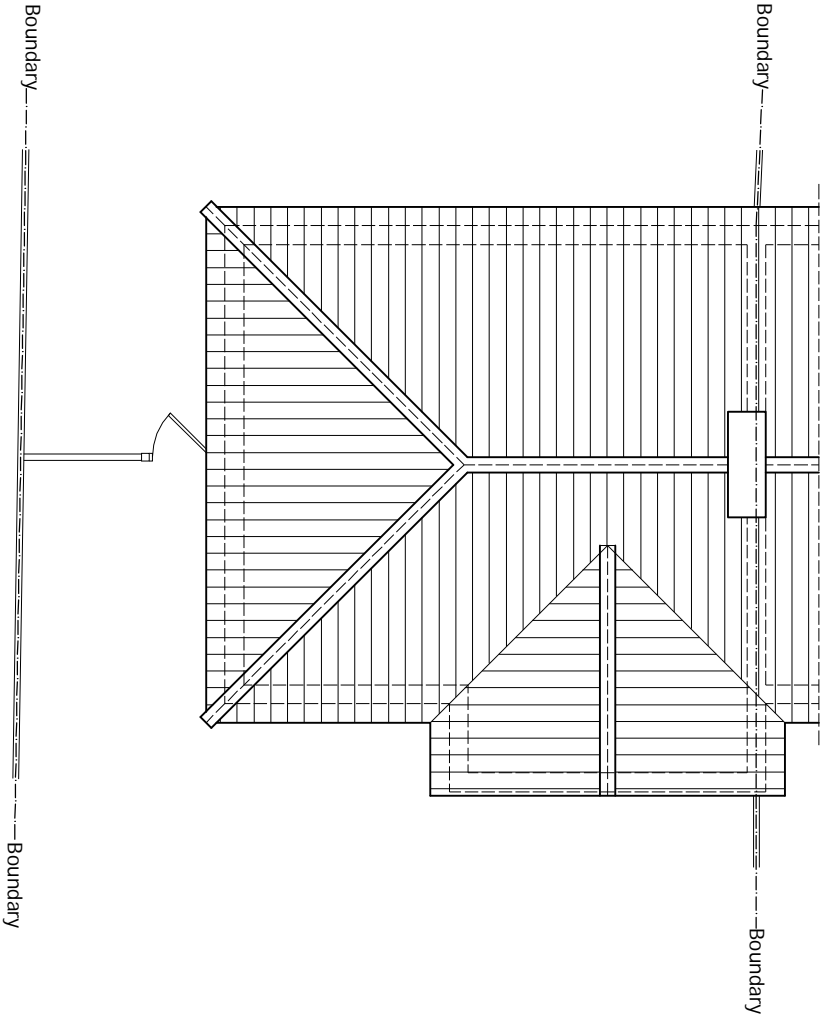


EXISTING GROUND FLOOR PLAN

Scale 1:100



EXISTING ROOF PLAN

Scale 1:100

DRAWING STATUS		PLANNING	
REV.	DATE	NAME	DESCRIPTION
		Architectural Design Studio	
		4 ST ANNES, DORIC WAY, EUSTON, LONDON NW1 1LG +44 07838 135 957	
<p>GENERAL NOTES:</p> <p>Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check, and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings. Structural Engineers' calculations and any specialist supplier's drawings, however, is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.</p> <p>1. Ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.</p> <p>2. Inform the Building Control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.</p> <p>3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, electrical, water & other services on site. If any services are found to be in conflict with the proposed works, the contractor is responsible for establishing own boundary lines as DPL are not responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.</p> <p>4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for ensuring that any changes to the design are agreed in writing with the architect and engineer before any additional structural design changes on site from the start to end of building works requested by building control or any other third party's instruction during building works.</p> <p>5. Owner is responsible for arranging suitable and adequate access to the site for the works.</p> <p>6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Clients responsibility)</p> <p>7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.</p> <p>8. Works carried out under a building notice or prior to approval of drawings are at the contractor/owner's risk. (All DPL drawings must be approved before works commence) and the contractor/owner is responsible for the safety of the works.</p> <p>9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or supplier drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works. If the discrepancy is not brought to DPL attention straight away before works commence and purchase of materials be made so an alternative design can be remedied and approved by building control or the engineer before works can commence.</p> <p>10. All of DPL structural designs are subject to footings being in place. If however the existing foundation is different a note-hole will need to be dug to establish the method of construction. If required by an engineer to be on additional work being implemented on site all work/works must be agreed in writing with the engineer and building control before purchase of steel/s. If not-load bearing then steel/s should not be ordered. No refund or claim can be given against DPL on the design/materials charged for these steel/s.</p> <p>11. All walls which have been designed to be removed on plans are to be checked on site before removal.</p>			
<p>OTHER NOTES:</p> <p>All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed windows and doors must be in accordance with the existing materials. All new proposed windows shown on this drawing which overlook other property's are designed to be non opening and of obscure glazing. For a permitted development left design the dormer designed on this drawing is set back from the eaves by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.</p> <p>No inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results. ALL DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.</p> <p>12. All drainage connections is assumed & is subject for checking by builder, Thames water & building control, before any works commence.</p> <p>13. All drainage connections is assumed & is subject for checking by builder, Thames water & building control, before any works commence.</p> <p>14. All drainage connections is assumed & is subject for checking by builder, Thames water & building control, before any works commence.</p> <p>15. All drainage connections is assumed & is subject for checking by builder, Thames water & building control, before any works commence.</p> <p>16. All drainage connections is assumed & is subject for checking by builder, Thames water & building control, before any works commence.</p> <p>17. All drainage connections is assumed & is subject for checking by builder, Thames water & building control, before any works commence.</p> <p>18. 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SITE ADDRESS 63 HILLINGDON ROAD, UXBRIDGE, MIDDLESEX, UB10 0AE			
DRAWING TITLE EXISTING DRAWINGS			
DRAWN AT HEAD OFFICE		DRAWN BY	
SCALE as shown @ A3		12. JANUARY. 2024	
DRAWING NO.		REVISION	
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