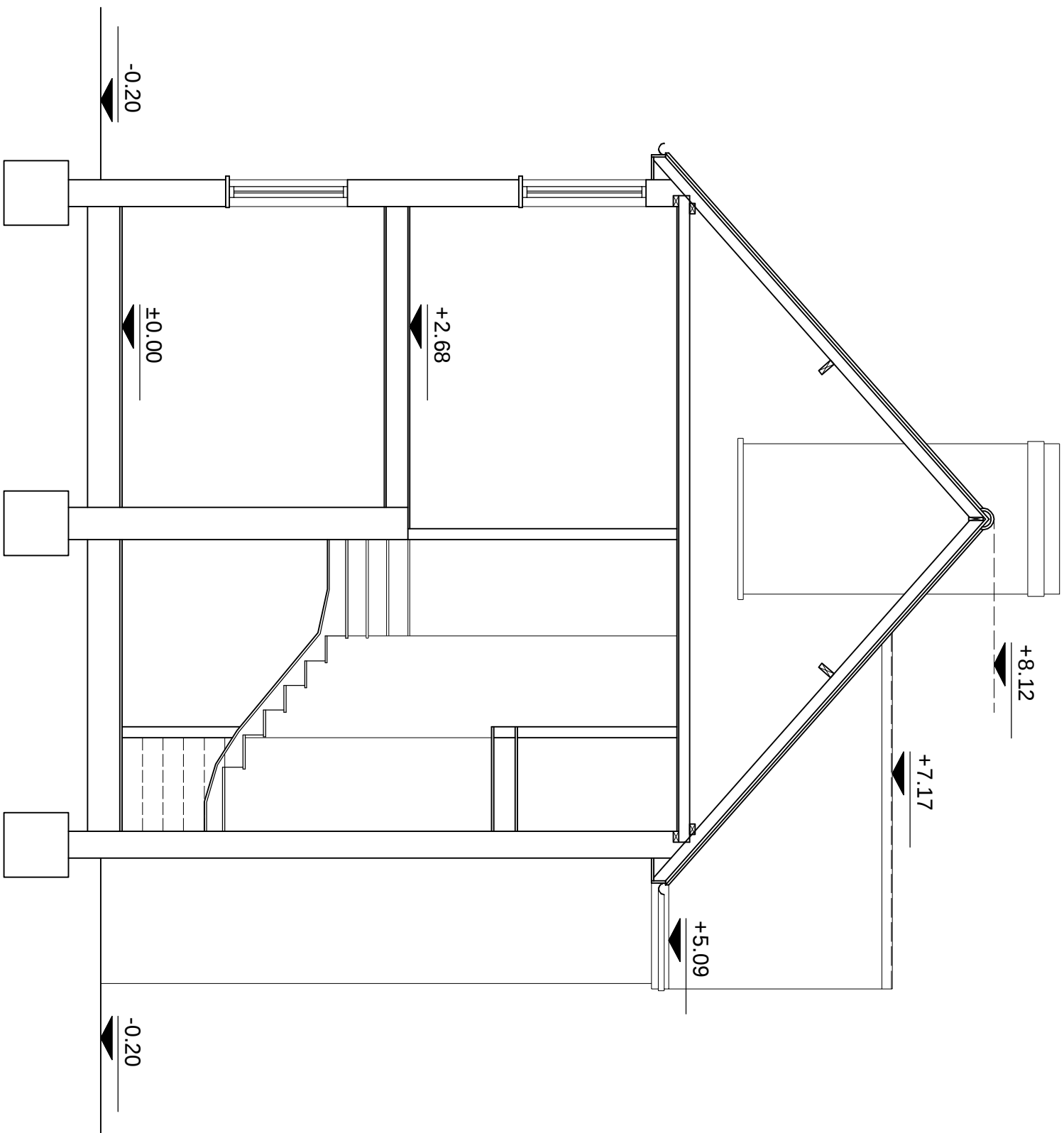
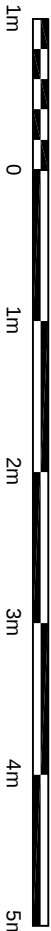




EXISTING SECTION

1:50



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DRAWING STATUS		CONSTRUCTION	
REV.	DATE	NAME	DESCRIPTION

GENERAL NOTES:

- Any dimensions shown are indicative only and are subject to verification on site. The contractor to ascertain all dimensions on site during the course of the works and prior to setting out on site.
- The Engineer's drawings, Specifications and Bill of Materials shall prevail over the architect's drawings. Structural Engineers calculations and any specialist supplier's drawings.
- Prior to commencement of building works the contractor or homeowner is responsible and should:-
 - Ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
- To inform the Building control department that the works are about to commence on the after receiving an approved decision from planning / building control in writing for your proposed works.
- To ensure that the following conditions are fulfilled:
 - All ground conditions including foundations and new construction of all gas, electricity, water & sewer services are checked and recorded by the contractor.
- Owner is responsible for establishing an boundary lines as DfL are not responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.
- DfL are not responsible for builders changing design methods from proposed works. The client is responsible for ensuring that the design solution is suitable for building works. To protect structural safety, it is recommended that the contractor should submit a written design proposal for approval by building control or any other third party's instruction during building works.
- By adding control or any other third party's instruction during building works requested by additional structural design changes on site from the start to end of building works requested by building control or any other third party's instruction during building works.
- Requests of the Party Wall Award where a public safety, or involve excavations within 3 metres of adjoining buildings or building over a public sewer. (clients responsibility)

7. Wherever a selective demolition is to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place, do not scale off this drawing on the footing may be off the drawing.
8. Contractors/owners note, (all DPL drawings must be approved before works commence) Builders building without plans being approved by planning & building control departments are fully responsible for the method of condemned works.
9. Any discrepancies, either between written and said drawings or between the drawings and the drawings, shall be the responsibility of the contractor/owner.
10. The inclusion of types of materials if materials shown on drawings do not match those on drawings, the contractor/owner shall be responsible for the correct materials. Works common and purchases of materials must be made on a written contract, which shall be checked and approved by building control or the engineer before works can commence.
10. All of DPL structural designs are subject to footings being in deep, if however the existing foundation is different a foot-hole will need to be dug to establish the condition of the foundation. If the foundation is found to be in poor condition, the method of construction, if required by building control, either a raft or piled foundation, this will need to be designed by an engineer with an additional cost being indicated.
11. All walls which have been designed to be removed on plans are to be checked on site prior to demolition. If a non-load bearing then steel's should not be ordered. No refund or credit can be given once DPL on the design/materials changed for these steel's, or

OTHER NOTES:

All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed skylights shown on this drawing will be designed not protrude more than 150mm from the existing roof profile. All new proposed windows shown on this drawing which overlock owner property's are designed to be non opening and designed to be made of toughened glass. For a permitted development loft design the dormer designed on this drawing is set back from the eaves by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results. ALL DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.

[illegible]

PRINT @ A3 SHEET SIZE

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THIS DRAWINGS CONTENT INCLUDING NOTES IS BOND TO SIGNED
 AGREED CONTRACT BETWEEN CLIENT & DISCOUNT PLANS LTD

SITE ADDRESS

63 HILLINGDON ROAD

UXBRIDGE, MIDDLESEX, UB10 0AE

DRAWING TITLE

DRAWN AT HEAD OFFICE

SCALE AS S

DRAWING NO.	REVISION
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