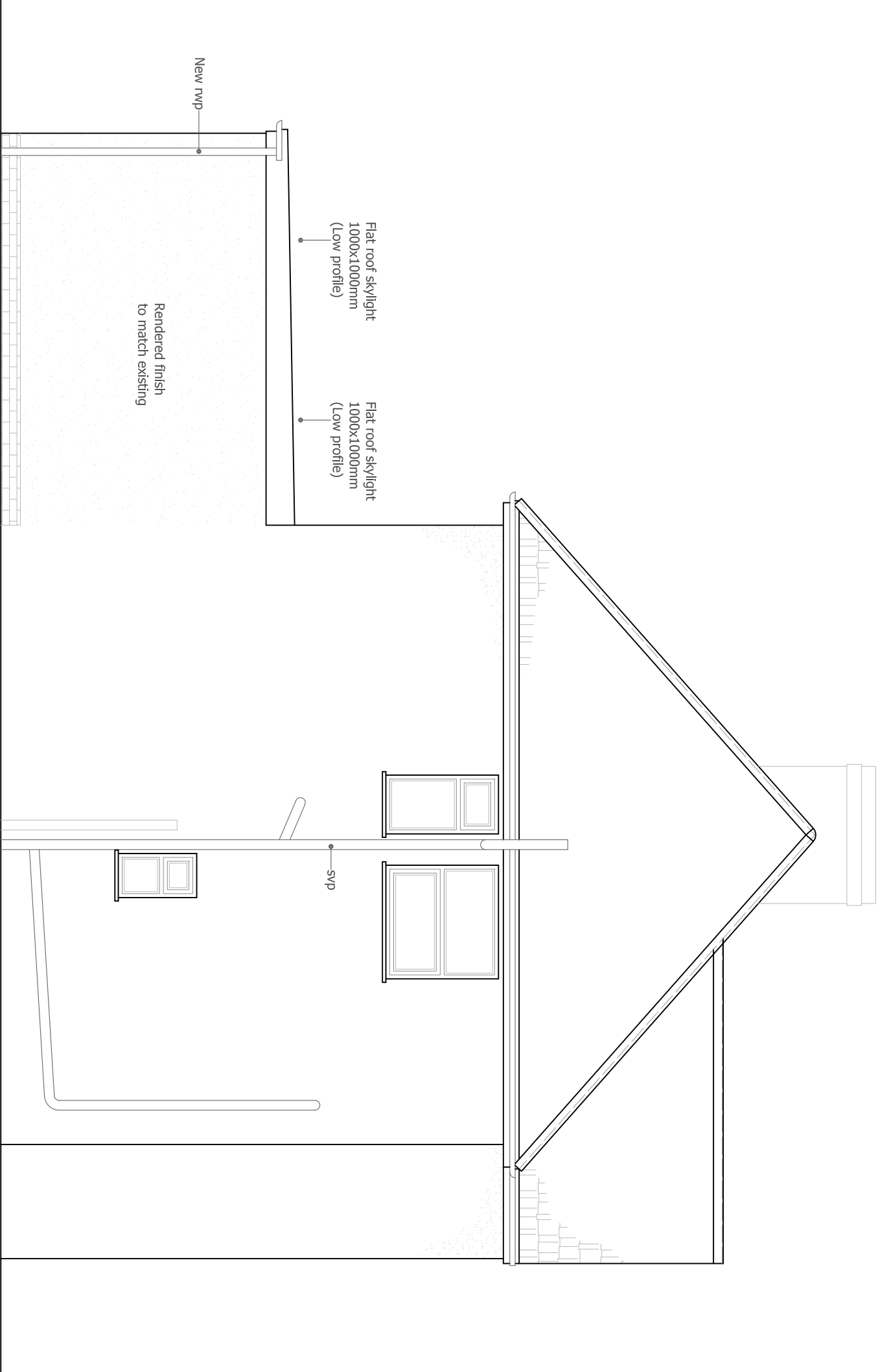
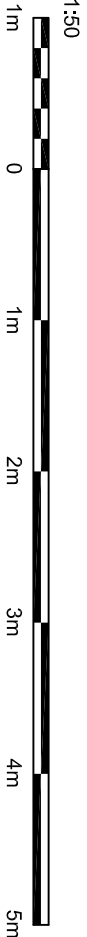




PROPOSED SIDE ELEVATION

scale 1:50



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DRAWING STATUS		PLANNING	
REV.	DATE	NAME	DESCRIPTION



Architectural Design Studio
4 ST ANNES, DORIC WAY,
EUSTON, LONDON NW1 1LG
+44 07838 135 957

NOTES

- Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check, and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings. Structural Engineer's calculations and any specialist supplier's drawings. Homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
- Inform the Building control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.
- Verify boundary lines & ground conditions including checking positions and new connections of all gas, electricity, water, drainage, and other services. Owner is responsible for establishing own boundary lines as DPL are not responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.
- DPL are not responsible for builders changing design methods from proposed works. The client is responsible for ensuring that the design is followed as shown on the drawings.
- Owner is responsible for purchasing additional materials and covering extra engineering design costs for any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.
- Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (clients responsibility)

ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

OTHER NOTES

- Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.
- Works carried out under a building notice or prior to approval of drawings are off the contractor/owner's risk. (all DPL drawings must be approved before works commence)
- Where works are carried out under a building notice or prior to approval of drawings, the contractor/owner is responsible for ensuring that the works are carried out in accordance with the relevant building regulations.
- Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or supplier drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works.
- Works commenced and purchase of materials be made so on alternative design can be rectified and approved by building control or the engineer before works can commence.
- DPL are not responsible for the design of the building or the design of the existing foundation type and building control will need to advise on a different method of construction, if requested by building control either a lift or piled foundation, this will need to be agreed by the engineer prior to commencing the works.
- Existing foundation type and building control will need to advise on a different method of construction, if requested by building control either a lift or piled foundation, this will need to be agreed by the engineer prior to commencing the works.
- All wall/s which have been built for load bearing or non-load bearing status before purchase of steel/s, if non-load bearing then steel/s should not be ordered. No refund or claim can be given against DPL on the design/materials charged for these steel/s.

OTHER NOTES

- All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed skylights and windows must be designed to match existing materials. All new proposed windows must be designed to match existing materials. All new proposed windows must be designed to match existing materials.
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SITE ADDRESS

63 HILLINGDON ROAD,
UXBRIDGE, MIDDLESEX, UB10 0AE

DRAWING TITLE

PROPOSED DRAWINGS - rear extension

DRAWN AT HEAD OFFICE

DRAWN BY

SCALE as shown

07. FEBRUARY. 2024

DRAWING No.

REVISION

DPL.07.

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THIS DRAWING, CONTENT INCLUDING NOTES IS BOND TO SIGNED AGREED CONTRACT BETWEEN CLIENT & DISCOUNT PLANS LTD