

NOTES

CONTRACTORS MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK ON SHOP DRAWINGS

DO NOT SCALE FROM THIS DRAWING

RS ATPA COPYRIGHT

Notes:

1. Do not scale this drawing

2. All dimensions to be verified on site and any discrepancy reported to the client

3. This drawing to be read in conjunction with all relevant drawings

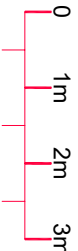
owners to serve party wall act notice on owners of adjacent property and obtain written agreement, prior to commencement of any works

client/builder to obtain all planning permission approvals from the relevant authority, prior to the planning & building control approvals is to client/builders own risk

all rainwater guttering, down pipes locations to be confirmed by architect & not to encroach neighbors property

client/builder to liaise with local water board for any new works on or within the public sewer or drain runs and obtain approval from the local authority prior to commencement of any works

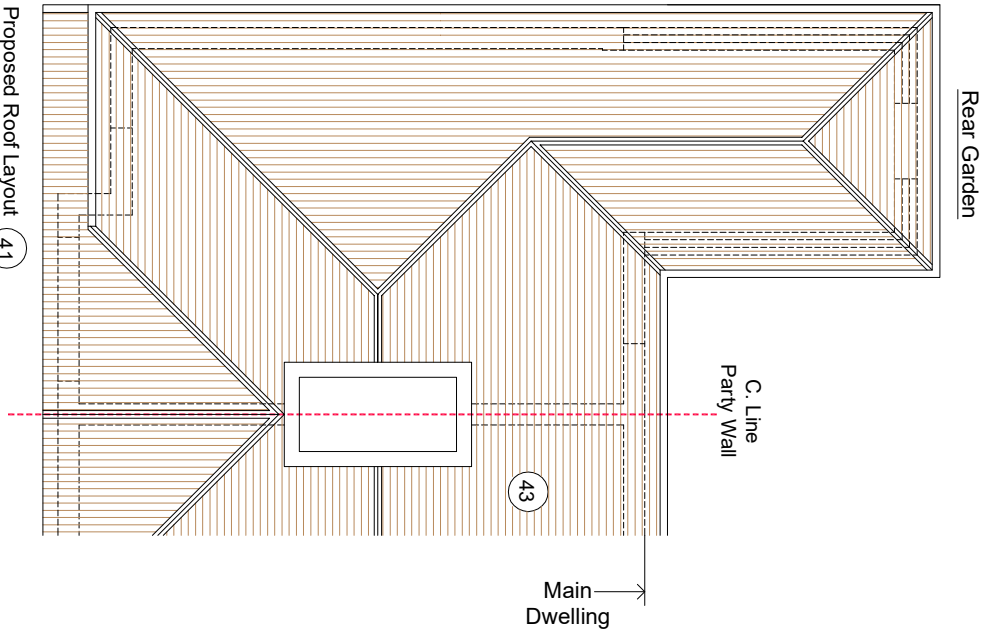
REV	A	Planning Issue	05.03.23 RS
AMENDMENT			CHND



Scale Bar

CLIENT	Bobby Dhalwal
PROJECT	41 Glisson Road Hillingdon UB10 0HU
DRAWING TITLE	Proposed Single Storey Rear Extension Part First Floor Rear Extension Proposed Floor Layouts Sheet 2

SCALE	DRAWN BY	CHECKED	DATE
1:50 @ A1	RS	RS	05.03.23
1:100 @ A3			
DRAWING NUMBER	2023 -27- 02	REVISION	A

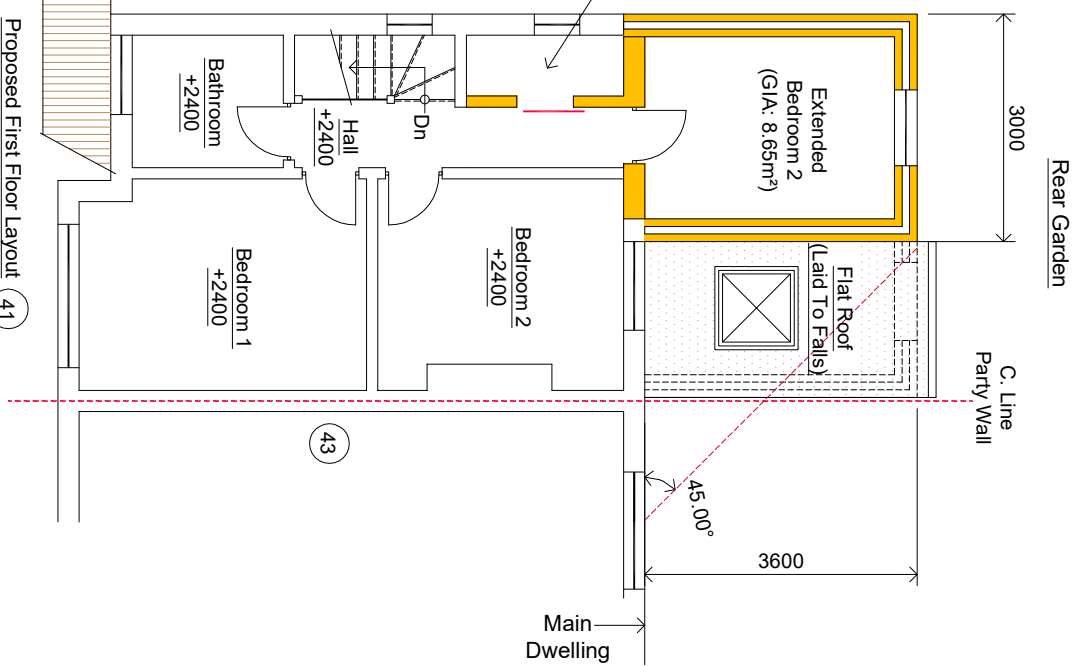


Proposed Roof Layout (41)

Front Drive

All New Facing Brickwork/Render, Roof Tiles To Match Existing Dwelling

Rain Water Guttering Not To Encroach Neighbours Property



Proposed First Floor Layout (41)

+2400 denotes floor to ceiling height

Front Drive

Denotes FD30 Fire Doors (All To BCOs Approval)

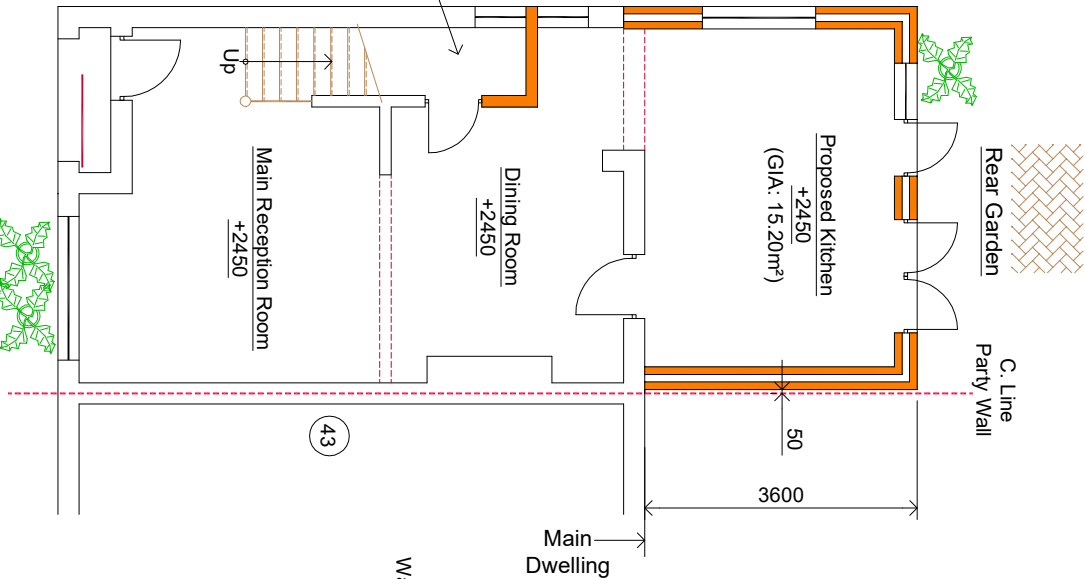
Denotes Mains Operated, Self-Contained Smoke Alarms With Battery Back Up All To Be Interlinked

All Windows To Proposed Washroom To Have Obscure Glass - Fixed Glass & Non Opening able

new velux window not to protrude 150mm, beyond the plane of the slope of the original house measured perpendicularly with the external surface of the original roof.

roof sky light windows (installed to Manufacturers requirements)

Final Position And Sizes Of New Sky Light Windows To Clients Requirements And To BCOs Approval



Proposed Ground Floor Layout (41)

+2450 denotes floor to ceiling height

Front Drive

Denotes FD30 Fire Doors (All To BCOs Approval)

Denotes Mains Operated, Self-Contained Smoke Alarms With Battery Back Up All To Be Interlinked

Denotes Heat Detector To Proposed Kitchen

Rain Water Guttering Not To Encroach Neighbours Property

(Land Scapping To Suit Natural Ground Profile)

All New Facing Brickwork/Render To Match Existing

All New External Materials To Match Existing

All New Flank Windows To Have Obscure Glass - Fixed Glass & Non Opening able