



DESIGN AND ACCESS STATEMENT

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Prepared by

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1.0 INTRODUCTION

1.1 SUMMARY

This Design and Access Statement has been produced by USL Architects.

This document supports a planning application for the erection of a new boundary wall.

The purpose of this document is to provide further information relating to the design and accessibility of the proposed scheme. The document provides an overview on key parameters such as use, access, layout, scale, landscaping, and context. The document also demonstrates the steps taken to appraise the context of the scheme and how the design adheres to the context following the identification of constraints on the site.

The application seeks for a regulation of the proposed boundary wall which has been built by the client who being a public figure has experienced (victim) safety issues and anti-social behaviour towards him and especially his young family. Moreover, one of his car was also stolen from his front drive. The wall has been designed keeping in mind the contextual architecture.

This statement should be read in conjunction with other material submitted, as well as:

Planning Application Form
Planning Application Drawings (Pre-Existing)
Planning Application Drawings (Existing)



1.2 DESIGN TEAM

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2.0 ARCHITECTURAL CONTEXT

2.1 SITE LOCATION

The site is located in Ruislip along the Queensway and The Fairway road. 108, The Fairway is a two-storey detached house with a pitch roof. As the site is a corner plot, the elevation facing the medical centre along with the residential property on the Queens Walk is busier being a primary road. On the adjacent side, the elevations by The Fairway are predominantly 2 storey residential detached houses. The style of the houses are generally similar and the majority of these properties have been developed in one or more ways.

The proximity of the neighbours, character of the area, massing and proportions have all been carefully considered in our proposal. This is demonstrated throughout the document.



Location Plan

3.0 OUTLINE PLANNING APPLICATION - KENSINGTON AND CHELSEA COUNCIL

3.1 CONTEXT ANALYSIS

The proposal has been carefully designed following an extensive study of the local context, scale, vernacular architecture and materials in the area in order to be in character with the locality and avoid any harm to the appearance of the local area.

Situated on The Fairway a quiet and peaceful residential road in Ruislip, which is within very close proximity of both Ruislip Manor, Ruislip Gardens and South Ruislip stations which have access to the Metropolitan/Piccadilly/Central lines. Along with an array of coffee shops, supermarkets, restaurants and convenience stores.

The surrounding area mainly consists of 2 storey detached houses with a common vernacular throughout the street and a medical centre facing one of the side's of the client's house.



4.0 DESIGN PROPOSAL

4.1 DESIGN JUSTIFICATION

As mentioned in the introduction, this proposal supports a planning application for the erection of a new boundary wall.

The application seeks for a regularisation of the proposed boundary wall which has been built by the client, who is a public figure. The wall has been newly built to protect the client's home and their young growing family. Recently, the client have been the victim of number of anti-social incidents on their driveway against their house and family, the photos of which are shown below (fig. 1).

Moreover, the client had a serious incident of their family car being stolen from their front drive way where the criminals jammed his CCTV and entered the property. As mentioned above and to put all of this in context, he works within the public domain and is a public figure (hence political/ racial attacks, are something they are genuinely in fear of- given the recent murders of MPs and various other issues). Hence, these measures were taken in order to protect their young family and home.

In relation to the size and scale of the wall, we based this on examples of similar front walls that have already been built on the same street and neighborhood so as to be in keeping with the local vernacular. The height of the wall varies between 1.2m to 1.6m. Some of the similar approaches (height) are also seen in the neighbourhood whose references are attached below (fig. a - i).



fig. 1



fig. a



fig. b



fig. c

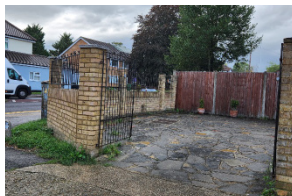


fig. d



fig. e



fig. f



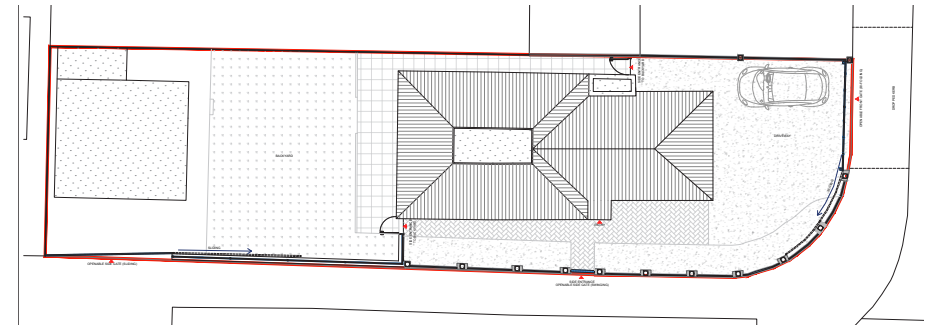
fig. g



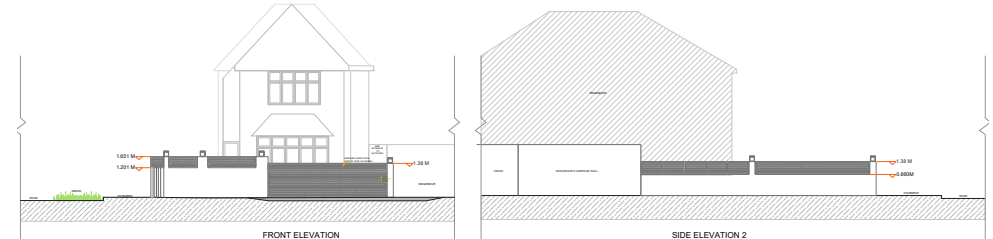
fig. h



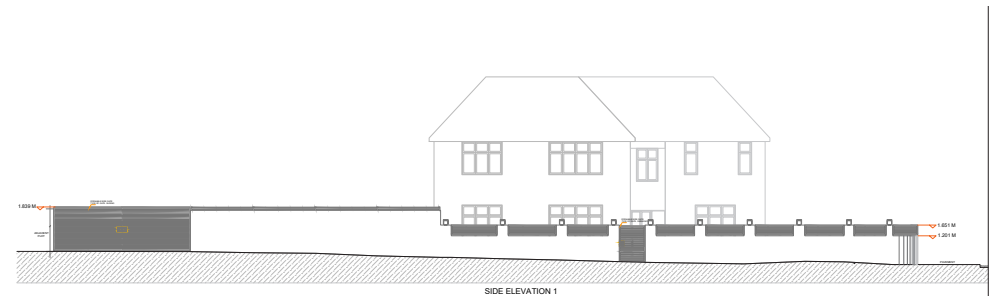
fig. i



Existing plan



Existing elevations



Existing elevations

CONCLUSION

The proposal has been carefully and sensitively designed to provide a high-quality development that responds positively to the local context and scale. The design respects the character of the area whilst maintaining good outlooks and privacy for the occupants of the existing neighbouring properties.

The development will not negatively impact the appearance of the area and its setting within the plot but alongside it will also create a safe place for the family.

We are positive that this proposed design is an appropriate response to the constraints and opportunities presented by the site and the surrounding area. We believe that the reasons and justifications set out in this document demonstrate a well-considered scheme, and so we hope that the council would find the proposal acceptable and grant this application.