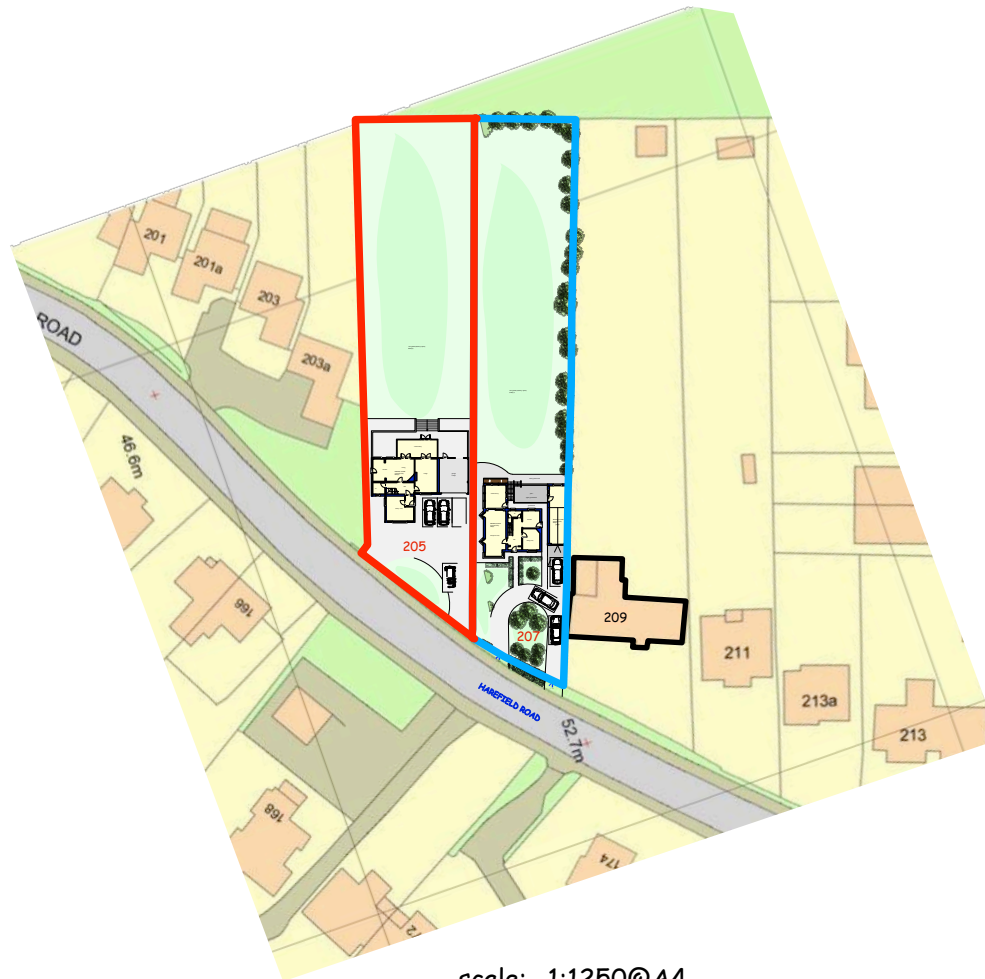
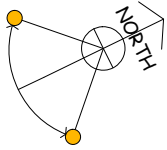




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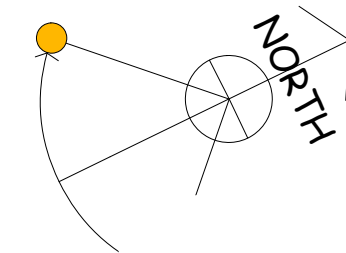


scale bar:- 1:1250

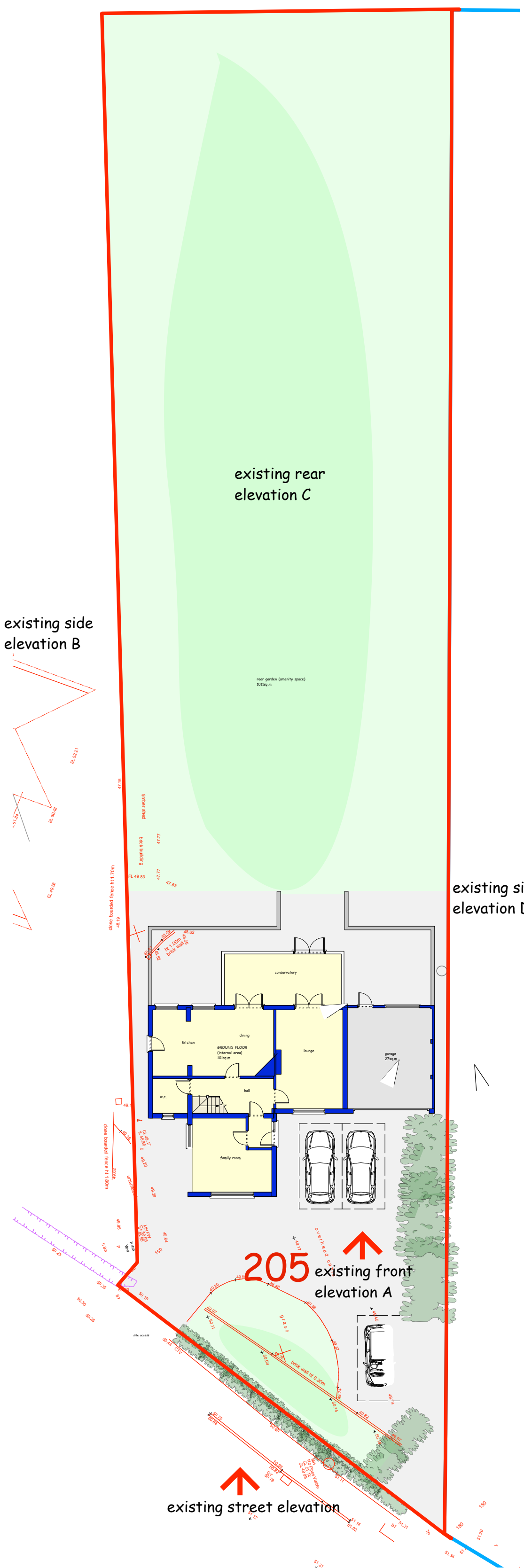
A-Z Building Services

A: Addlestone K115
E: hthuseyin0809@msn.com
T: 07969925562

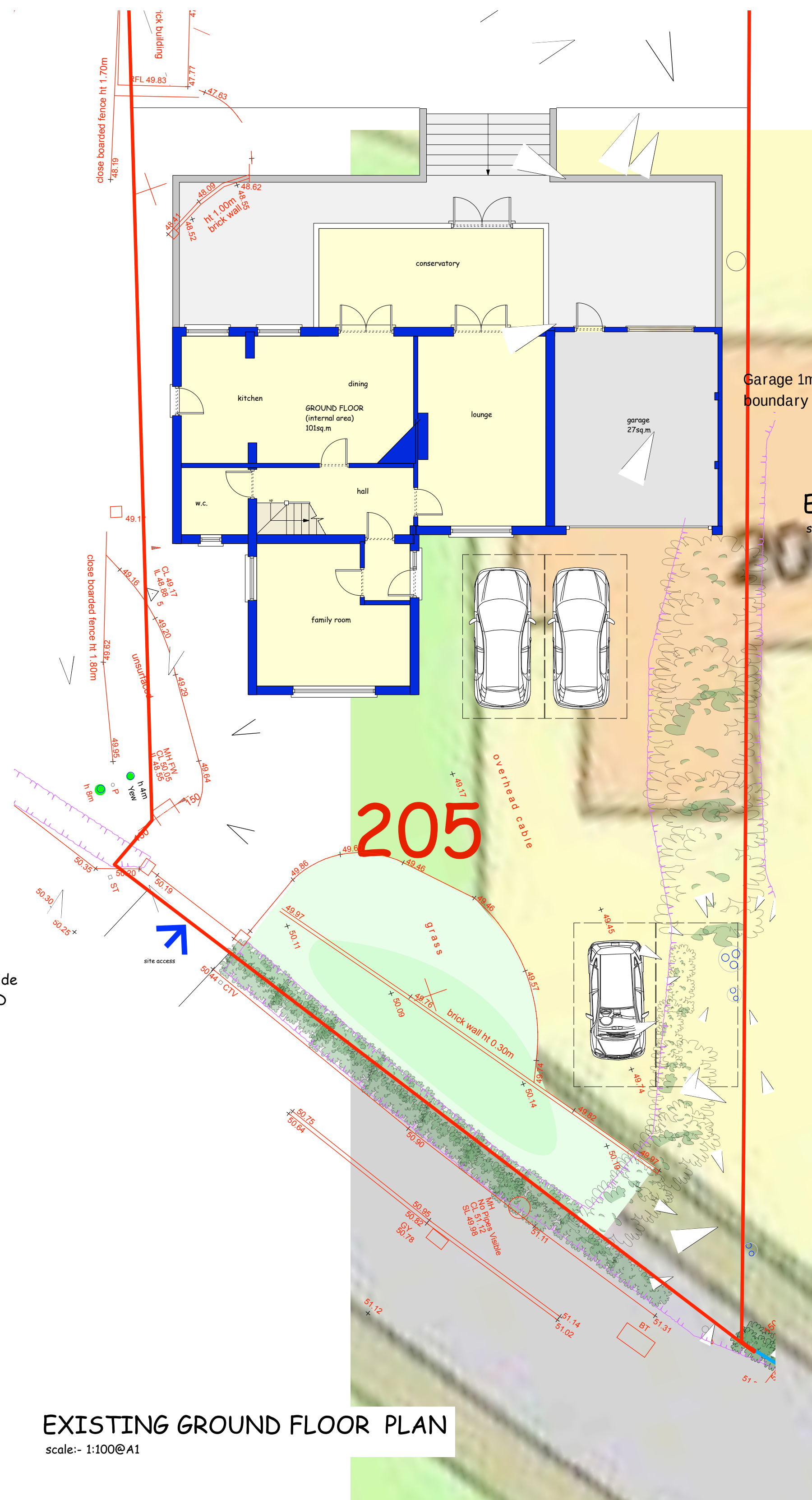
205 HAREFIELD ROAD, UXBRIDGE.
INFORMATION AS EXISTING - 205UXB/PL01



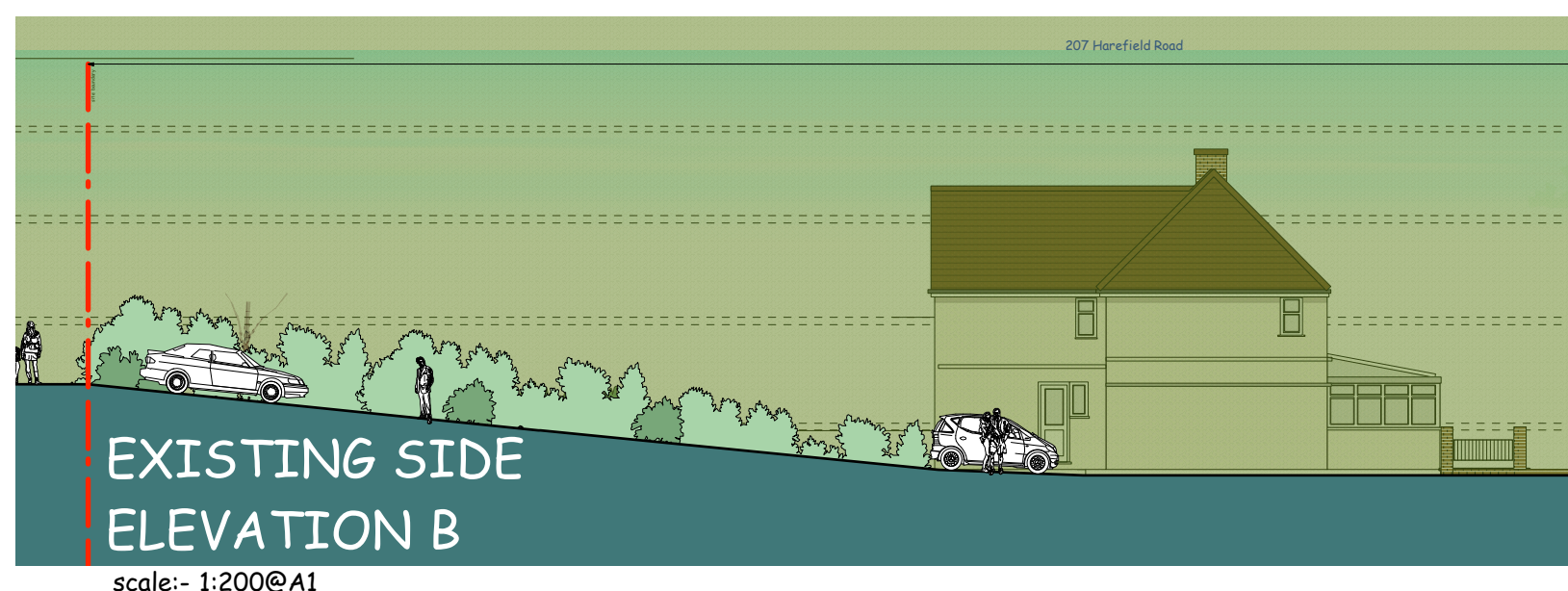
NOTE: No dimensions are to be scaled from this drawing.
Report all errors and omissions to the Architect.
All dimensions to be checked on site before fabrication.



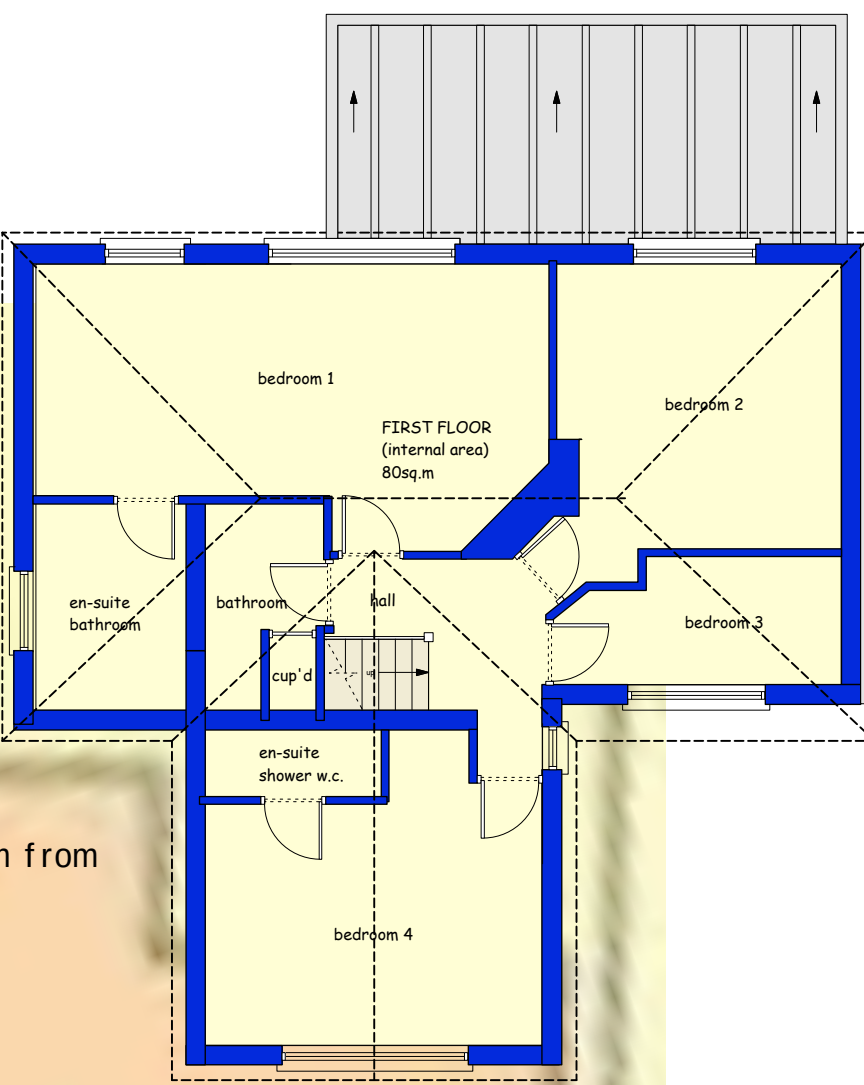
EXISTING SITE / GROUND FLOOR PLAN
scale:- 1:200@A1
205 HAREFIELD ROAD, UXBRIDGE.
EXISTING INFORMATION



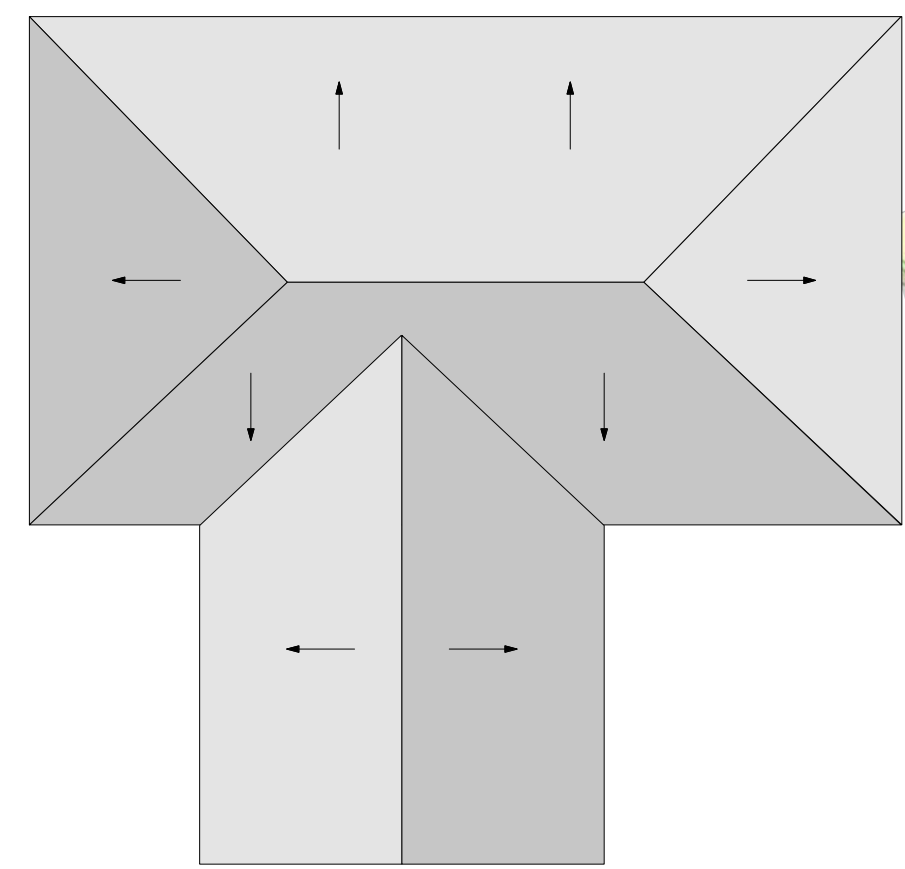
EXISTING GROUND FLOOR PLAN
scale:- 1:100@A1



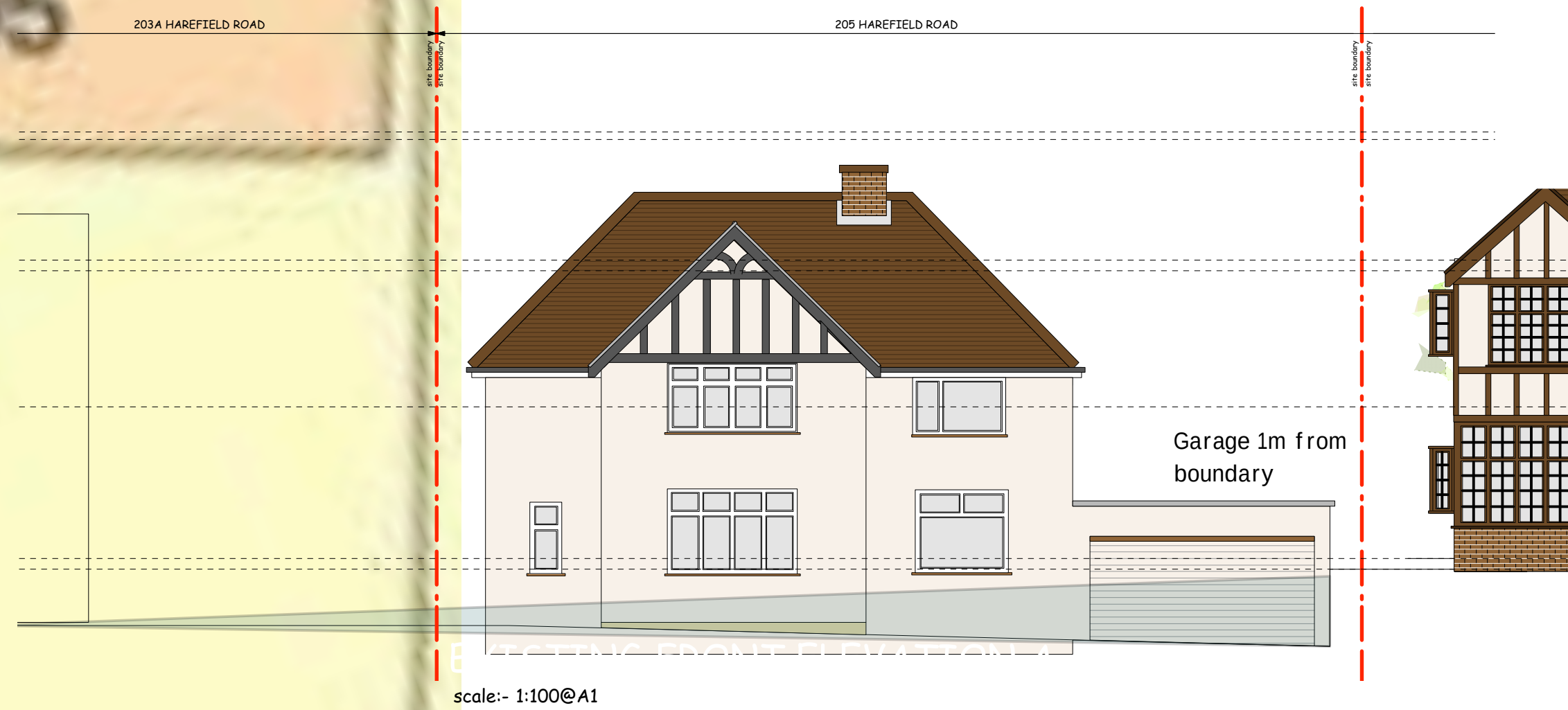
EXISTING SIDE
ELEVATION B
scale:- 1:200@A1



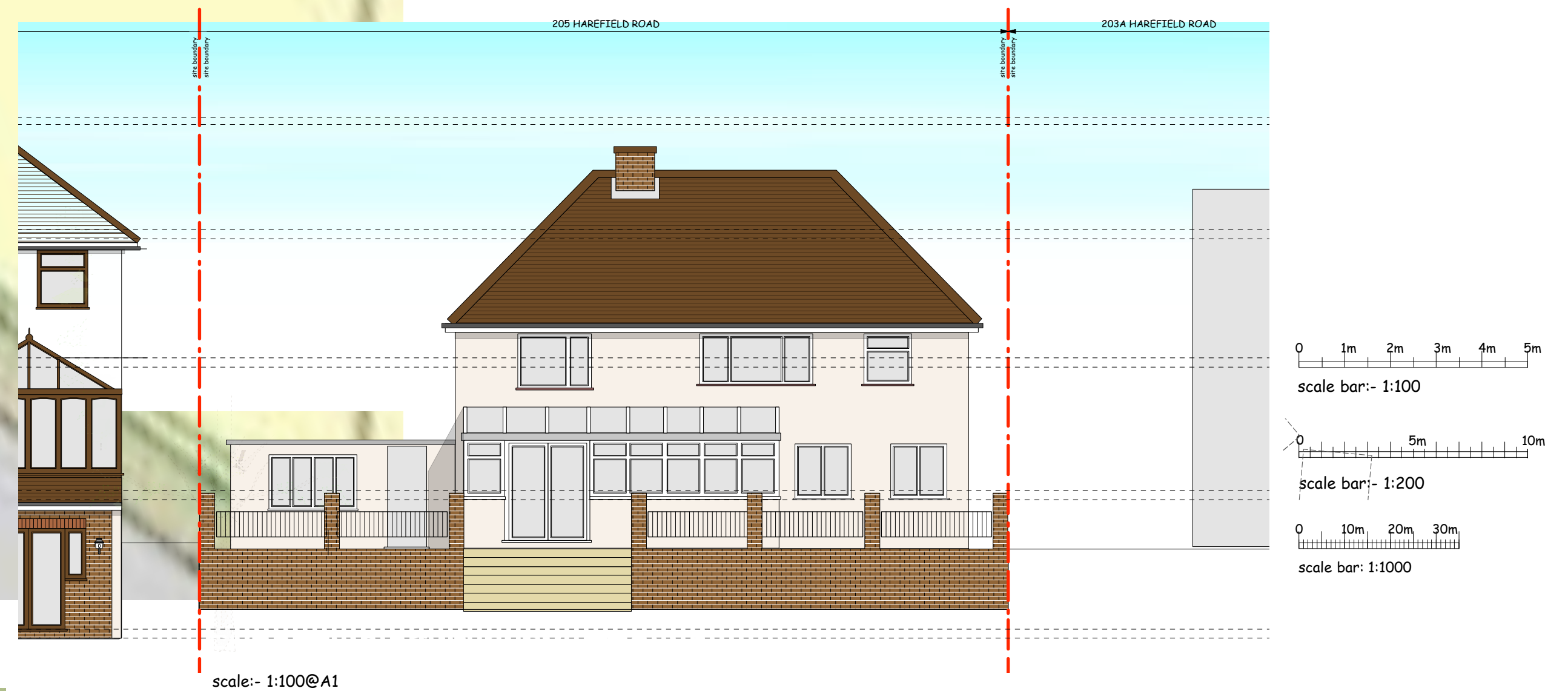
EXISTING FIRST FLOOR PLAN
scale:- 1:100@A1



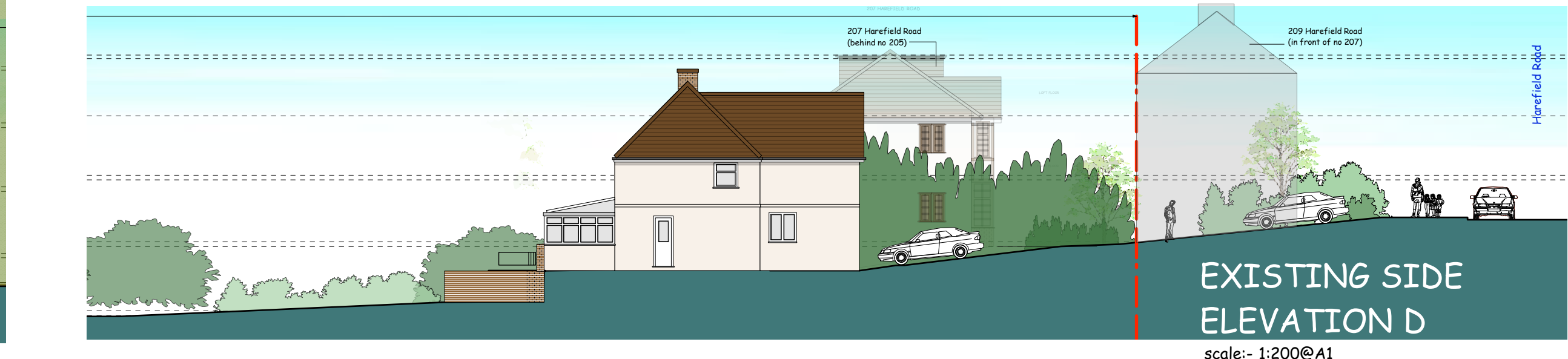
EXISTING ROOF PLAN
scale:- 1:100@A1



scale:- 1:100@A1



scale:- 1:100@A1



EXISTING SIDE
ELEVATION C
scale:- 1:200@A1

Site Area:- (approx) - 1,460sq.m/15,715sq.ft 0.360ACRES

ACCOMMODATION TO SITE:-

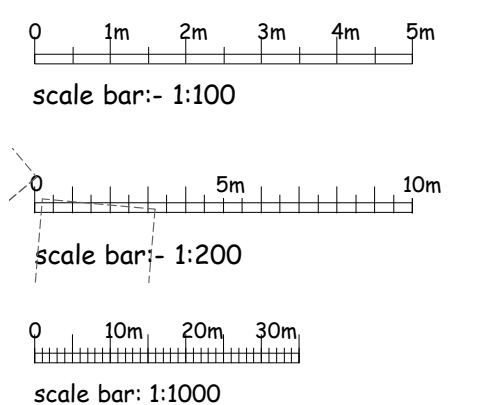
loft floor:- 00sq.m
first floor:- 80sq.m
ground floor:- 75sq.m
lower floor:- 00sq.m
TOTAL:- 155sq.m/1,668sq.ft (habitable)

Parking onsite: 3 bay
amenity space:- 1011sq.m

REV.	DATE	DESCRIPTION
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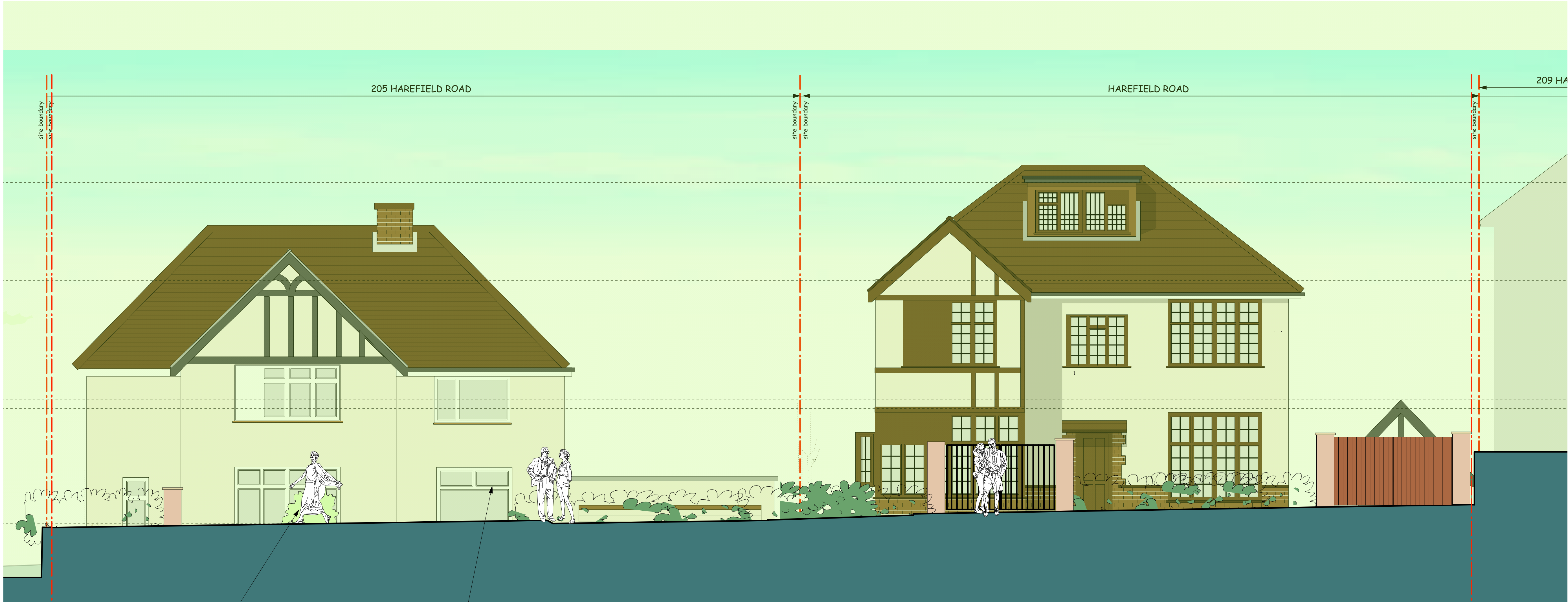
A-Z Building Services

A: Addendum K115
E: Harefield C1007@mm.com
T: 07969925662



PROJECT 205 HAREFIELD ROAD UXBRIDGE	
DRAWING EXISTING INFORMATION	
CLIENT	
SCALE 1:100/1:200/1:1000 @ A1	DATE OCT/2018
DRAWING No 205UXB/PL03C	
© copyright retained	

NOTE: No dimensions are to be scaled from this drawing.
Report all errors and omissions to the Architect.
All dimensions to be checked on site before fabrication.



EXISTING STREET
ELEVATION
scale:- 1:50@A1

REV.	DATE	DESCRIPTION
------	------	-------------

A-Z Building Services

A: Addressline K115
E: info@azbs.co.uk
T: 01969925562

EXISTING PHOTOGRAPH'S OF STREET SHOWING THE LANDSCAPING

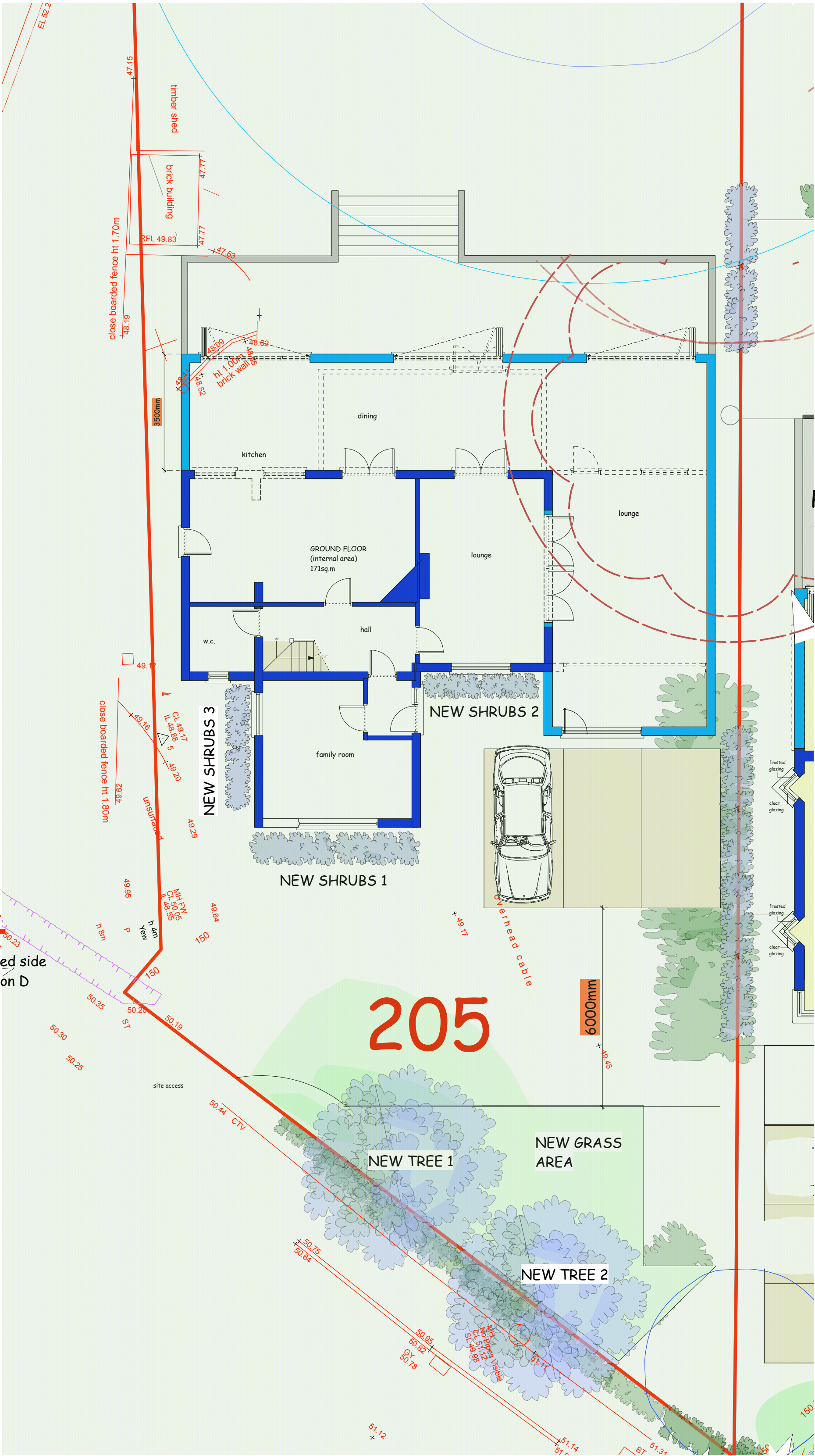
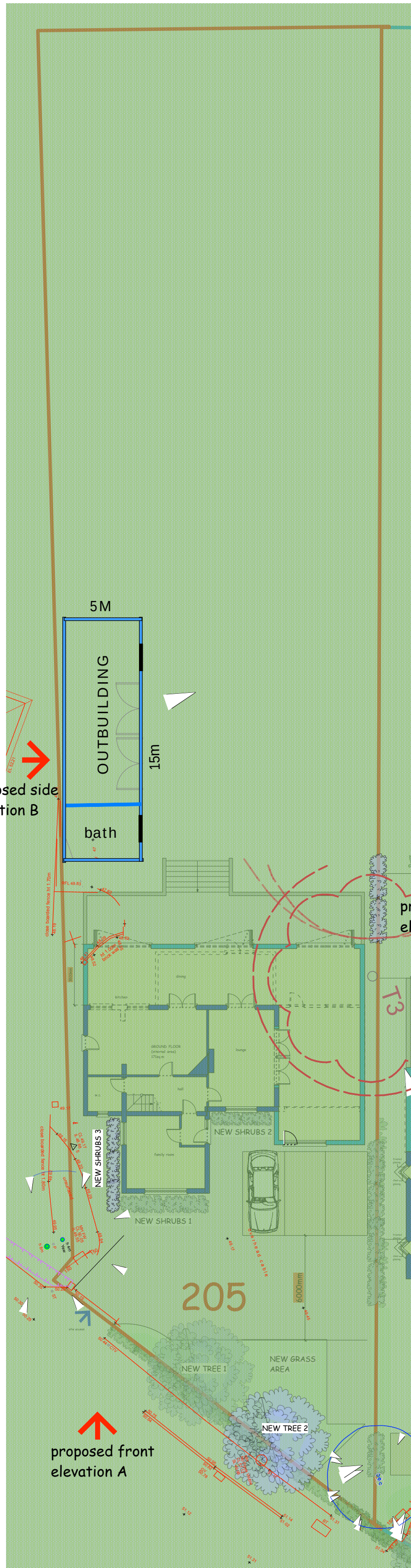
205 HAREFIELD ROAD, UXBRIDGE.
EXISTING INFORMATION

0 1m 2m 3m
scale bar:- 1:50

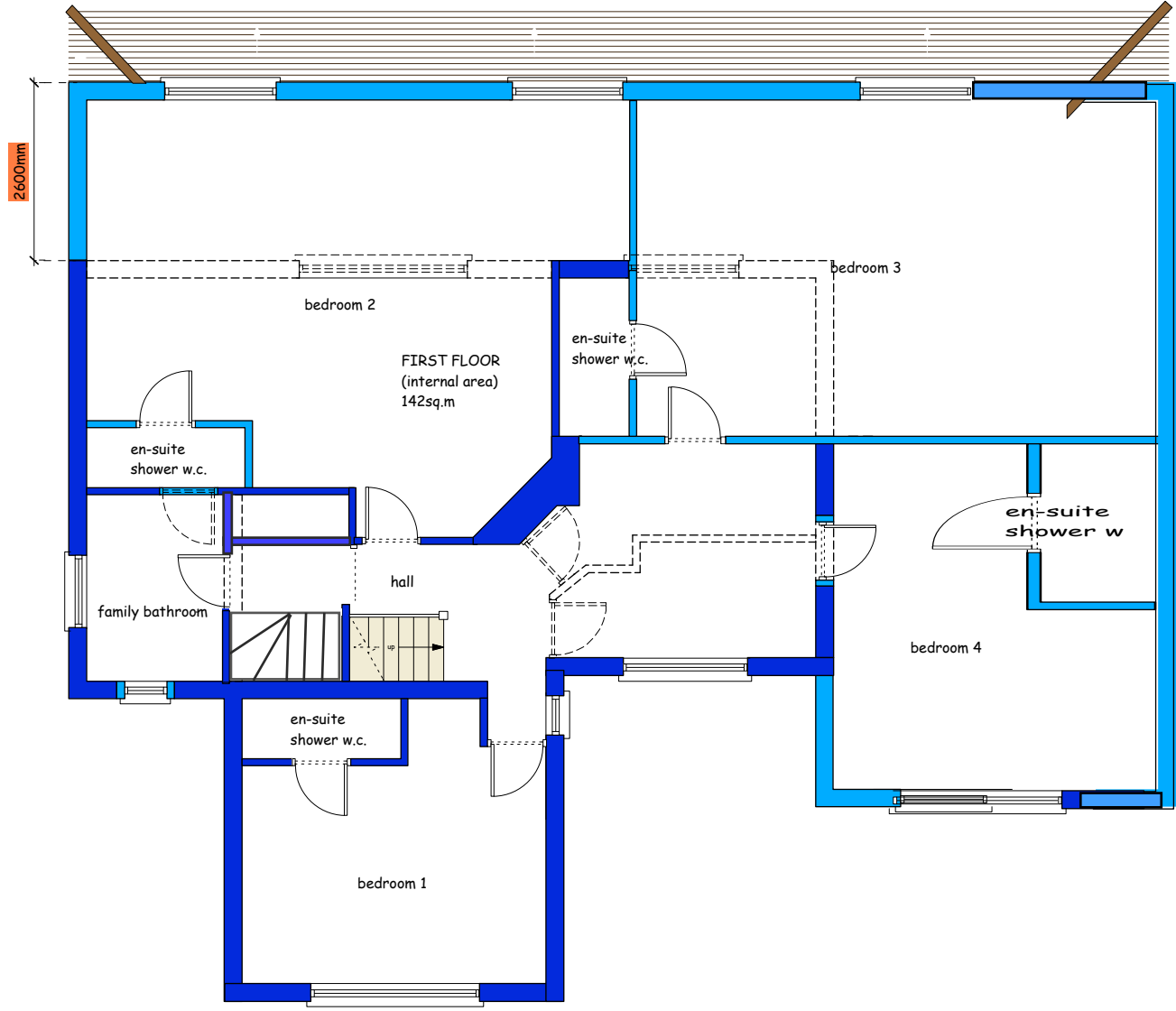
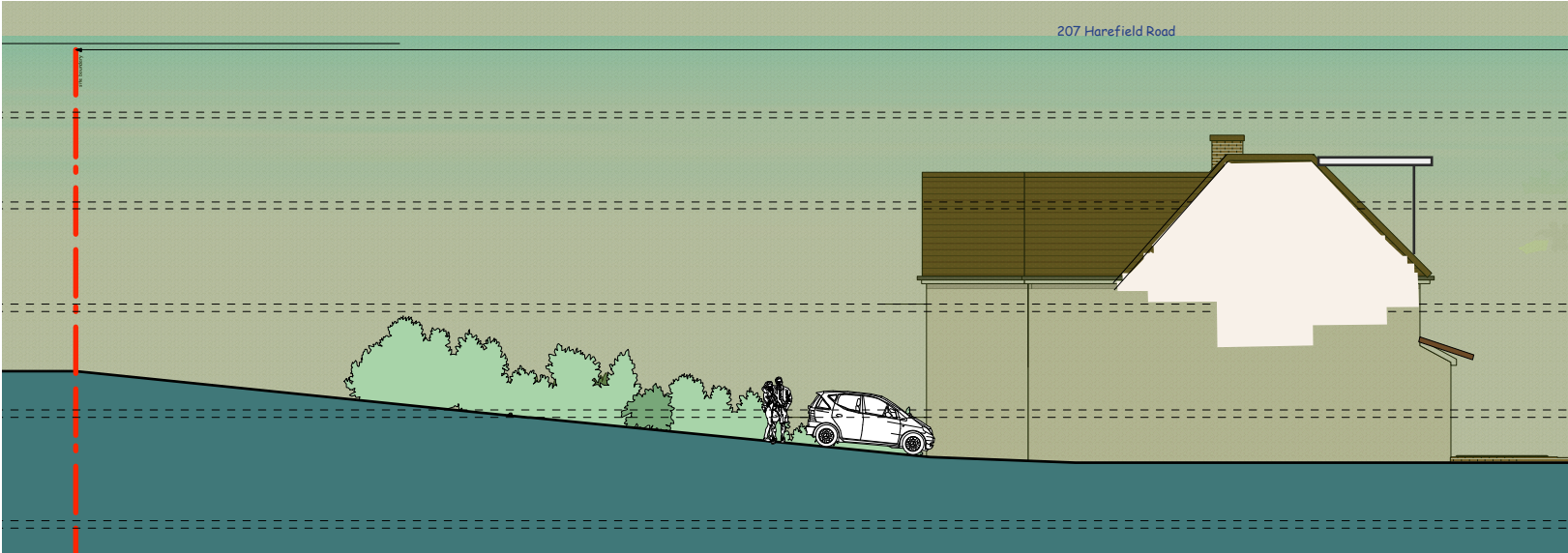
PROJECT 205 HAREFIELD ROAD UXBRIDGE	
DRAWING EXISTING INFORMATION	
CLIENT	
SCALE 1:50 @ A1	DATE OCT/2018
DRAWING No 205UXB/PL04	
© copyright retained	

WALL CONSTRUCTION

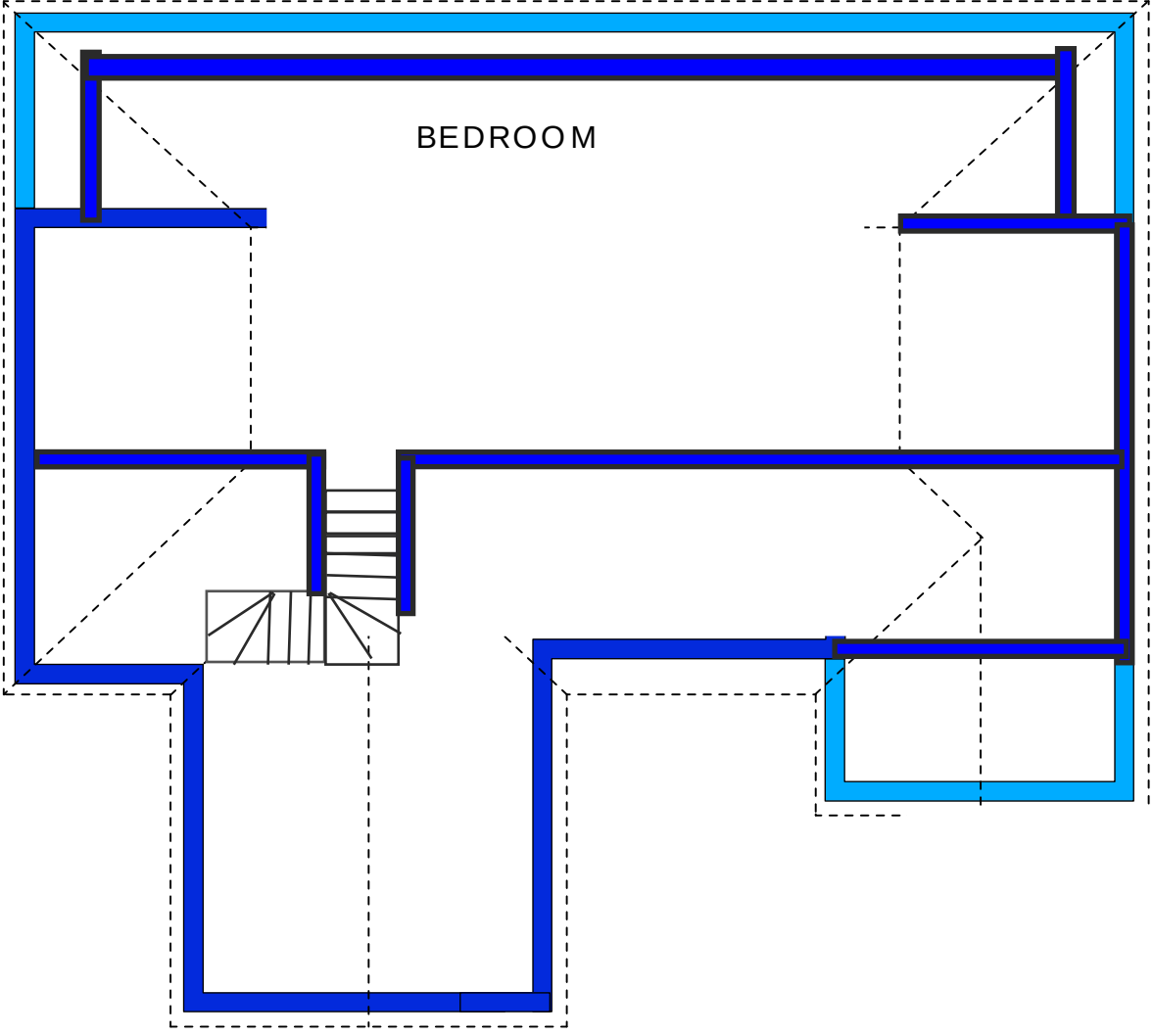
- existing wall
- proposed wall



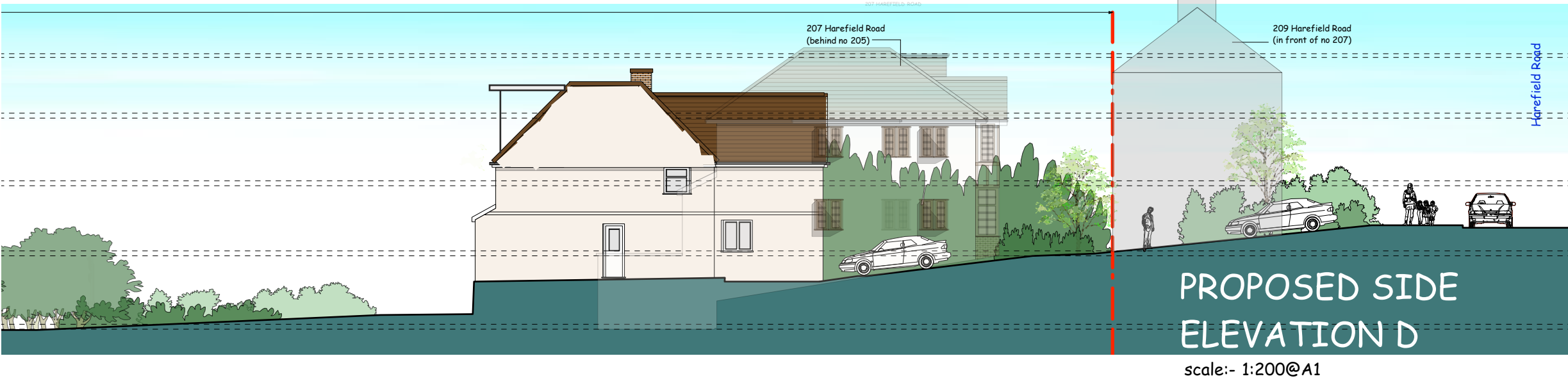
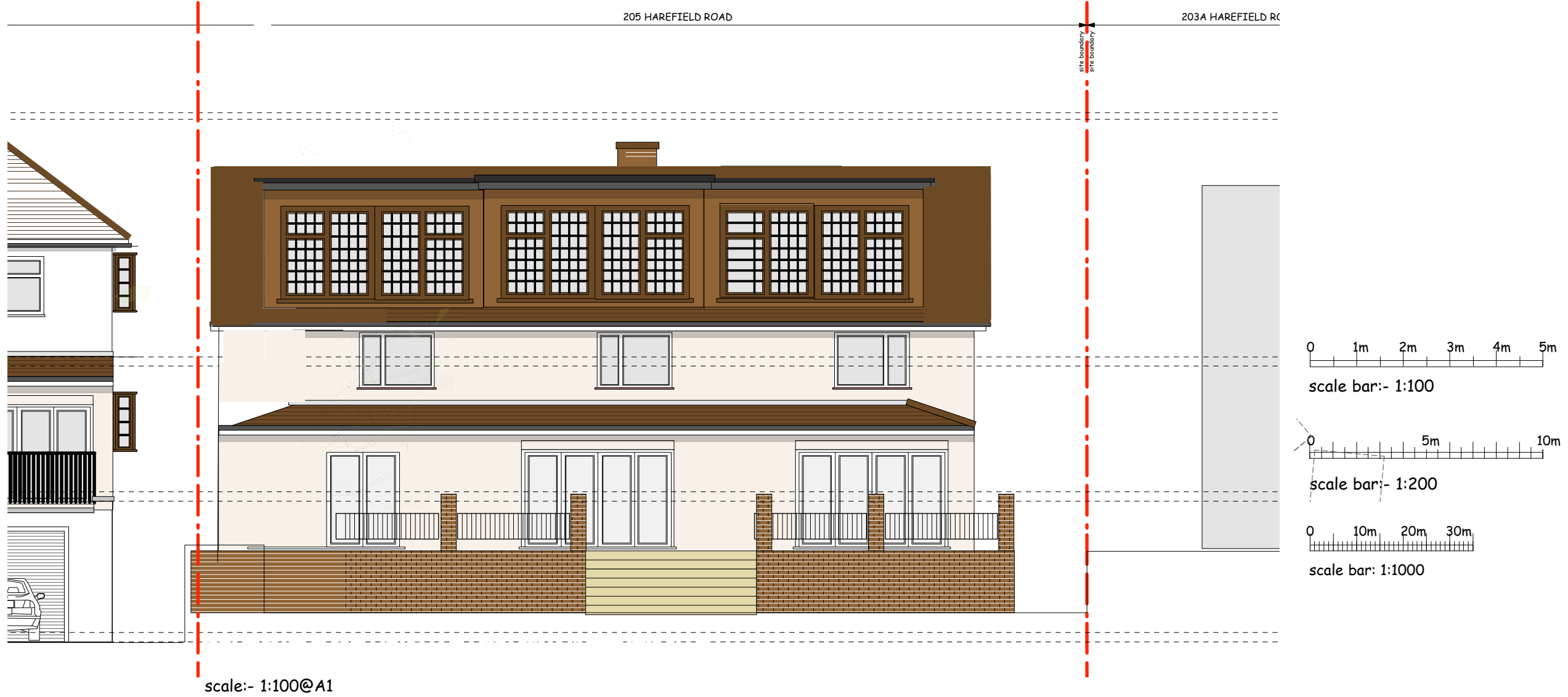
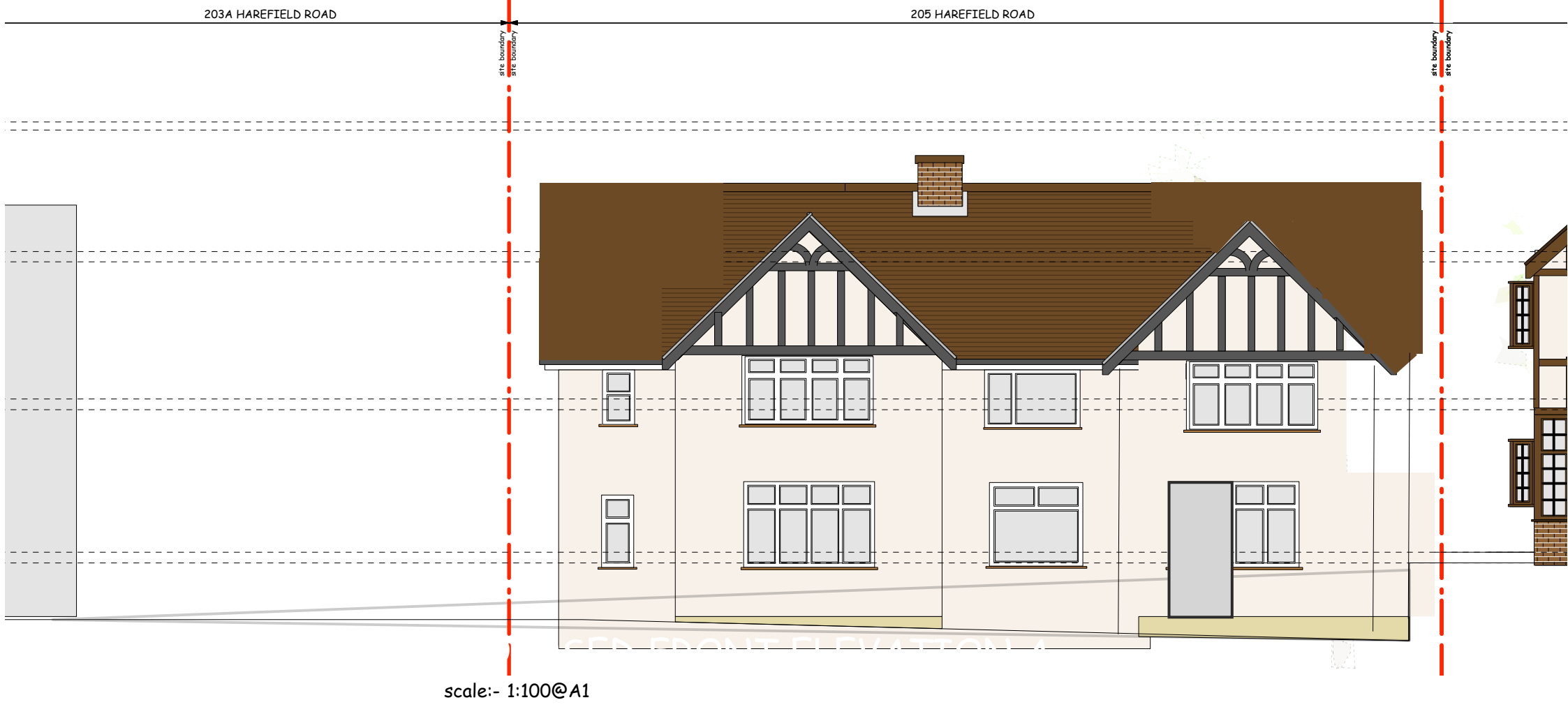
PROPOSED GROUND FLOOR PLAN
scale:- 1:100@A1



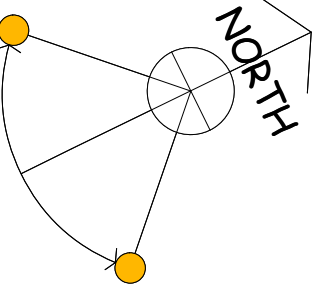
PROPOSED FIRST FLOOR PLAN
scale:- 1:100@A1



PROPOSED ROOF PLAN
scale:- 1:100@A1



NOTE: No dimensions are to be scaled from this drawing.
Report all errors and omissions to the Architect.
All dimensions to be checked on site before fabrication.



PROPOSED SITE
LOCATION PLAN
scale:- 1:1000@A1

PROPOSED SITE / GROUND FLOOR PLAN
scale:- 1:200@A1

205 HAREFIELD ROAD, UXBRIDGE.
PROPOSED INFORMATION
(BASED ON THE RECENT APPEALS
DECISION)

PROJECT 205 HAREFIELD ROAD UXBRIDGE	
DRAWING PROPOSED INFORMATION	
CLIENT	DATE
SCALE 1:100/1:200/1:1000 @ A1	OCT/2018
DRAWING No 205UXB/PL05B	
© copyright retained	



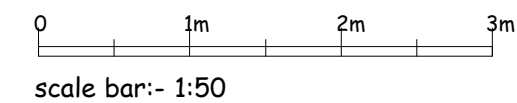
PROPOSED STREET
ELEVATION
scale:- 1:50@A1

REV.	DATE	DESCRIPTION
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A-Z Building Services

A: Addikson K115
E: 14honey@A-ZBS.com
T: 01969925962

RIVER BIRCH - TREE 1



205 HAREFIELD ROAD, UXBRIDGE.
PROPOSED INFORMATION - STREET FRONT BOUNDARY LANDSCAPE DESIGN

PROJECT 205 HAREFIELD ROAD UXBRIDGE	
DRAWING PROPOSED INFORMATION	
CLIENT	
SCALE 1:50 @ A1	DATE OCT/2018
DRAWING No 205UXB/PL06	
© copyright retained	

ANY CHANGES FROM APPROVED DRAWINGS ARE THE RESPONSIBILITY OF CLIENT/CONTRACTOR – PLEASE READ CLAUSED BELOW BEFORE WORKS COMMENCE

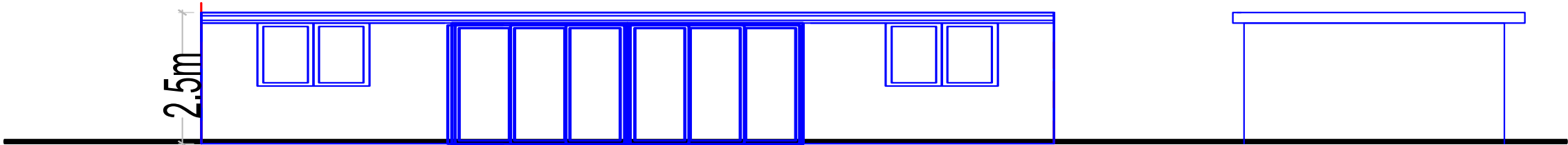
Any dimensions taken from this drawing should be cross checked on site and approved prior to any construction works. The contractor shall be responsible for taking all necessary site dimensions and levels and for all exploratory works to verify any existing structure before commencement of works. The contractor will be responsible for all the correct setting out and temporary supports of works on site to property and neighbouring properties

No liability taken of any kind is accepted by Architect for any error or omission Where new work is near/on boundary line/party wall the property owner is to serve party wall notice to the adjoining property/land owner in accordance with the requirements of the 'Party Wall etc.' Act 1996

Contractor responsible for notifying of Building Control Surveyor of each stage of works and ensure inspections have been made. All details to comply with current building regulations and Building Control Approval. Work not to commence until approval of plans by Building Control Body. Any works that commence before Building Regulations drawings have been approved is responsibility of client.

After confirmation from local authority that prior approval is not required, proposed extension must comply with all permitted development criteria set out under the General Permitted Development Order 1995

Any development carried out without Permitted Development Certificate is at owner's own risk. It is strongly advised that a Permitted Development Certificate/Certificate of Lawfulness is sought prior to commencement of any works



Proposed front elevation

Proposed right-side elevation

Finished in Render



Proposed rear elevation

Proposed left-side elevation

Scale 1:100



SUBJECT TO Approval			
CLIENT	PROJECT	DRAWING	STAGE
	OUTBUILDING	PROPOSED OUTBUILDING ELEVATIONS	PLANNING

A-Z Building Services

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E: hthuseyin0809@msn.com
T: 07969925562

	CHECKED	APPROVED
	SCALE 1:100 @A3	DATE
DRAWING No.	REV	