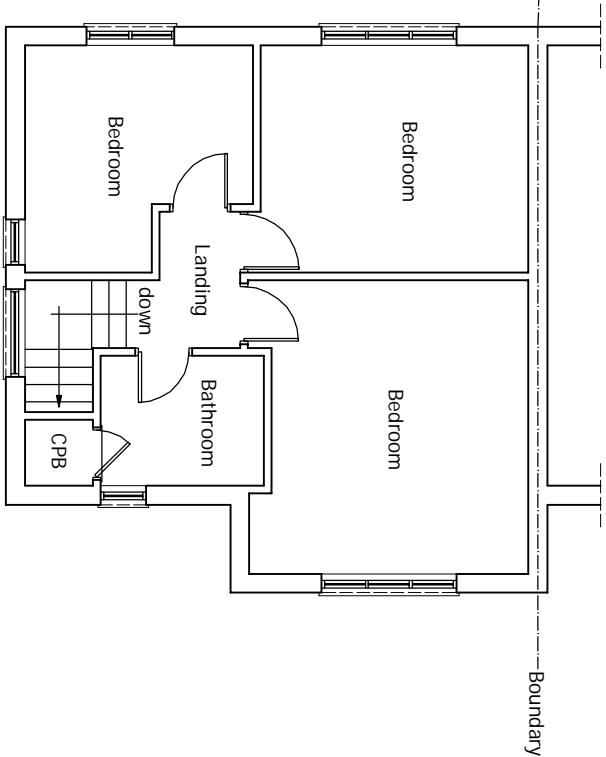
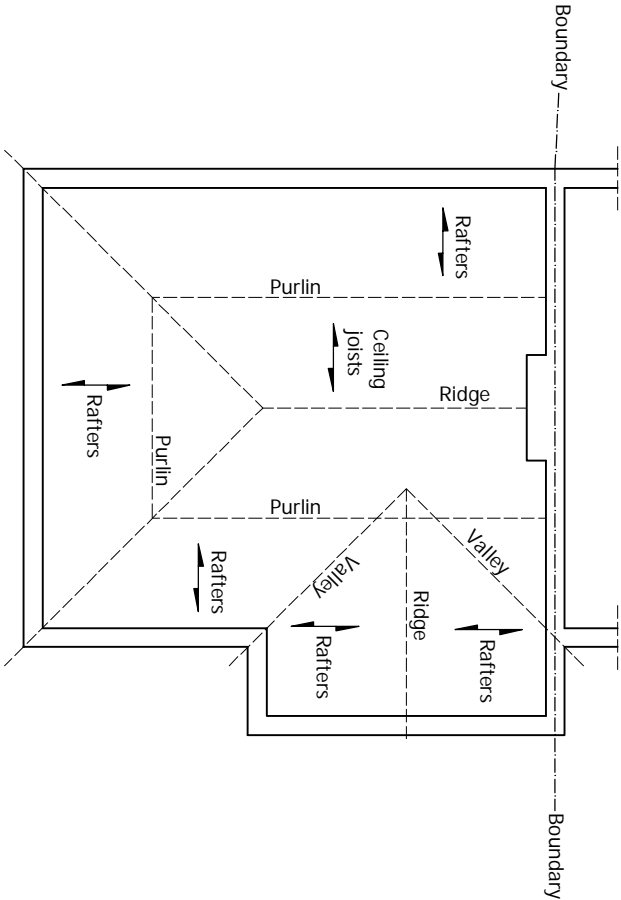


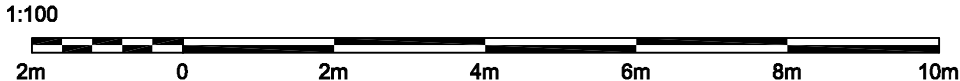
An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results. ALL DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.



EXISTING GROUND FLOOR PLAN  
scale 1:100



EXISTING ATTIC FLOOR PLAN scale 1:100



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ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

DRAWING STATUS	CONSTRUCTION
REV.	DATE
NAME	DESCRIPTION

Architectural Design Studio

4 ST ANNES, DORIC WAY,  
EUSTON, LONDON NW1 1LG  
+44 07838 135 957

DPL

GENERAL NOTES:  
Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings. Structural Engineers calculations and any specialist supplier drawings, however, is responsible and should be read in conjunction with the drawings. The contractor to ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site. 2. Inform the Building control department that the works are about to commence on site after receiving on approved decision from planning / building control in writing for your proposed works. 3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, electric, water, drainage, etc. before commencing works. 4. DPL are not responsible for building changing design methods from proposed works. The client is responsible for any changes to the design. 5. DPL are not responsible for checking existing materials and covering engineering details, costs for any additional structural design changes on site from the start to end of building works requested by building control or any other third party's instruction during building works. 6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Clients responsibility)

- Where works involve excavation to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. "Do not scale off this drawing as the scaling may be off"
- Works carried out under a building notice or prior to approval of drawings are of the contractor/owners risk. (All DPL drawings must be approved before works commence)
- Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or suppliers drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works. If the discrepancy is not brought to DPL attention straight away before works commence and purchase of materials be made so an alternative design can be remedied and approved by building control or the engineer before works can commence.
- All of DPL structural drawings are subject to building being in place. If however the existing foundation is not suitable for the proposed works, the contractor is responsible for checking foundation type and building control will need to advise on a different method of construction. If requested by an engineer to be carried out on a different method of construction, it is requested by an engineer to be carried out on a different method of construction. If requested by an engineer to be carried out on a different method of construction, it is requested by an engineer to be carried out on a different method of construction.
- All work to be carried out on site must be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.
- Any inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results. ALL DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.
12. All drainage connections are assumed & is subject for checking by builder, Thomas Wall & Building Control, before commencing works. If the contractor is not satisfied with the drainage, they must notify the builder, Thomas Wall & Building Control, before commencing works.
11. All work to be carried out on site must be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.
10. All work to be carried out on site must be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.
9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or suppliers drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works. If the discrepancy is not brought to DPL attention straight away before works commence and purchase of materials be made so an alternative design can be remedied and approved by building control or the engineer before works can commence.
8. Works carried out under a building notice or prior to approval of drawings are of the contractor/owners risk. (All DPL drawings must be approved before works commence)
7. Where works involve excavation to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. "Do not scale off this drawing as the scaling may be off"

OTHER NOTES:

All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed roof and wall finishes must be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations. For a permitted development loft design the dormer designed on this drawing is set back from the eaves by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

No inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results. ALL DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.

PRINT @ A3 SHEET SIZE

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THIS DRAWING, CONTENT INCLUDING NOTES IS BOND TO SIGNED AGREED CONTRACT BETWEEN CLIENT & DISCOUNT PLANS LTD

SITE ADDRESS			
63 HILLINGDON ROAD, UXBRIDGE, MIDDLESEX, UB10 0AE			
DRAWING TITLE			
EXISTING DRAWINGS - loft conversion			
DRAWN AT	HEAD OFFICE	DRAWN BY	
SCALE as shown	@ A3	15. NOVEMBER, 2021	
DRAWING NO.	REVISION		
DPL. 01.	-		