

As built design synopsis – design & access statement
18 Great Central Avenue
Ruislip, HA4 6UD
Revision 01

Re: Development not built in accordance with planning permission ref:
12980/APP/2023/1205 and without planning permission, including erection of a
front porch canopy extension to dwellinghouse.
Letter Ref: ENF/498/24



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Existing site and context

The site is located in the Ruislip area within the Hillingdon council.

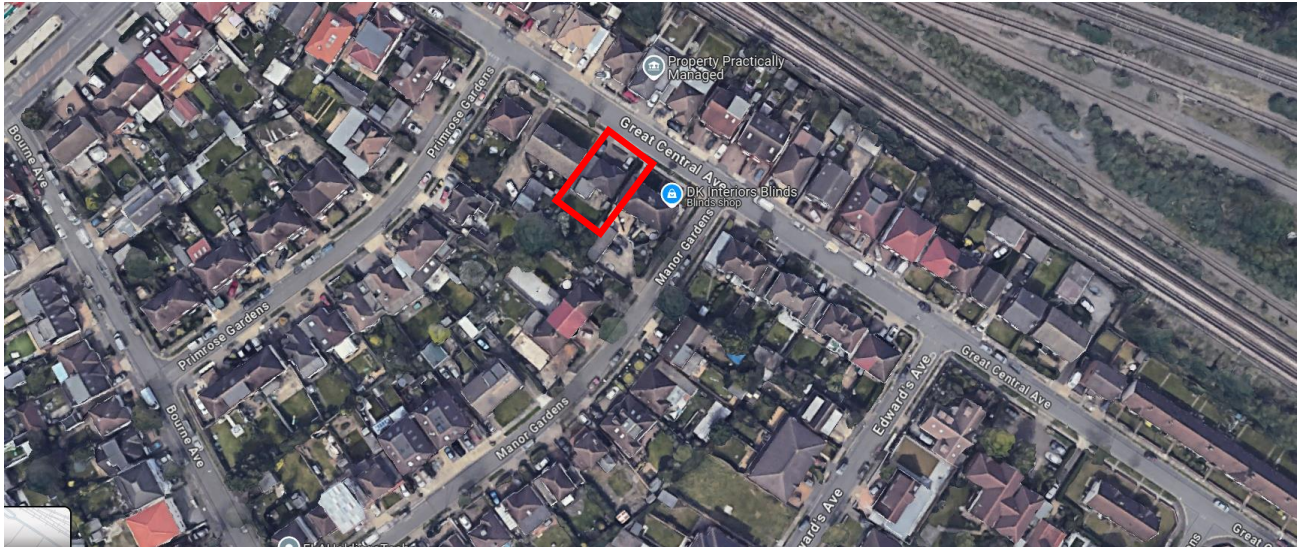


Figure 1: Site plan

The existing street known as the Great Central Avenue in Ruislip, London, is a suburban street characterized by a mix of detached, semi-detached, and terraced houses, with flats also present. Many households are family-oriented, often owner-occupied, and the community is known for its family-focused living in houses rather than flats. The proposed site was a detached bungalow, with permission to be turned into a detached two storey house.

The extensions and modifications to the existing dwellinghouse in principle are aligned with approval with some exceptions that have not been built in accordance with the clauses specified within the approval letter for the application ref: 12980/APP/2023/1205. Approval was for an "Erection of an additional storey, together with a part single storey side/rear extension, two storey rear extension, garage conversion to habitable accommodation and fenestration changes." An official letter from the council stating the design criteria which does not comply with the approved clauses has been received by the client. The reasons stated within the letter are:

1. Installation of quoin detailing which does not form part of the existing materials
2. Changes to the fenestrations at the front and rear elevations
3. The pitched roof over the single store side extension appears taller than approved
4. The roof form over the main house appears steeper than approved
5. A front porch canopy extension has been built without the benefit of planning permission

Although there is a lack of compliance with the conditions approved within the decision notice, which cannot be taken lightly, the changes made to the as built dwellinghouse as listed above are modest although visual, not majorly detrimental to the site and the street context as a whole. Below are some of the justifications to support the above case:

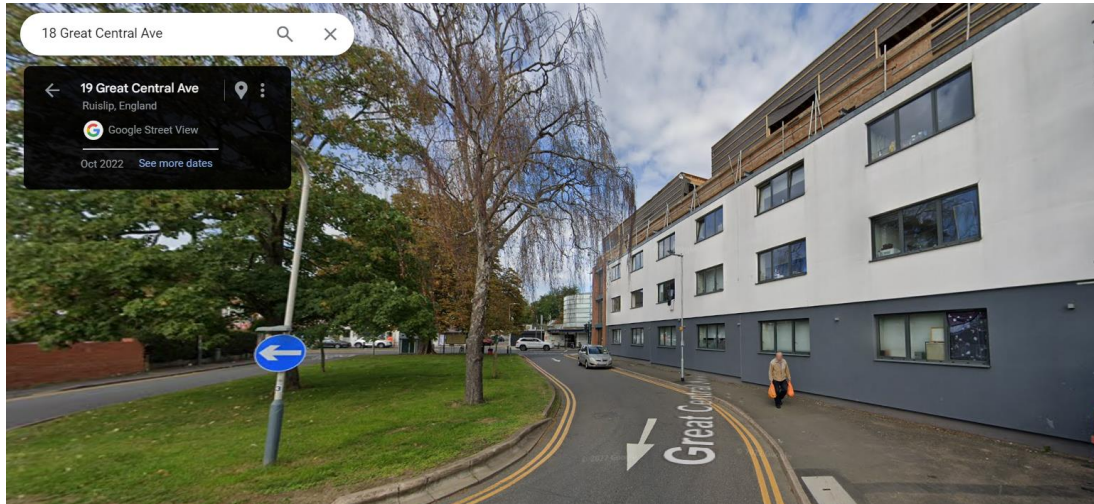
1. Installation of quoin detailing which does not form part of the existing materials

- The existing Great Central Avenue Street has many different forms of material combinations within the elevations of the buildings along with some of them also having minute details.
- The street is a mix of houses built between 1940-2020.
- There is no similar language followed amongst the dwellings in terms of style and vernacular.
- There are combination of brick and rendered facades.
- All are unique in their own ways.
- There is also a mix of single and double storey houses unlike a street with only double storey properties including a mix of detached, semi-detached and block of flats highlighting there is variety in terms of typology also.
- This supports the fact that installing Quoin detail on the edges of the elevations would not harm the street context. Notwithstanding there is brick quoin details on nearby houses and dentiling brickwork to bring decorative embellishment to the built form.
- The street also has a commercial property on the north side of the proposed site. Below are some screenshots to confirm the argument stated above.



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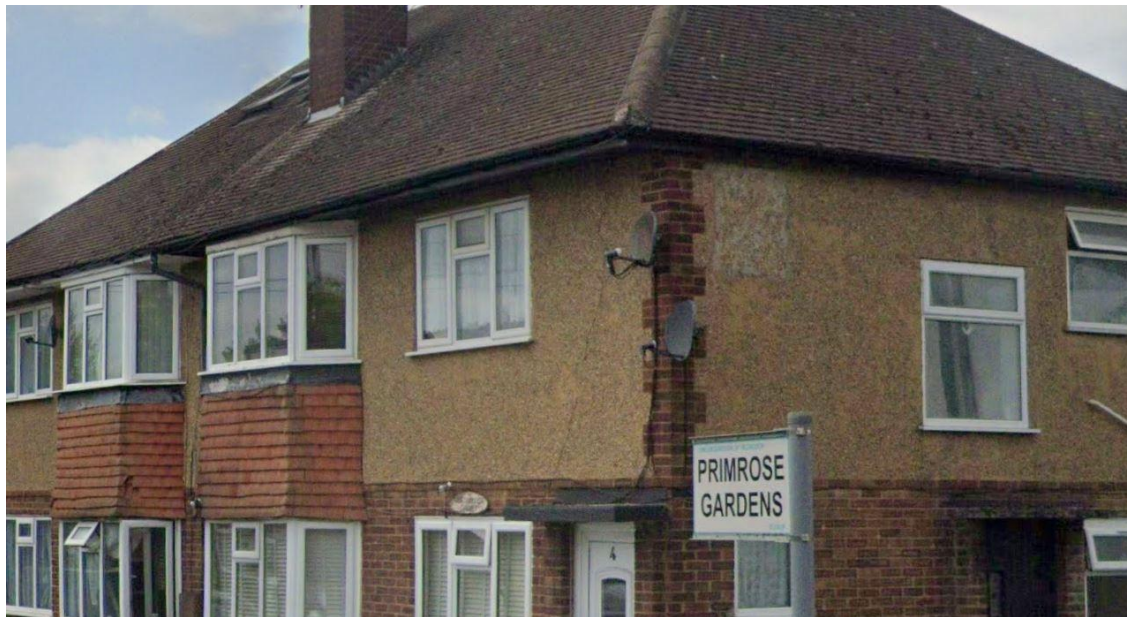
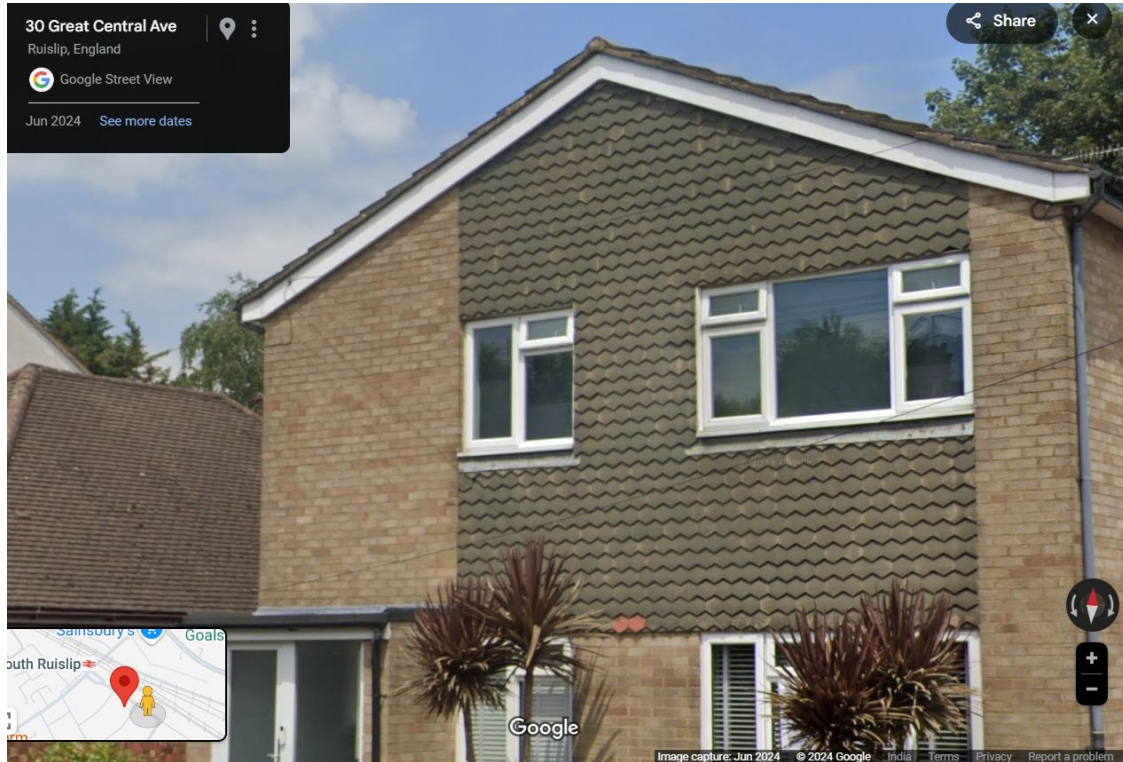
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When observing the entire street view, it becomes evident that the quoin detailing on the edges of the proposed dwelling neither disrupts the varied character of the street nor makes the property appear out of place. Therefore, it cannot be regarded as a breach that would cause significant harm.

Quoins, the decorative or structural blocks used to accentuate the corners of buildings, have a long history in architectural design, particularly in London's residential houses. Originating in classical and Renaissance architecture, quoins were initially functional, reinforcing masonry structures. Over time, they evolved into a decorative feature, symbolizing strength and stability. In London, during the Georgian and Victorian eras, quoins became a hallmark of prestige, often seen in grand townhouses and villas.

Stone quoins, typically made of limestone or sandstone, add texture and contrast to brick or stucco façades, creating a visual emphasis on the building's structure. Their alternating large and small block patterns, along with contrasting colours or finishes, lend a sense of sophistication and grandeur to the property. This design element was often associated with wealth and status, as the intricate craftsmanship required for quoins was a sign of affluence.

Architecturally, quoins reflect a blend of functionality and aesthetics, serving as both structural reinforcement and a statement of elegance. Today, quoins continue to be a timeless feature, evoking historical charm and contributing to the enduring appeal of London's residential architecture.

On this basis, this level of additional embellishment to the property should not be considered as a negative feature but a means to enhance the streetscape and thus bring prestige to the locale for the betterment of all residents.

2. Changes to the fenestrations at the front and rear elevations

The local guidance from the Hillingdon council states that the windows and doors

- a. should reflect the existing house in terms of their style, density and positioning.

- The windows currently installed on-site align with the style and materials of the original house before its demolition, while also complementing the window designs of the neighbouring properties. The photos below show the same.
- It is agreed that the windows on site not positioned exactly as drawn but the principle is largely the same with all habitable spaces having good sized windows. This has also been done to bring in maximum daylight and sunlight within all the habitable rooms of the property and to comply with the BRE guidance for the same.
- We can find lots of fenestration's variety on the street and broadly their style is similar, albeit architectural enhancements have been made for the betterment of occupants. This material deviation is not one that has a significant impact on the streetscape given each house is different in style. There are also some instances on the street where the window positioning does not match within one property.
- Within the windows of different houses, various modifications can be seen in the number of panes to the window. These sorts of changes do not typically need planning permission and can be done under Permitted Development. Appreciate that the current application is not Permitted Development, but the impact is not detrimental to its appearance.





- b. No window or door should overlook a neighbouring property. This has been followed throughout within the fenestrations proposed.
- c. If windows are located on a sidewall they should be at a high level, or non-opening and below 1.7m above internal finished floor level and fitted with obscured glass. It should be noted that the proposed site only has one side on one side elevation at ground floor level whereas the neighbouring properties on both sides have ample of windows on their respective side walls on first floor level too which have been granted and existing on street. This can be seen in the google street view below.



Overall, the variation in fenestrations does not detract from the character of the property or the street as a whole. Instead, these design choices appear to prioritize functionality, specifically by enhancing the intake of natural daylight. This thoughtful approach aims to create a brighter and more welcoming interior environment, contributing to improved living conditions for the residents while maintaining harmony with the surrounding streetscape.

3. The pitched roof over the single storey side extension appears taller than approved

1. Design Compatibility:

The Hillingdon Design and Accessibility Statement (HDAS) emphasizes that extensions should harmonize with the existing character of the area. The constructed triangular pyramid roof, while differing from the standard pitched roof initially approved, introduces a unique architectural feature that can enhance the visual interest of the property without disrupting the overall streetscape.

2. Scale and Proportion:

According to the HDAS, extensions should be subordinate to the original building and respect the scale of neighbouring properties. Although the constructed roof is slightly higher than approved, it remains proportionate to the main dwelling and does not dominate the existing structure or adversely affect the scale relationship with adjacent properties. It is an angle also aligned with main property roof and does not impact neighbours.

3. Visual Impact:

The HDAS advises that extensions should not have an adverse visual impact on the character or appearance of the surrounding area. The unique roof design, while a departure from the original plans, does not detract from the aesthetic cohesion of the street. In some cases, such architectural variations can contribute positively by adding diversity to the built environment.

4. Precedent and Context:

A review of the local area may reveal similar architectural features or variations, indicating that such deviations are not unprecedented. The presence of diverse roof forms in the vicinity can support the argument that the constructed roof at No. 18 is in keeping with the eclectic character of the neighbourhood.

5. Structural Integrity and Functionality:

The slight increase in height may have been necessitated by structural requirements or to achieve better internal spatial quality. Ensuring that the extension is both functional and safe is paramount, and minor deviation from approved plans can be acceptable.

4. The roof form over the main house appears steeper than approved

As also mentioned above, the existing street has many properties with a more steeper roof form than the roof built above the proposed dwelling. Some of the buildings on the street are gable faced houses with steeper roof slope. Some of these are shown below. This feature is also found on the neighbouring streets like Manor Gardens and Edward's Avenue.



35 Great central avenue



66 Great central avenue



54 and 54A Edward's Ave, HA4 6UT

Being a part of such a varied and vivid context, the roof form built on site does not necessarily deviate from the approved version. The eaves of proposed roof is maintained in line with no.14 and does not rise above the height of it. Ridge height is also akin to the approved, the variance at peak related to structural elements. The proposed design adheres to the above-mentioned principles, ensuring harmony with surrounding structures.

Design and Heritage Considerations:

- The Hillingdon Local Plan outlines that new builds should respect the scale and massing of existing structures within the neighbourhood. This includes ensuring that ridge and eaves heights are sympathetic to those of neighbouring properties. By aligning the eaves with No. 14 and keeping the ridge height in line, the proposal demonstrates a careful consideration of the surrounding architectural context.
- Reference: Hillingdon Local Plan – policy DMHB 11

Roof Form and Proportions:

- The guidelines for residential extensions and new builds emphasize maintaining a balance between the roof form and the surrounding architecture. This principle extends to ensuring that any changes, such as a steeper roof pitch or variations in height, are not overly dominant or visually disruptive.
- Reference: Hillingdon Local Plan – policy DMHD 11

Visual Continuity and Street Character:

- The guidelines stress the importance of maintaining visual continuity in residential areas. While a slight variance in ridge height might occur for technical reasons, it should not detract from the cohesive character of the street. The proposal's ridge and eaves alignment ensure that the roof does not exceed the height of neighbouring buildings, preserving the overall aesthetic harmony.

- Reference: Hillingdon Local Plan – policy DMHB 11

Structural Integrity and Justification for Variations:

- In cases where structural adjustments lead to slight changes in ridge height or roof form, these variations can be acceptable if they are justified by technical or engineering requirements. The proposed variance in the roof's peak is related to structural elements, which is a legitimate reason for slight changes that do not undermine the integrity of the streetscape.
- Reference: Hillingdon Local Plan – policy DMHD 11

Ridge height is also akin to approved, the variance at peak related to structural elements. These structural adjustments are essential for the building's integrity and do not significantly impact the overall appearance.

Please find drawings below showing the main roof slope differences between as approved and as built on site. The drawing seen in dashed red line is the version approved by the council and the one seen in continuous black line is the version currently built on site. For clarity, the differences for this specific point have been highlighted by a blue box.

5. A front porch canopy extension has been built without the benefit of planning permission

Although not on original approved drawings, this has been added under the property's permitted development rights.

As per the Permitted development rights for householders Technical Guidance, the following has been stated in Class D – Porches.

This provides permitted development rights for the erection of a porch outside any external door of a house.

D1. Development is not permitted by Class D if –

- a) permission to use the dwellinghouse as a dwellinghouse has been granted only by virtue of Class M, N, P, PA or Q of Part 3 of this Schedule (change of use)

The erection of a porch is not permitted where the house was created under the permitted development rights to change use, set out in Classes M, N, P, PA, and Q of Part 3 of Schedule 2 to the Order (see page 4).

- b) the ground area (measured externally) of the structure would exceed 3 square metres
- c) any part of the structure would be more than 3 metres above ground level or

- d) any part of the structure would be within 2 metres of any boundary of the curtilage of the dwellinghouse with a highway

The front porch erected on site complies with the criteria of the permitted development by being less than 3m in height and area being less than 3 sq.m when both measured externally. Although it requires certificate of lawfulness, that porch can gain approval under PD regulations and does not necessarily need planning permission.

The porch constructed on-site is a portico, unique in its design and one of a kind on the street. Several properties in the area feature front porches that are distinct in their own way. Some are crafted from timber on a brick façade, while others are full-length porches or shed-like structures with pitched roofs supported by brick columns. Each of these porches is specific to its respective property, with no apparent reference or inspiration drawn from other properties in the vicinity.





Similar approvals

Within the broader Hillingdon area, there are many streets with different varieties of houses forming the street and numerous approved residential schemes that do not fully align with the street context or neighbouring properties. Some of them are listed below:

1. Vine Lane – Vine Lane in Uxbridge, London (postcode UB10 0BA), showcases a diverse streetscape where each residence exhibits unique architectural characteristics. The architectural styles along Vine Lane reflect different periods and design preferences, contributing to the street's eclectic and individualized appearance. This architectural diversity enhances the visual appeal of Vine Lane, making it a distinctive and engaging environment within the Hillingdon area.



2. 14A Bourne Avenue Ruislip, HA4 6TZ granted in 2017 is a rendered façade house with casement windows sitting between a brick façade property on side and a rendered façade property with bay windows on the other making it different from the street

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context. 12 Bourne Avenue Ruislip on the other side has an entrance porch covered with decorative column giving the aesthetics of a portico.



3. 3 Deane Avenue, HA4 6SP is a half brick/ half render façade demolition of 1no. dwelling and erection of 2no. semi-detached dwellings in between 4 terraced properties with brick facades on side and 2 semi-detached brick façade properties on the other side.



4. 70 Mahlon Avenue, HA4 6TE is a rendered façade house with alternative blockwork quoin detailing on the edges of the house. The property is standing in between a mix of houses with a half brick/half tile façade property in different variations on both sides. This property has been approved within the same locality and is located at 10-minute walking distance from the proposed site.



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These and many more examples solidify the fact that not all residential designs need to strictly adhere to vernacular styles, particularly in areas like Ruislip, where architectural diversity adds to the neighbourhood's character. While the proposed changes deviate from the original approval, they reflect a contemporary interpretation that enhances functionality and aesthetic appeal. Modern additions, such as quoin detailing and revised roof forms, can coexist harmoniously with traditional designs, enriching the overall architectural tapestry of the area. The focus should be on ensuring the new elements integrate well with the surroundings rather than rigidly adhering to past styles.

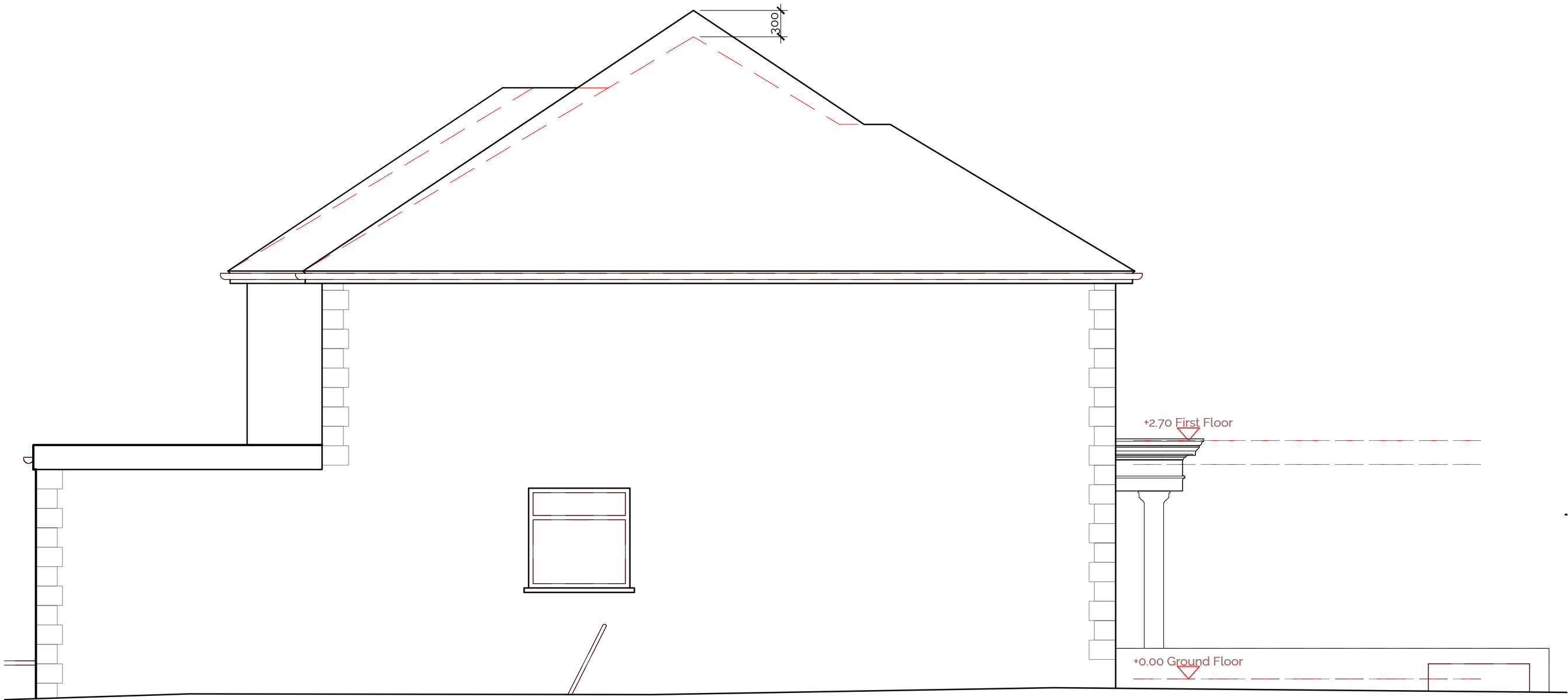
Conclusion

The entire street and the area around are a mix of architectural styles where we can say that there is nothing right nor wrong. Every different variety and style have been made feasible and has been built on site. This forms the character of the area where a style of a new build can be recognized individually rather than being like some other building for the sake of comparison. We believe that this factor should be considered by the council for the consideration of the dwelling built on site.

It should also be considered that these changes will be submitted to council via a pre-application process to receive their feedback and advice on the same and determine if it can be supported.

Comparison in planning drawings

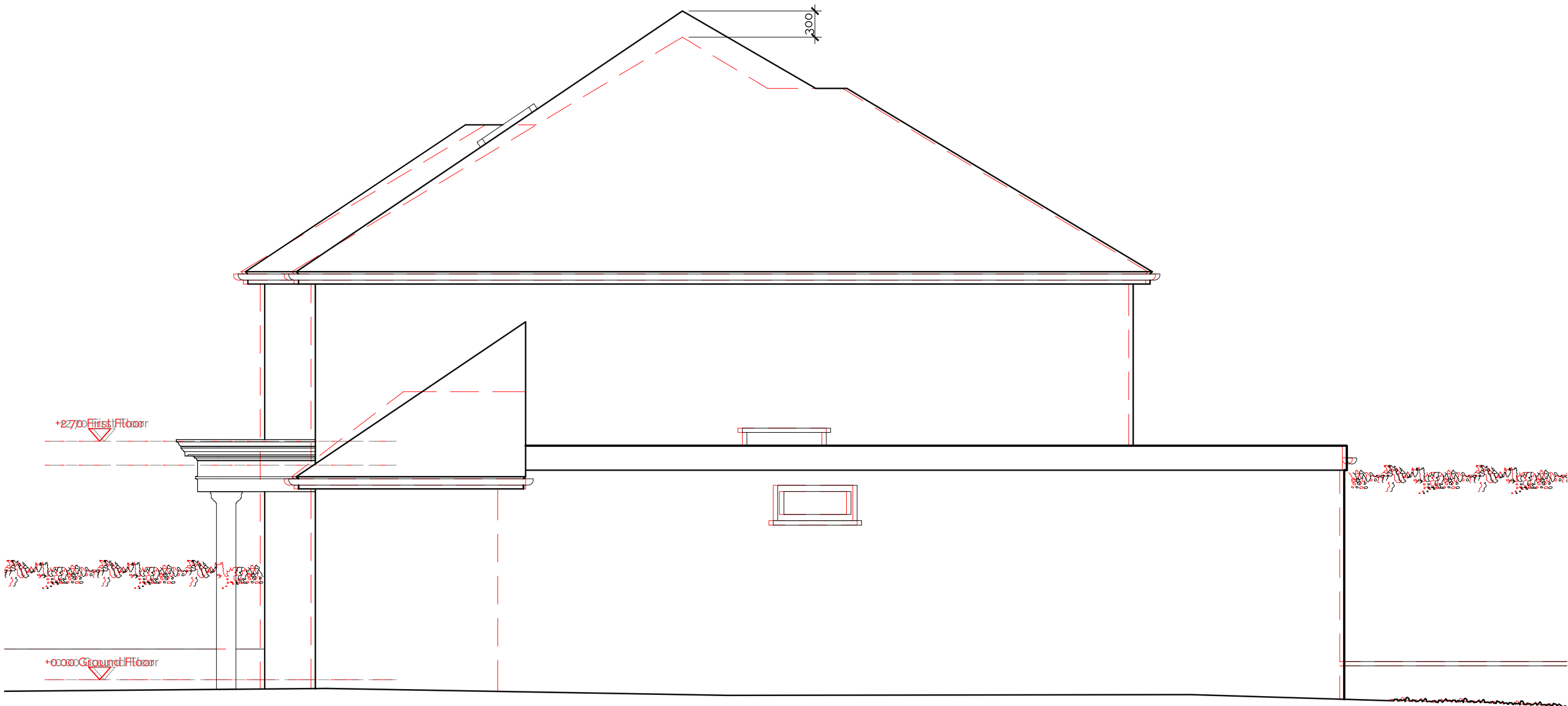
As appendix diagram below: Drawings below showing the version built on site overlaid on the approved version from the council to flag the changes between them in Appendix. This can be referenced for all the points mentioned above. The drawing seen in dashed red line is the version approved by the council and the one seen in continuous black line is the version currently built on site.



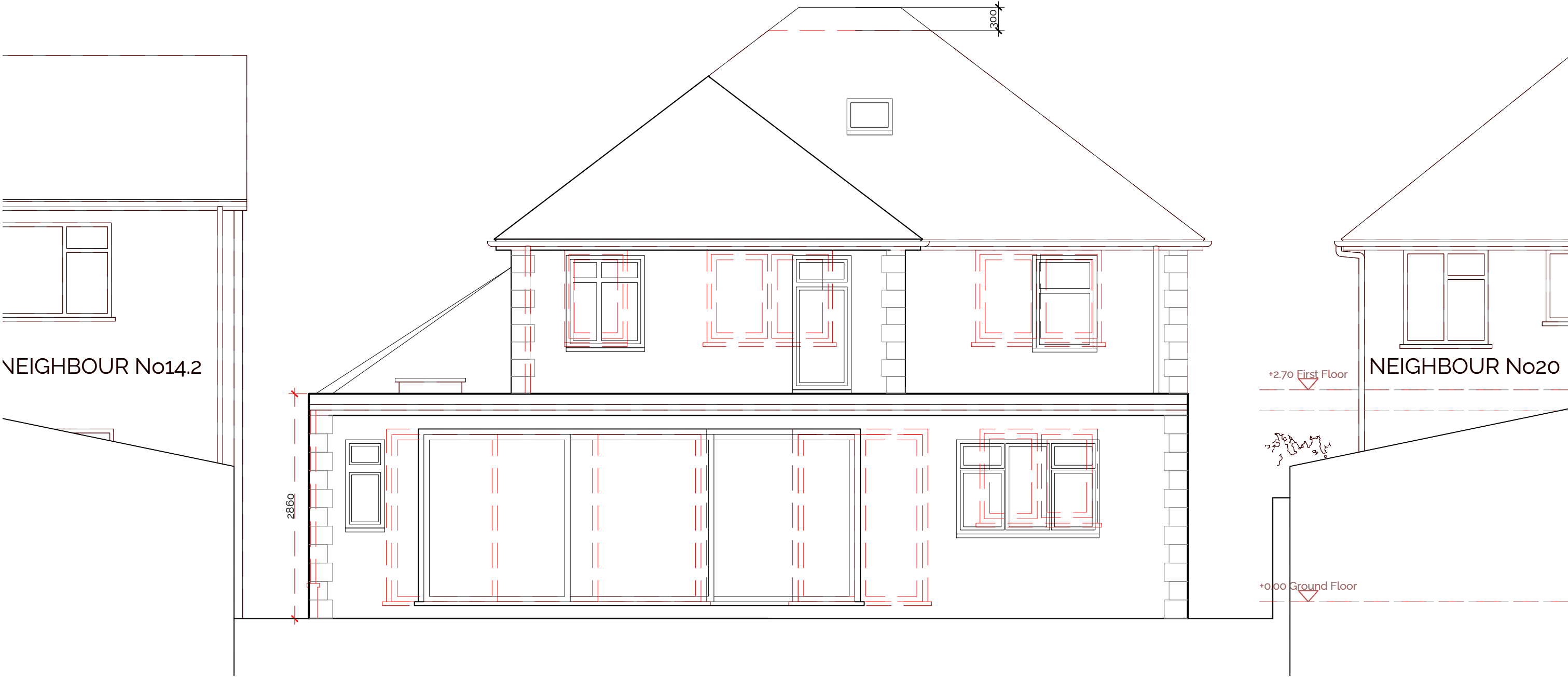
Left Elevation



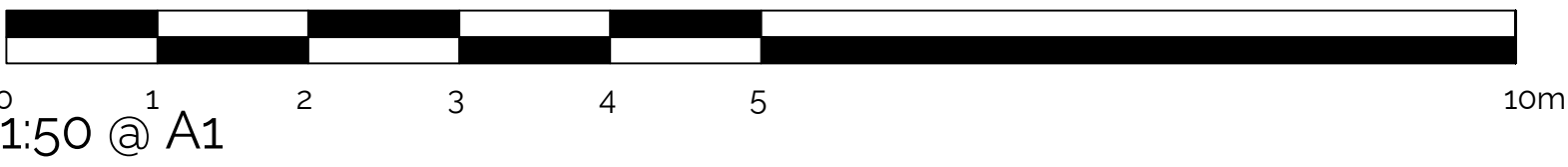
Front Elevation



Right Elevation



Rear Elevation



Scheme Level

from a measured survey

1. This drawing has been based upon a measured survey drawing by others. As a result, the precision of the dimensions indicated is dependent upon the information supplied.

2. While this drawing can be used as a base drawing for construction purposes, it is VERY IMPORTANT that all dimensions are checked carefully before any work commences or any materials are ordered.

3. This drawing can be used as part of a planning application, although your planning officer may ask for more specific information about some aspects of the design. Ask your architect for more information on planning applications.

4. Where applicable, a suitable Structural Engineer and/or a Party Wall Surveyor should be consulted. Although as far as possible these instances have been indicated, this is not necessarily exhaustive and the whole scope of proposed works should be reviewed.

5. Unless other arrangements have been specifically made, your building contractor should serve a Building Notice, as and where applicable, to your local authority to satisfy the requirements of the Building Regulations. Your building contractor should also liaise with the Building Control Officer regarding routine inspections of the work.

This is a 'Scheme Level Drawing' and is intended to illustrate the general arrangement of the project proposals. As it stands this drawing does not include all of the detail necessary for a full plans building regulations application.

While this drawing can be used as a base drawing for construction purposes, your building contractor may require more information. It is therefore important to discuss, with your architect & builder together, where more detail would be appropriate.

Further detailed design / dwgs may be needed for this section.

You may need a Structural Engineer for this section.

This symbol indicates that it may be beneficial to have more detailed design drawings prepared to illustrate elements of the proposal in more detail so that your building contractor can more fully understand the intention of the design.

This symbol indicates that structural calculations / structural design may be required, both of which should be undertaken by a suitable structural engineer. Your architect can help point you in the right direction.

You may need to consult a Party Wall Surveyor for this section.

This symbol indicates that you may need to take action in order to comply with the Party Wall Act and it may be wise to consult a suitable Party Wall surveyor. Your architect can help point you in the right direction.

All dimensions are in millimetres
All dimensions to be checked on site
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Project name:
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18 Great Central Avenue, Ruistlip, HA4 6UD

Drawing name: Elevations as Proposed		
Date: 17/12/2024	Job no: 66UXB 262	Drawing no: 135
Scale: 1:50@A1	Revision: 00	Drawn by: UM

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