

Front of garage

Side of garage

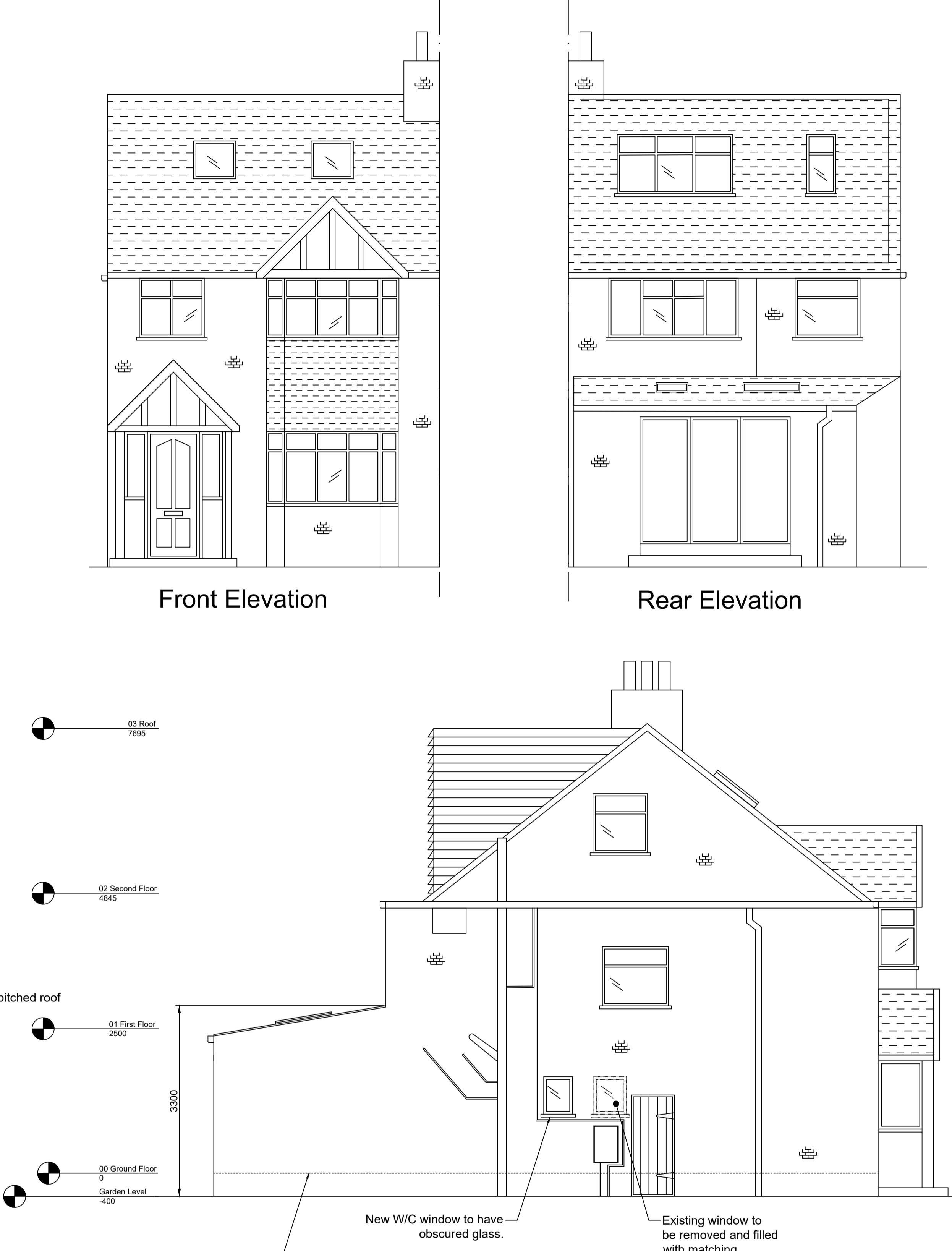
Rear of garage



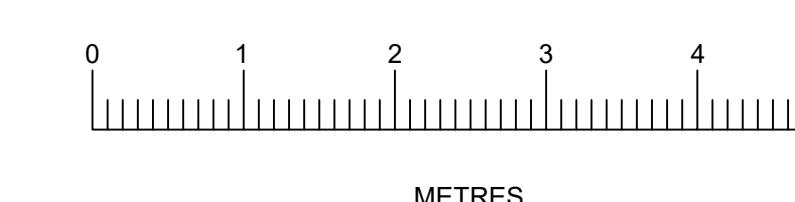
Front Elevation



Rear Elevation



Side Elevation



Notes:
All dimensions should be checked with a site survey.
Drawings are subject to statutory authority approval and are to be used for the purpose of planning.
Structural calculations and drawings to be supplied by a structural engineer.
<u>Resistance measures for flood prevention.</u>
As the property lies within a flood risk zone 3a area, the proposed floor level to the new extension will be no lower than the existing internal ground floor level of +400mm above the fluvial 1 in 100.
Concrete blocks to be used in the foundations will be sealed with an impermeable material or encased to prevent water movement from the ground to the walls.
Impermeable damp proof course membrane will be used and will be of 1200 gauge.
Floor insulation will be of the closed-cell type in order to minimise the impact of floodwater.
External and internal blockwork. Cement-based render to be effective for flood resilience.
Sealed external framed doors will be flood resistant to at least 600mm above the estimated flood level.
Where practicable, all services will be sealed with expanding form or similar closed cell material.
Electrical sockets to be set at a minimum of 500mm above the integral finished floor level.
Soak-away to be incorporated to the rear of the property.
Existing soil pipe to be protected from back-flow with a non-return valve.

Date: 7.10.2025
Rev: B

Date: 23.5.2025
Rev: A

Client :
MR & MRS COOPER
30 ELMBRIDGE DRIVE
RUISLIP
HA4 7UT

Drawing Title:
PROPOSED PLANS

SCALE: 1:50 @ A1
Drawn by: Margaret Leo
Drawing no: 201 B
Date: MARCH 2025