

Design and Access Statement

162 High Street, Ruislip, HA4 8LJ

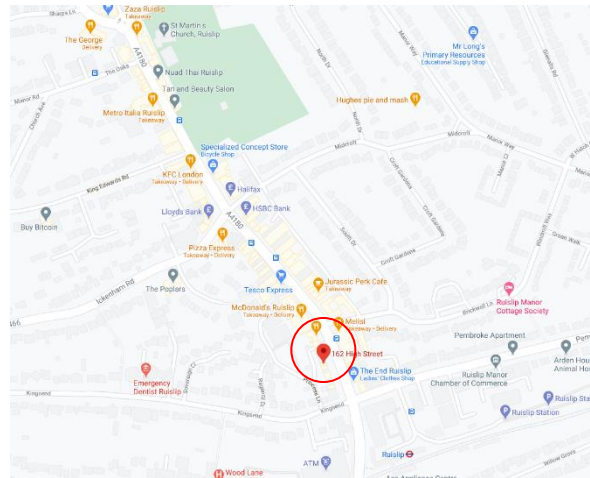
Introduction

The site lies south on Ruislip High Street at 162 High Street, Ruislip, London Borough of Hillingdon and falls within the boundaries of Ruislip Village Conservation Area. The application site is an existing property on the high street composed of a shop unit on the ground floor and accommodation flats right above on the first floor and loft. It is within an established residential area, well provided with public transport, shopping, leisure and other facilities required by the residents such as schools and local outdoor areas.



Location

The proposed site being situated on the high street itself provides instant access to many local amenities such as cafés, restaurants, retail stores, a medical centre and local supermarkets. It sits only a three min. walk from Ruislip Underground Station which provides direct transport to London and Heathrow Airport that takes approximately 45min and 15min bus ride away from Ruislip Gardens Underground Station, where frequent Central line service can take you into and across London.



Local public transport also includes many bus services available right from the doorstep, such as: 278, 331, E7, H13, U1, U10 and all run as frequently as 10-15 min. Bus routes run to Ruislip Common, West Drayton, Uxbridge and Heathrow Airport.

The location not only offers a variety of local amenities but also several schools for all ages that sit within a one-mile radius:

- ‘Warrender Primary School’ (12min walk)
- ‘Bishop Ramsey Church of England School’ – Secondary and Sixth Form (18min walk)
- ‘Pentland Field School’ – Primary, Secondary and Sixth Form (20min walk)
- ‘Ruislip High School’ – Secondary and Sixth Form (15min walk)
- ‘Sacred Heart Catholic Primary School’ (5min walk)

Uxbridge College and Brunel University are only a 4min journey on the underground service from Ruislip Underground Station to Uxbridge Underground Station.

Just 5min up north towards the end of the high street, Church Field Gardens has plenty of open green area with a designated playground and three tennis courts. Whereas, 5 min. walk to the south of the site, there are rugby and football grounds. A 10min bus journey (20min walk on foot) would get you to the Highgrove pool and fitness centre where plenty of activities are available for many age groups that includes swimming and fitness activities.

Development

The proposal seeks an extension to the rear of the existing shop unit on the ground floor and the renovation of the two story, three-bedroom accommodation above into three individual one-bedroom apartments with private amenity spaces. The accommodations above will provide a comfortable living space that will serve the current need of a modern household. The design and construction will be carried out in the manner that respects the form and nature of the immediate context. The essential principle of the development, including the basic form, massing and scale of the building is to be sympathetic to the adjoining properties. The proposed development will sit comfortably within all sight lines and will not overlook into the neighbouring properties. The current existing residential accommodations do not benefit from any private outdoor amenity space so we have proposed private outdoor amenity spaces for the rear facing first floor unit and a VELUX CABRIO balcony for the loft unit. In addition, the property is located just 5min from Church Field Garden Park which includes a playground.

The proposal has been designed in such a way, to have minimal impact of overshadowing and loss of light to the neighbouring properties and allow maximum daylight into the new proposed accommodations.

The new development will maintain the existing valuable character and use of traditional construction methods to have minimal impact on the character and appearance of the surroundings. The total gross floor area with amenity of the new proposed layout is 168sqm.

Conclusion

Our proposition will ensure additional space to the existing ground floor shop unit to improve and grow the business while improving the living accommodations on the first floor and loft will allow cheap and affordable housing for locals and key workers in these difficult times.

The proposed affordable apartments would be ideal for low incomers and students who are in the most need of an affordable home and any business owners or workers in the retail shops, located on the high street. The dire need for affordable accommodation available to the local community will meet the needs for good quality, affordable housing as such and those properties will be made available to housing associations such as: Hillingdon Social Housing.