functions which the client would like to incorporate. The upper floors will provide 6 double bedrooms, all of which will be ensuite. The new floor space will enhance the quality of living and create functional areas that will improve the comfort for the user.

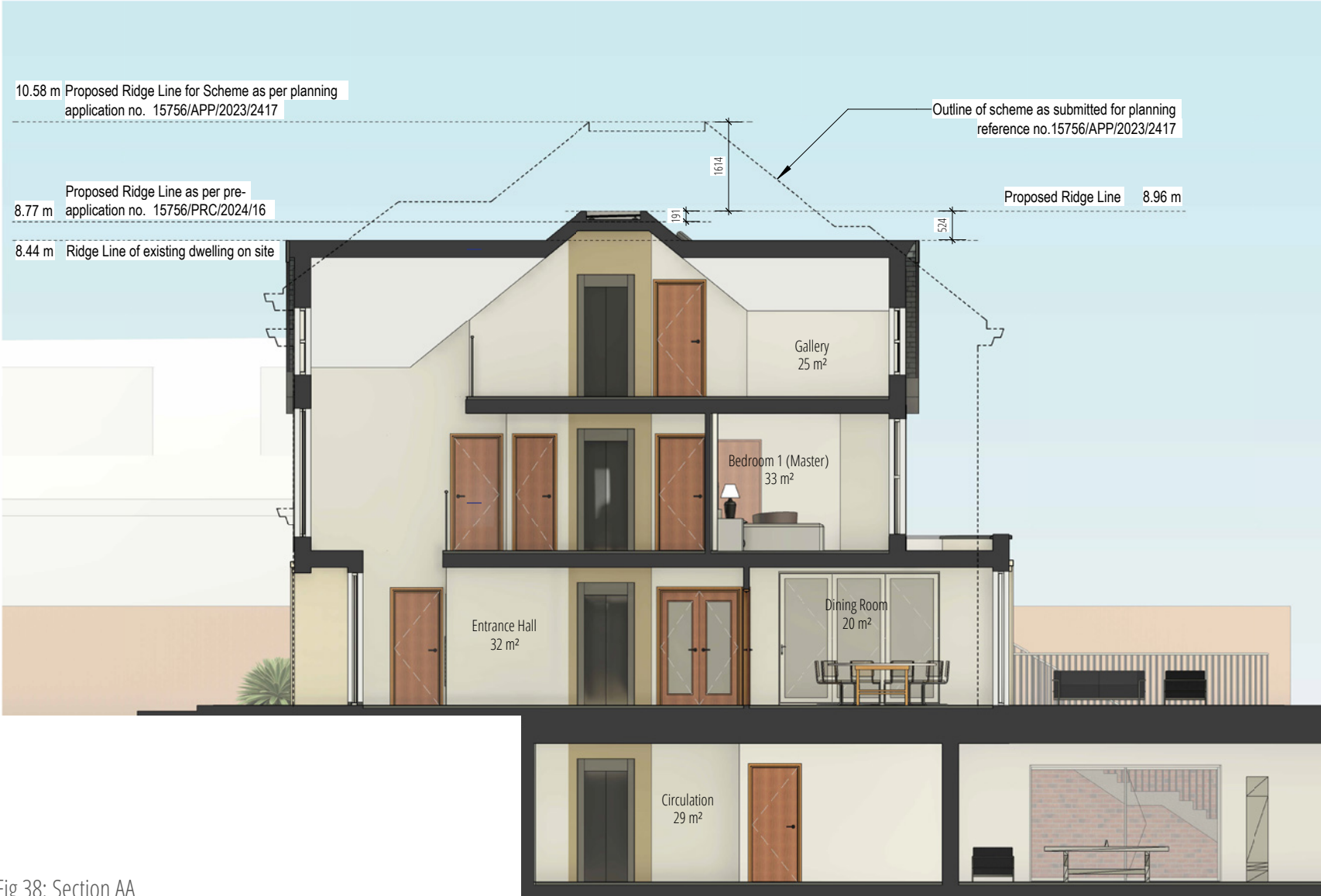
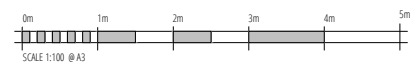


Fig 38: Section AA

DESIGN PROPOSAL

BASEMENT PLAN - Scale 1:100@A3

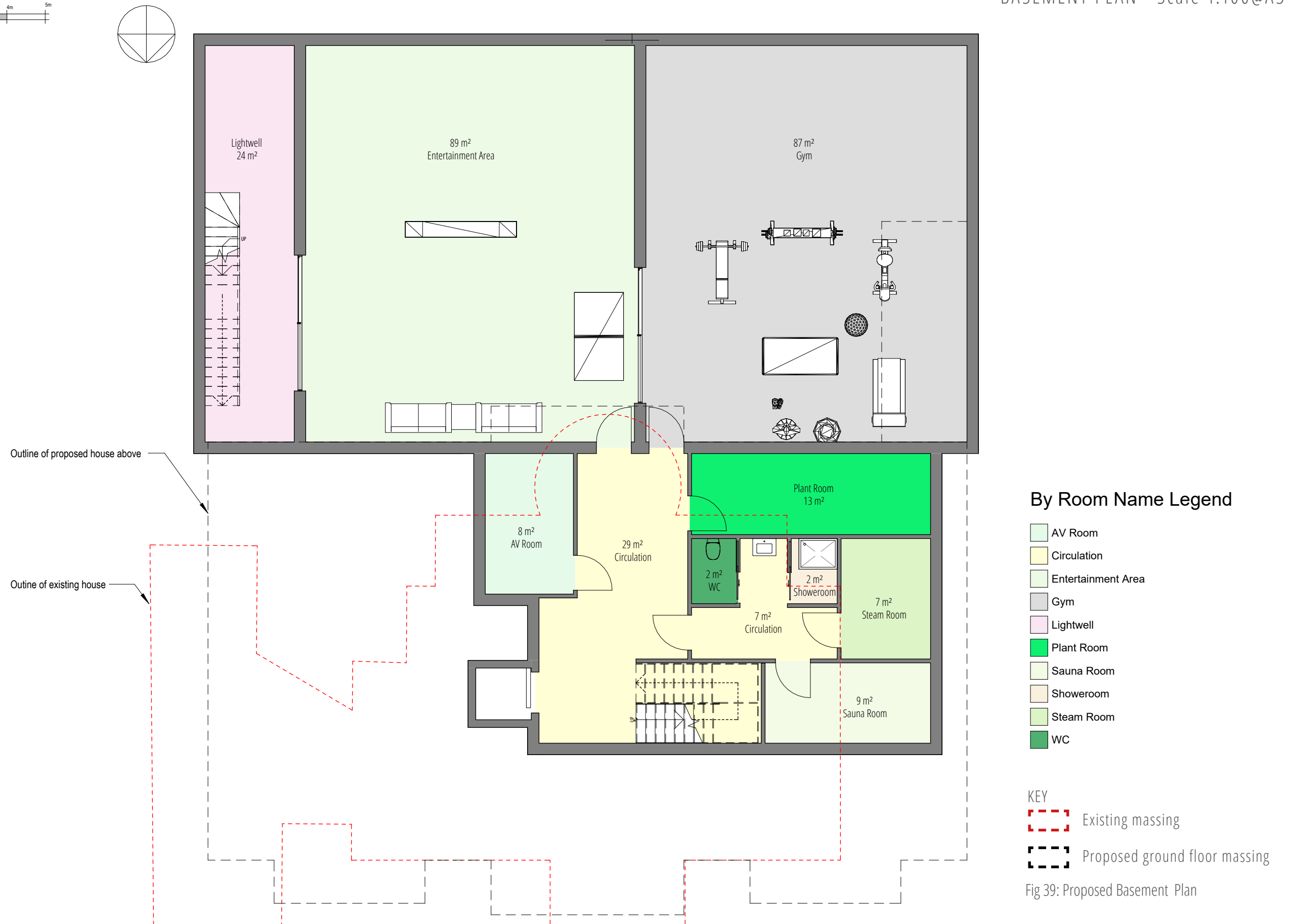
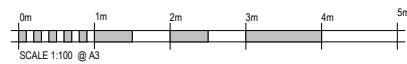
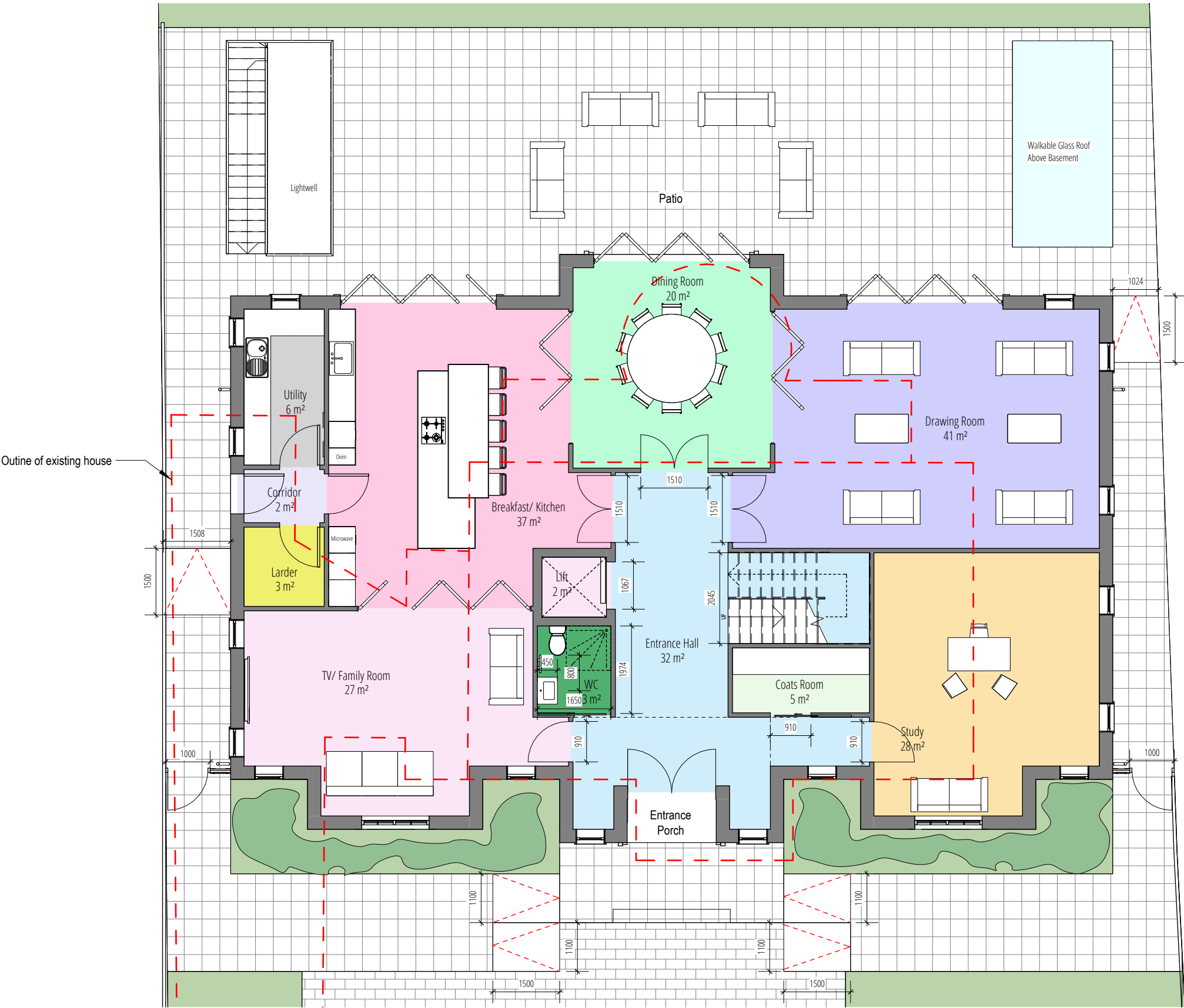
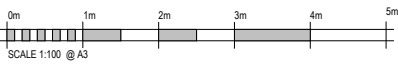


Fig 39: Proposed Basement Plan

DESIGN PROPOSAL

GROUND FLOOR PLAN - Scale 1:100@A3



By Room Name Legend

- Breakfast/ Kitchen
- Coats Room
- Corridor
- Dining Room
- Drawing Room
- Entrance Hall
- Larder
- Lift
- Study
- TV/ Family Room
- Utility
- WC

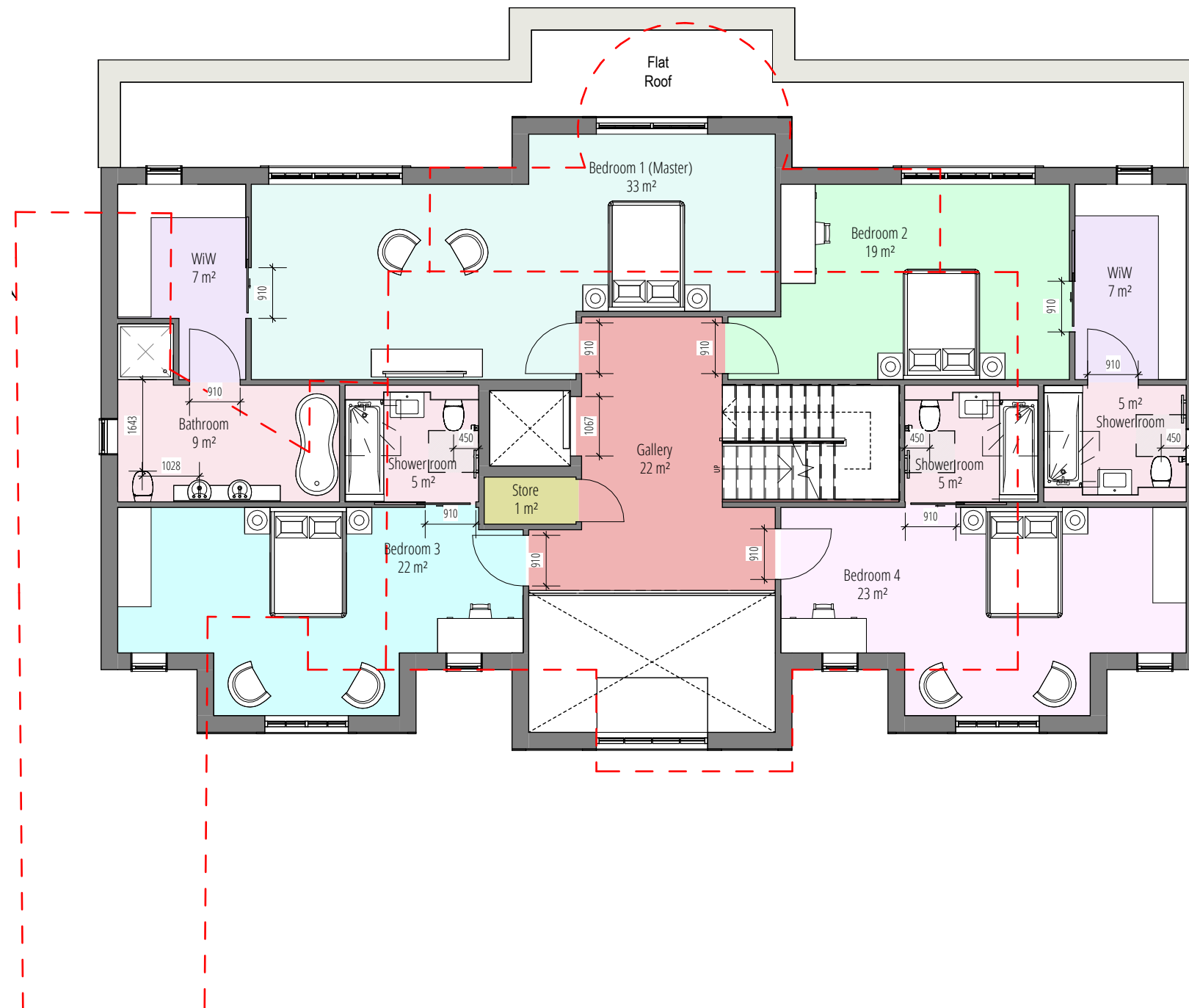
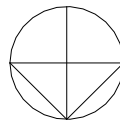
- KEY
- Existing massing
 - Proposed ground floor massing

Fig 40 Proposed Ground Floor Plan

DESIGN PROPOSAL

FIRST FLOOR PLAN - Scale 1:100@A3

0m 1m 2m 3m 4m 5m
SCALE 1:100 @ A3



By Room Name Legend

- Bathroom
- Bedroom 1 (Master)
- Bedroom 2
- Bedroom 3
- Bedroom 4
- Gallery
- Shower room
- Store
- WiW

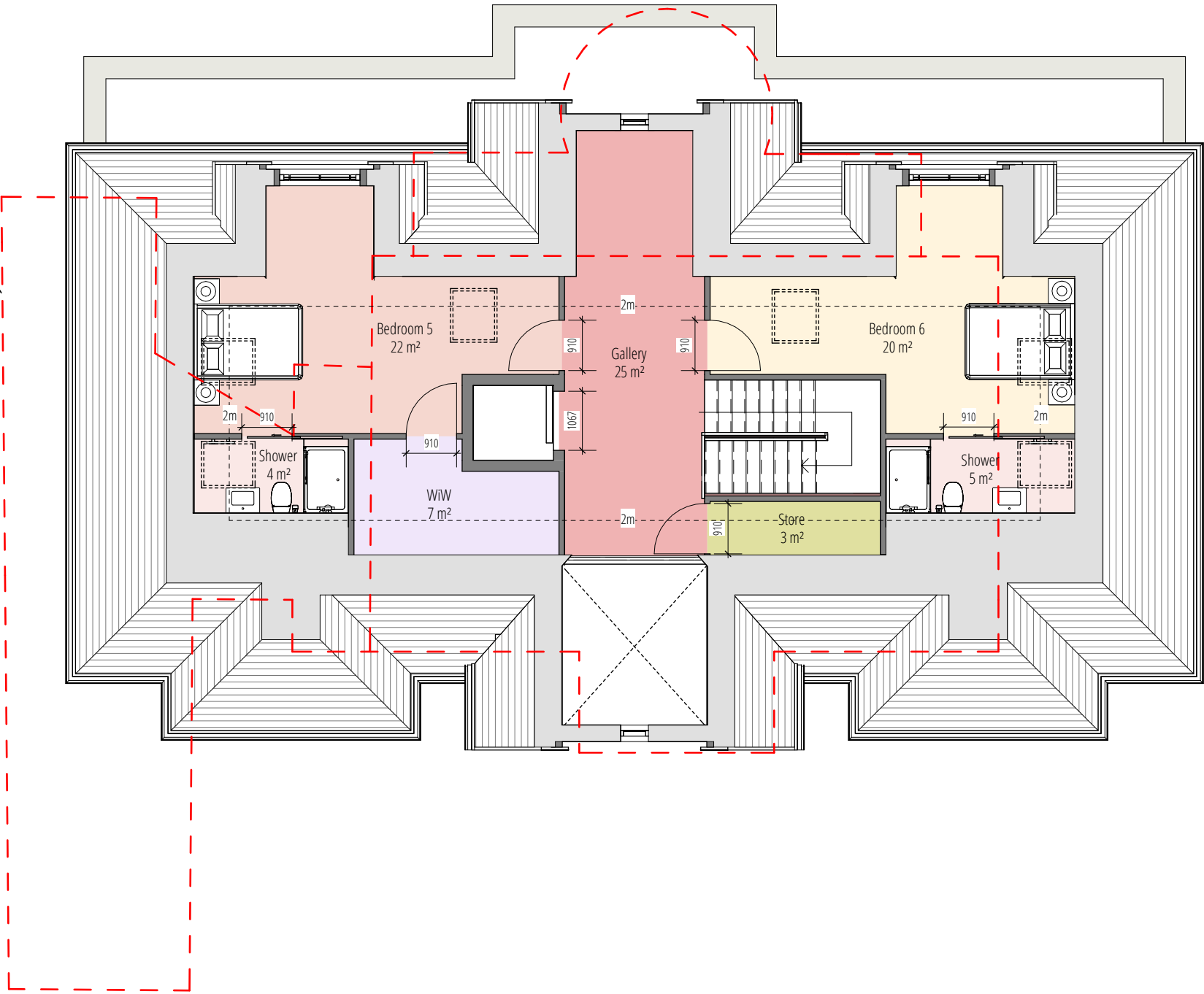
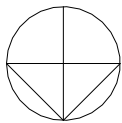
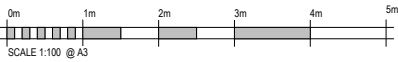
KEY

- Existing massing
- Proposed ground floor massing

Fig 41 Proposed First Floor Plan

DESIGN PROPOSAL

SECOND FLOOR PLAN - Scale 1:100@A3



By Room Name Legend

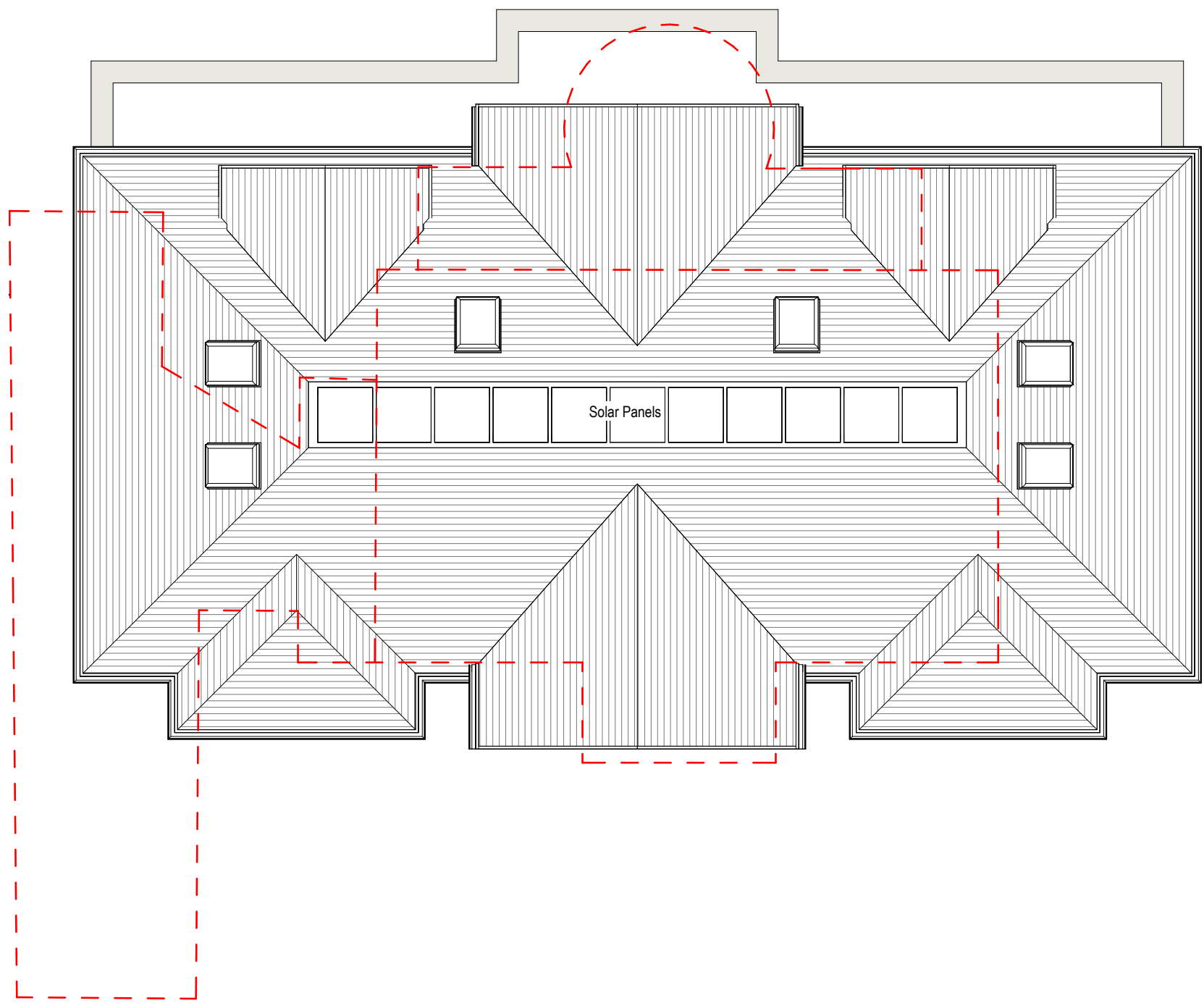
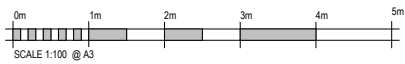
- Bedroom 5
- Bedroom 6
- Gallery
- Shower
- Store
- WiW

- KEY
- Existing massing
 - Proposed ground floor massing

Fig 42: Proposed Second Floor Plan

DESIGN PROPOSAL

ROOF PLAN - Scale 1:100@A3



- KEY
- Existing massing
 - Proposed ground floor massing

Fig 43: Proposed Roof Plan

DESIGN PROPOSAL

FRONT AND REAR ELEVATIONS - Scale 1:100@A3

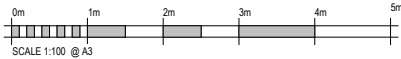


Fig 44: Proposed Front Elevation



Fig 45: Proposed Rear Elevation

DESIGN PROPOSAL

SIDE ELEVATIONS - Scale 1:100@A3



Fig 46: Proposed East Elevation



Fig 47: Proposed West Elevation

DESIGN PROPOSAL

3D VIEWS



Fig 48: 3D View 1



Fig 50: 3D View 2

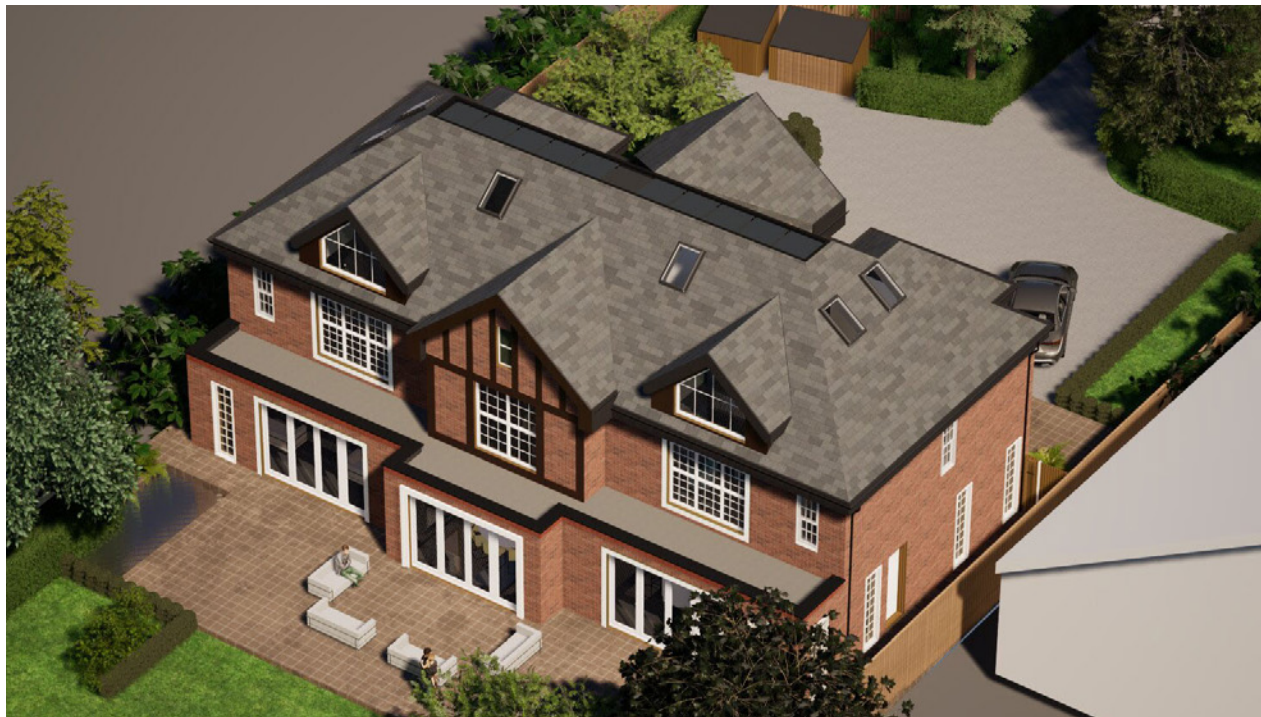


Fig 49: 3D View 3



Fig 51: 3D View 4

DESIGN PROPOSAL

NEIGHBOURING IMPACT

The existing building is visible from Portman Gardens as would be the proposed building. We have provided a CGI of what would be potentially be visible from Portman Gardens.

The images to the left show the change of impact from Portman Gardens between existing demise and the proposed demise.

We believe the changes in massing and footprint have a minimal visual impact as the existing plant-life obstruct much of the view and thus break up the skyline.



Fig 52: View of existing from Portman Gardens



Fig 53: CGI View of proposal from Portman Gardens

DESIGN PROPOSAL

SCHEDULE OF ACOMMODATION

Existing Gross Internal Areas
Main building 210 m² / Garage 44 m² / Tot. 254 m²

Proposed Gross Internal Areas
Main building 695m² / Garage 32 m² / Tot. 727 m²

	Space	Area (m²)		Space	Area (m²)
Basement Level/	Lightwell	24	First Floor	Gallery	22
	Entertainment Area	89		Bedroom 1 (Master)	33
	Gym	87		Bathroom	9
	Plant Room	13		WiW	7
	Circulation	29		Bedroom 2	19
	WC	2		Bathroom	5
	Shower room	2		WiW	7
	AV Room	8		Bedroom 3	22
	Sauna Room	9		Shower Room	5
	Steam Room	7		Bedroom 4	23
	Lift	2		Shower Room	5
				Store	1
Ground Floor	Entrance Hall	32	Second Floor	Lift	2
	TV/ Family Room	27		Gallery	25
	Utility	6		Bedroom 5	22
	Breakfast/ Kitchen	37		Shower	4
	Dining Room	20		WiW	7
	Drawing Room	41		Bedroom 6	20
	Study	28		Shower	5
	Coat Room	5		Store	3
	WC	3		Lift	2
	Lift	2			
	Larder	3			

DESIGN PROPOSAL

Site Plan - Scale 1:500@A3 / Site Plan Partial - Scale 1:200@A3

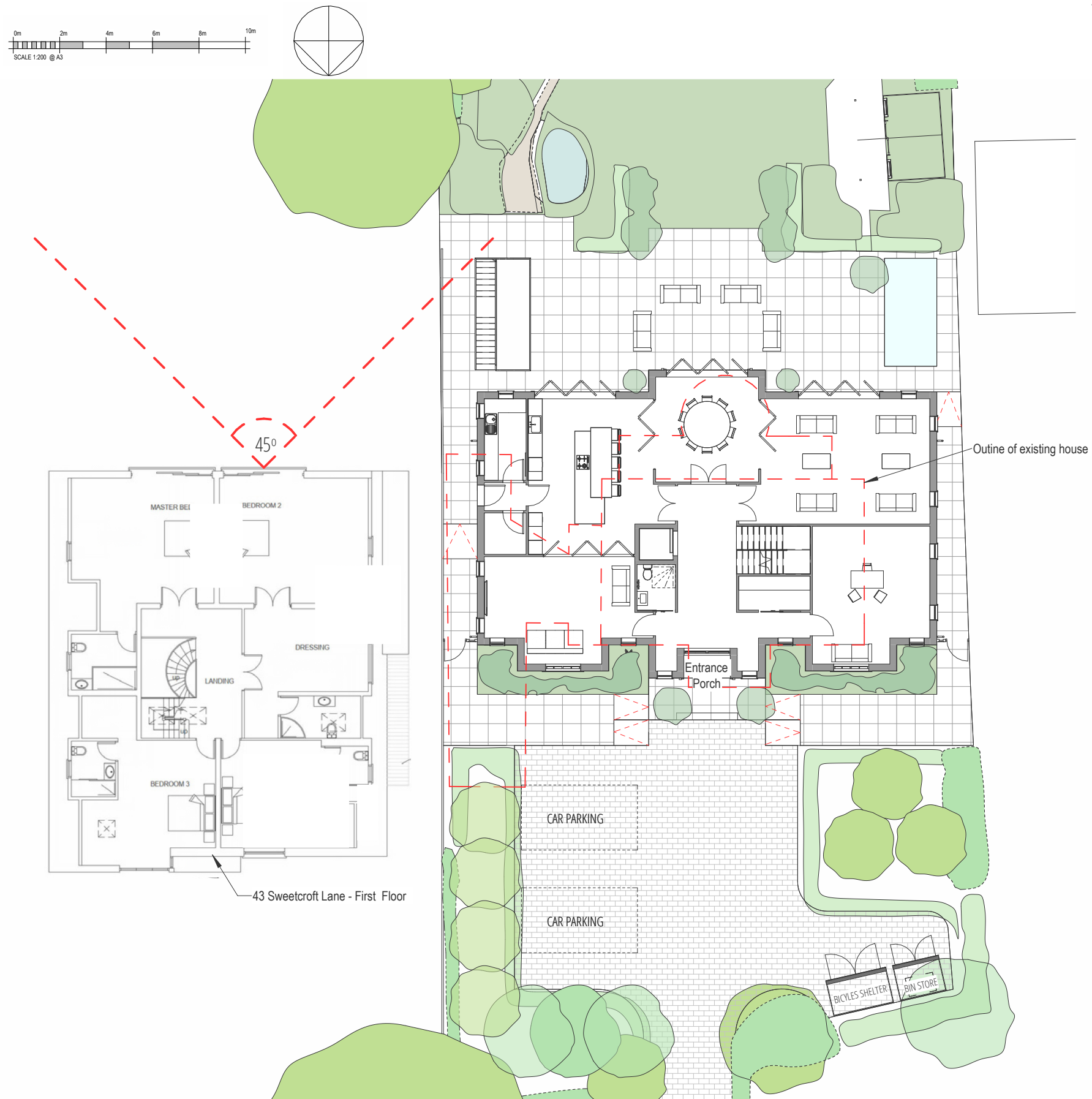


Fig 54 Proposed Site plan - Partial

The proposal allows greater flexibility for proposed soft landscape and screening to the north of the proposed dwelling.

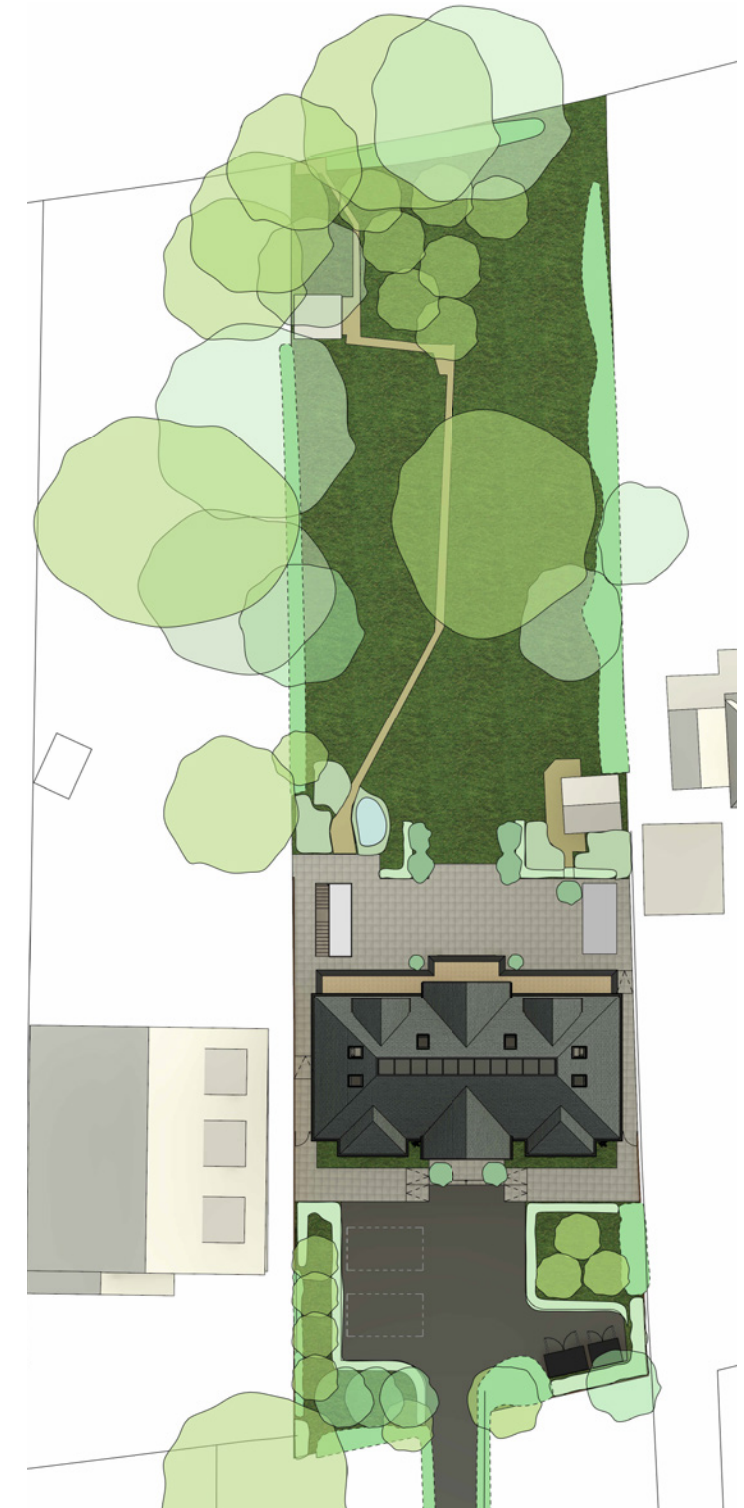


Fig 55: Proposed Site Plan

NOTE: Please see the Landscape Strategy Plan provided with the application for detailed information

EVALUATION

MATERIALITY

The proposal will retain the existing construction typology of brick and tile but incorporate further detailing to emphasise and increase the aesthetic appeal of the proposal.

1) Brick-work

The facing brick of choice will be Istock Brunswick Antique Red Brick or similar using a standard stretcher bond.

2) Windows

The glazing of choice will be white finish windows to compliment the brick-work and stone-work of the building.

3) Stone-work

The inclusion of stone into the material palette offers a complimentary colour and contrasting texture to accent the brickwork and to help to frame the windows. The surround offers a solid base which aesthetically supports the window whilst the key-stone above the window creates a focal point. The other stone accents such as the banding and parapet coping helps to provide a visual divide between the ground and first floor to break the massing and minimise long runs of vertical brickwork.

4) Tiles

The tiles of choice will be Dreadnought Clay Plain Roof Tiles, Staffordshire Blue or similar. These will compliment the brickwork in colour, and the smaller size provides a more traditional and classy finish.

5) Guttering, Downpipes, and Soffits

The downpipes will match the roof tiles to carry on the aesthetic of the design and help to tie the design elements together.



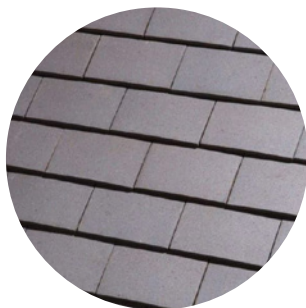
(1) Brunswick-antique-red



(2) White Windows



(3) Stone Surrounds to some windows



(4) Dreadnought Clay Plain Roof Tiles, Staffordshire Blue or similar



Fig 56: Proposed Elevation Extract

EVALUATION

VEHICULAR ACCESS & PARKING



Fig 57: Site Plan - Car Parking & Cycle Storage Setting Out Plan - 1:500@A3

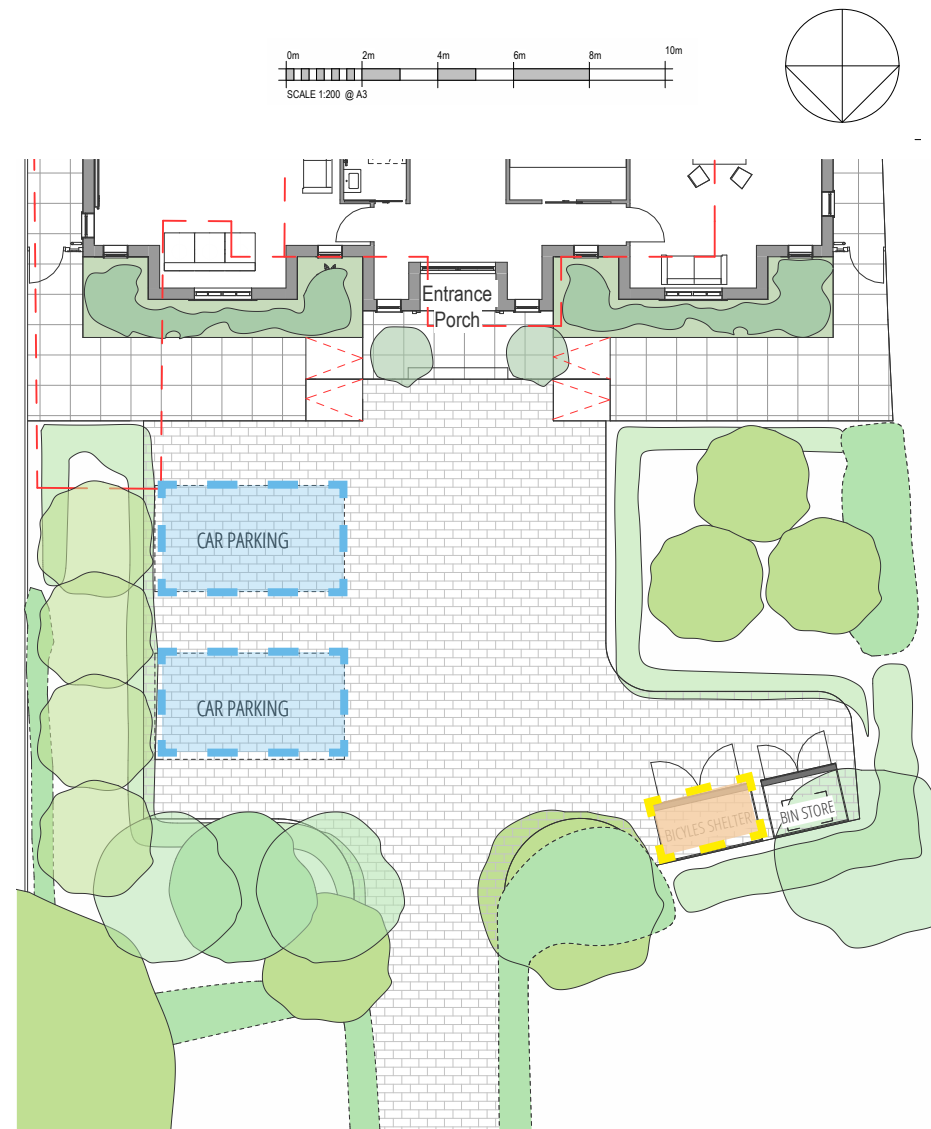


Fig 58: Ground Floor Plan - Partial - 1:200@A3



Fig 59: Example of bicycle shelter

The front garden is to be redesigned to provide a better and more efficient parking layout for vehicle access. Any hardstanding introduced will be made of a permeable surface to mitigate/reduce any risk of surface water flooding down and hopefully better the existing situation due to the current hard standing being tarmac and impermeable.

Parking Spaces

The proposal will provide a total number of 2 uncovered car parking spaces as shown in fig 57 and fig 58, in accordance with the published London Plan 2021 Policy T6.1 Residential Parking which would allow this development a maximum of 2no. car parking spaces.

Cycle Storage

In line with the London Plan, the proposal will provide bicycle shelter at the front of the property, which will allow occupants to easily access their equipment. The location of the bike storage is visible in the fig. 57 and fig 58. A wooden bicycles shelter solution as illustrated in fig 59 is proposed.



EVALUATION

ACCESSIBILITY

To ensure that the proposal is accessible to all the proposal has been designed to comply with M4(2) technical specifications.

Each entrance, including the principal private entrance have a level threshold, as per M4(2) requirements. And step free access is provided to both the front and rear of the property via ramps with a gradient of 1:15 to ensure easy use by wheelchair users.

The entrance-level W/C layout has been re-designed in the area previously allocated as a coatroom, ensuring full compliance with Approved Document M (2015 edition) and the 2021 London Plan Policy D7.

Also, every floor of the proposal can be accessed via a lift suitable for wheelchair users.

- KEY
- Accessible WC
- Level Threshold

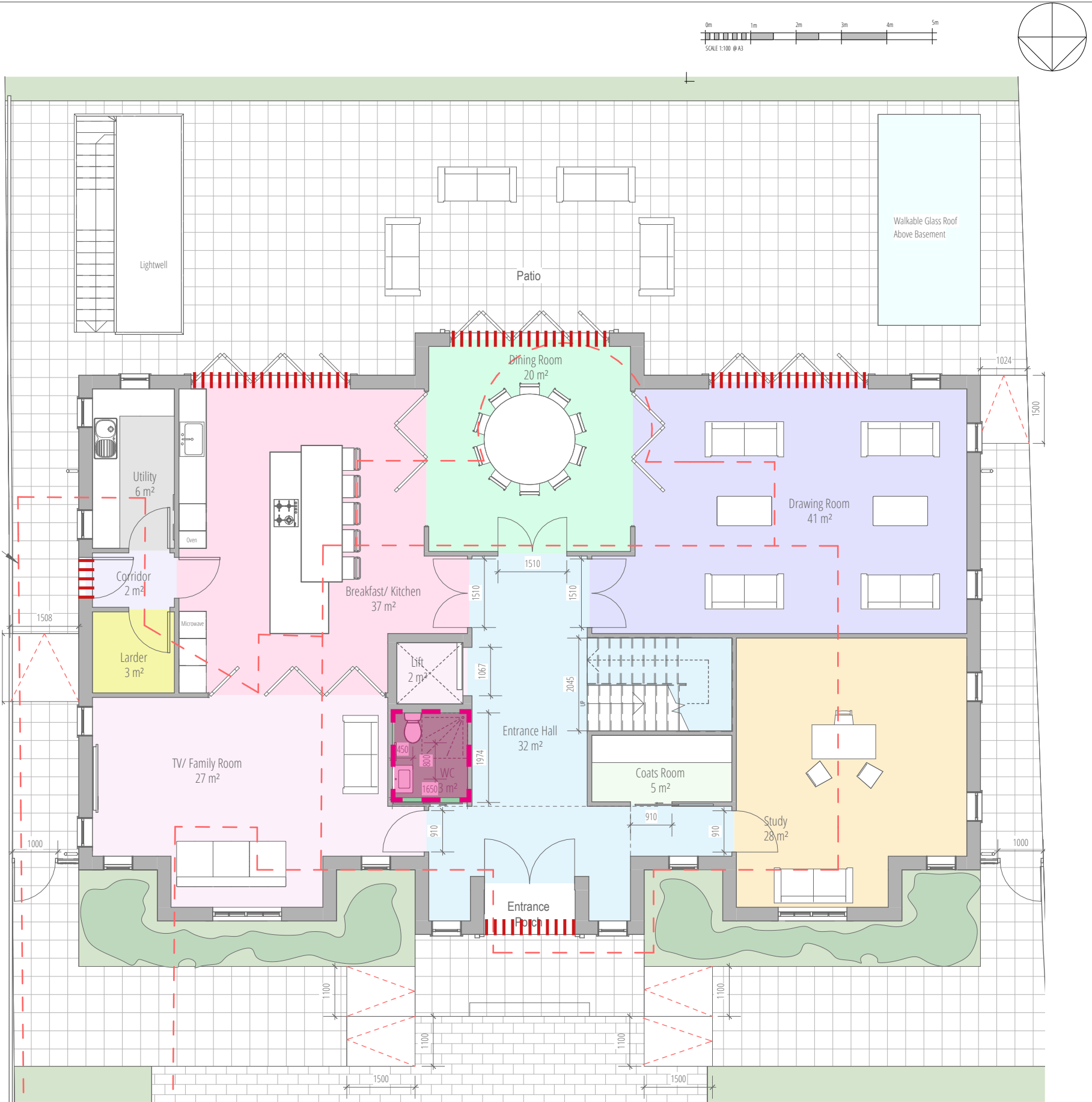


Fig 60: Proposed Ground Floor Plan - Access

EVALUATION

AMENITY SPACE

To retain the iconic features of the site, the proposal will retain the mature trees. In any case, the site is located within Tree preservation Order area Ref. no. TPO 32a dated 02/03/1973 which prevents the felling of trees without express permission.

Front Garden

The front garden, as previously mentioned, the drive will use permeable surfacing and be similar in material and height to be in keeping with the character of the area. The remainder of the front garden will be turfed with care to not disturb the planting and mature trees on site. Maintaining these trees will help screen the property, providing privacy to the occupants.

Rear Garden

The rear garden will also provide an abundance of open space with a patio area directly outside the house. The grass, boundary plants, and trees will be retained in the rest of the garden. The remainder of the garden is much larger than the minimum amenity space provision of 100m², allowing for an abundance of open space whilst providing privacy from neighbouring properties due to the retained trees at the rear of the site.



Fig 61: Hillingdon Tree Preservation Order Areas



Fig 62: Site Plan - Landscape

EVALUATION

SUSTAINABILITY

Solar Panels

The proposed crown roof will be used to provide multiple solar panels which will in turn provide a renewable source of energy for the proposal. This will help to reduce the carbon footprint of the home and is a feasible solution for this proposal as the panels will be effective throughout the entirety of the day.

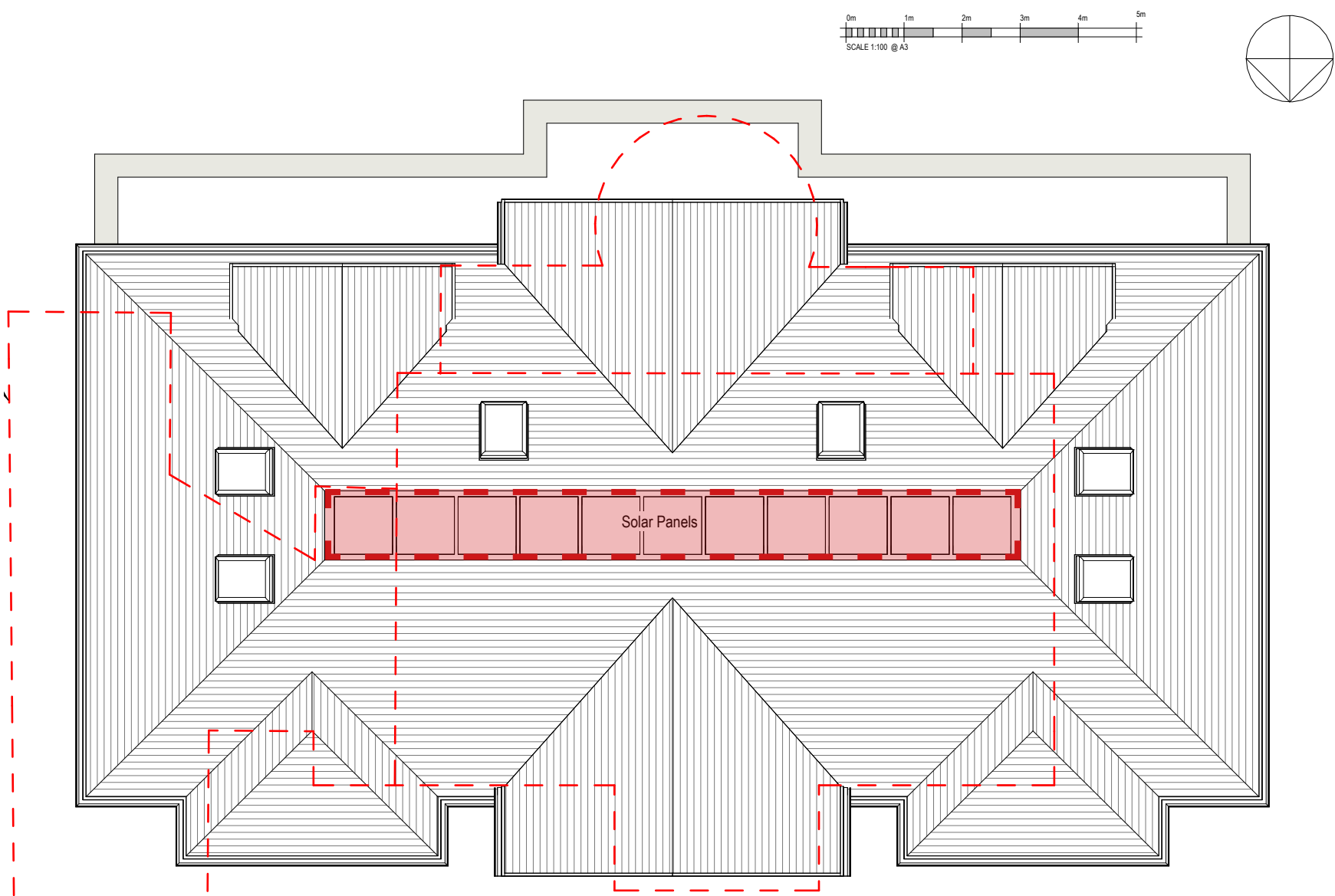


Fig 63: Proposed Roof Plan - Solar Panel Location 1:100 @A3



Solar Panels



Fig 64: Solar Panel Example

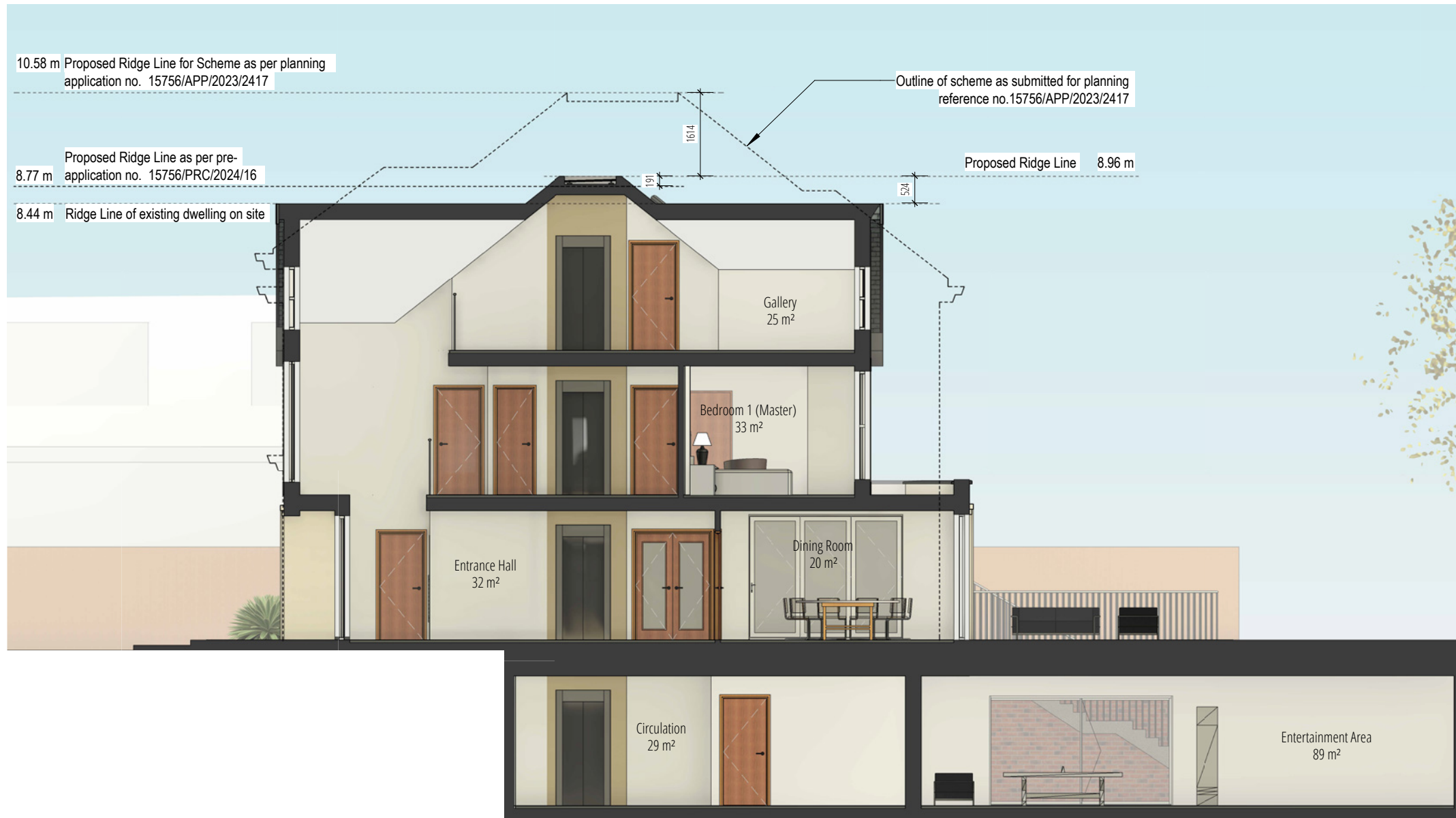
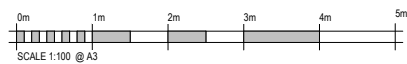


Fig 65: Section A-A 1:100 @A3

Solar Panels - Visibility Strategy

In order to ensure that the character of the area is maintained, the ridge surrounding the crown roof will be raised to conceal the solar panels as shown by the drawing on the right. The ridge will be raised up by 150mm forming a parapet around the flat roof area to ensure that the solar panels are not seen from ground level.

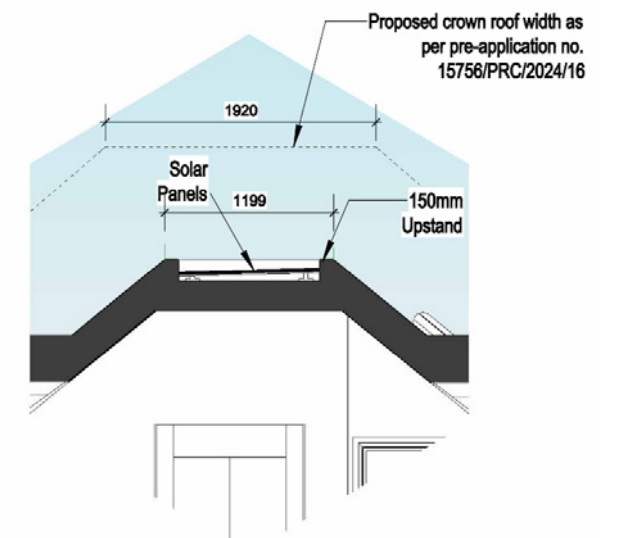


Fig 66: Section A-A - Solar Panels 1:50 @A3

EVALUATION

REFUSE STORAGE

The proposal will provide designated areas for the occupants’ refuse and recycling bins. They will be accommodated at the front of the property to allow easy access, whilst ensuring they are out of site and secure.

Refuse Storage

Hillingdon Council operate a wheeled bin-less collection system, opting for the use of sacks. Residents must therefore have a suitable waste storage solution on the property. Given that this is a domestic proposal, there will be 1 no. refuse waste, 1 no. green waste, and 1 no. food waste caddy proposed. All of which will be stored into the wooden bin store providing ease of access for the user internally and a suitable carrying distance when taking waste and recycling out on collection day.

Appearance

The bin store will be in keeping with the proposal it is placed in a discrete location in a store similar to that displayed on fig 60. This will provide a safe and secure bin store. Premium Wheelie Bin Store with Green Roof Planter or similar will provide adequate space for refuse and recycling storage.



Fig 67: Example of bin store

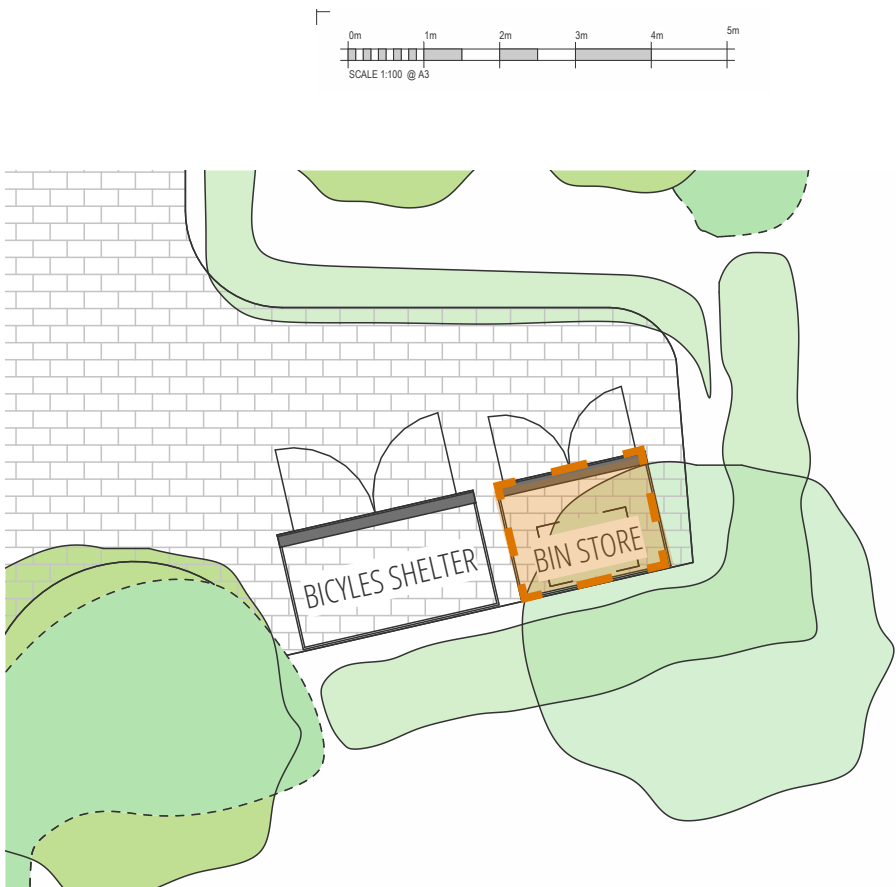


Fig 68: Ground Floor Plan - Partial - Bin Store - 1:100@A3

KEY

 Bin Storage Area

EVALUATION

SECURE BY DESIGN



Fig 69: Photograph of drive looking toward Sweetcroft Lane

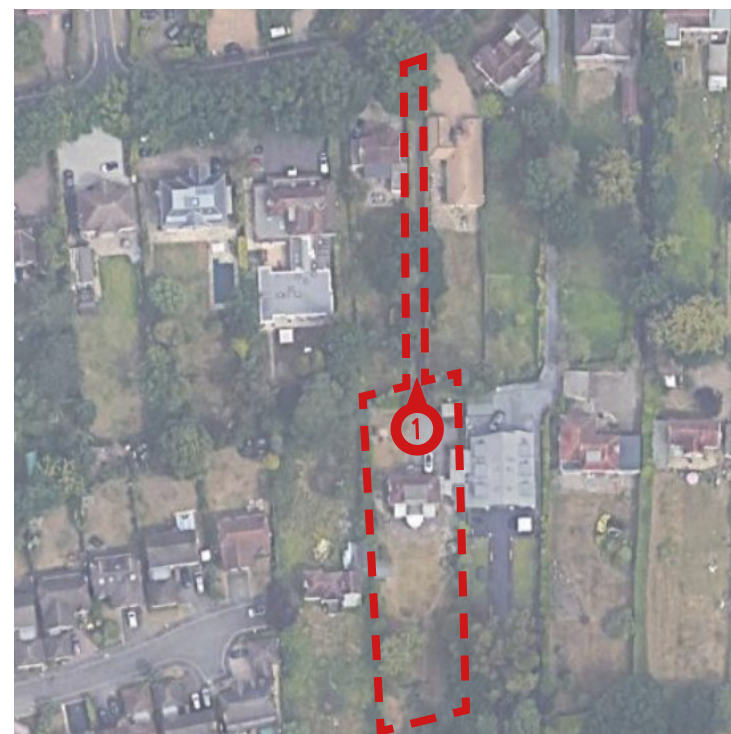


Fig 70: Key Plan

After discussion the scheme with a Secured by Design PC, the following advice was given to be implemented into the scheme:

Mandatory

- A 2.1m fence should be maintained at the rear between the property and neighbouring properties.
- All doors and openable windows on the basement level and ground floor should be PAS 24:2016 or PAS 24:2022.

Advised

- Use of lights to illuminate pathway to house from Sweetcroft Lane.
- Inclusion of a gate at the edge of the property, as close to Sweetcroft Lane as possible. The gate would have a minimum height of 1.8m and be designed in such a way as to be difficult to climb - If a gate is installed, there should be an intercom system linked to the house to buzz people in and an external letterbox (rated TS009).
- Use of a security system such as CCTV and alarms are also advised.

KEY



Location of proposal

CONCLUSION

SUMMARY

We hope the above documentation has provided a thorough analysis of the proposal and enables the LPA to make an informed decision. We believe the proposal is of an acceptable nature and trust that this documentation illustrates how it will contribute to the betterment of the local area.



DESIGNING RESIDENTIAL COMMUNITIES

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