

Hayes Park

Affordable Homes

11/03/23

Marson
Property

Studio
Egret
West

iceni



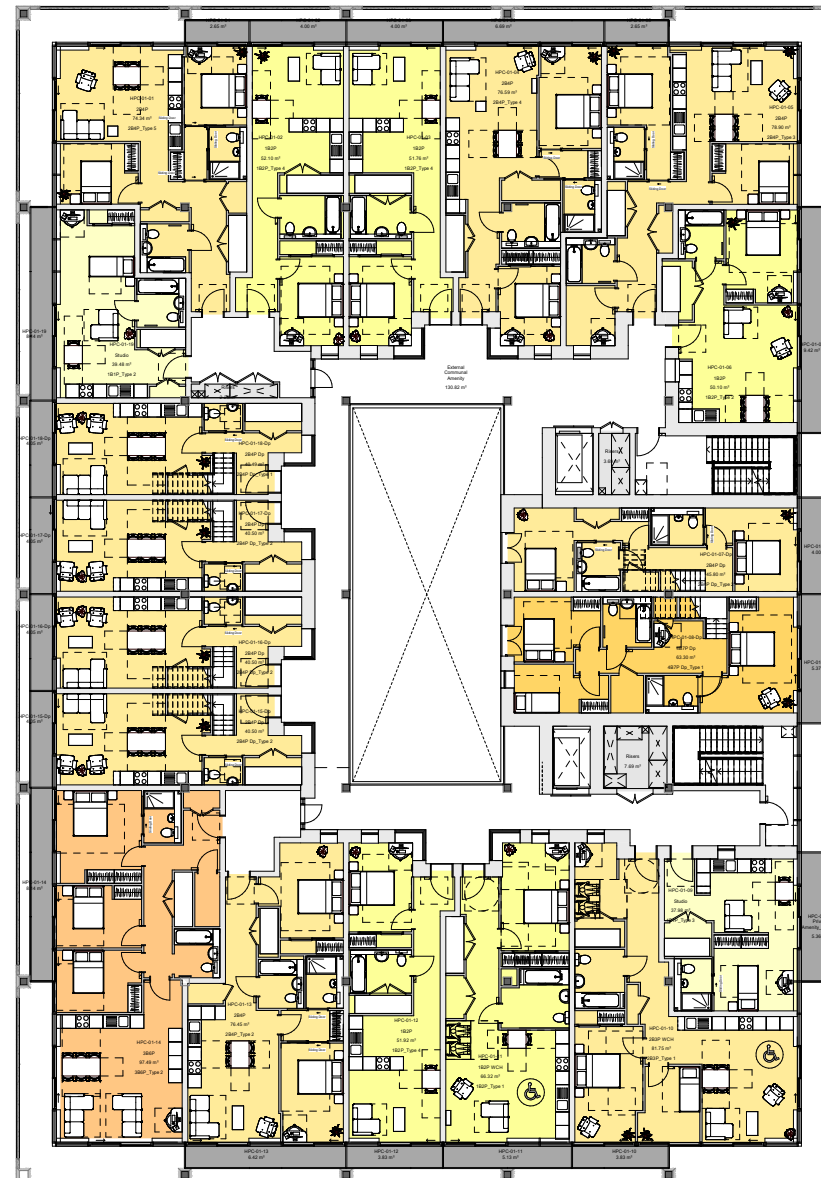
 Affordable



Not to scale

 Affordable

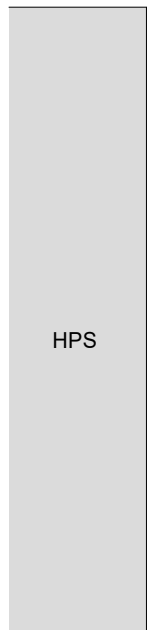
HPS



Not to scale

 Affordable

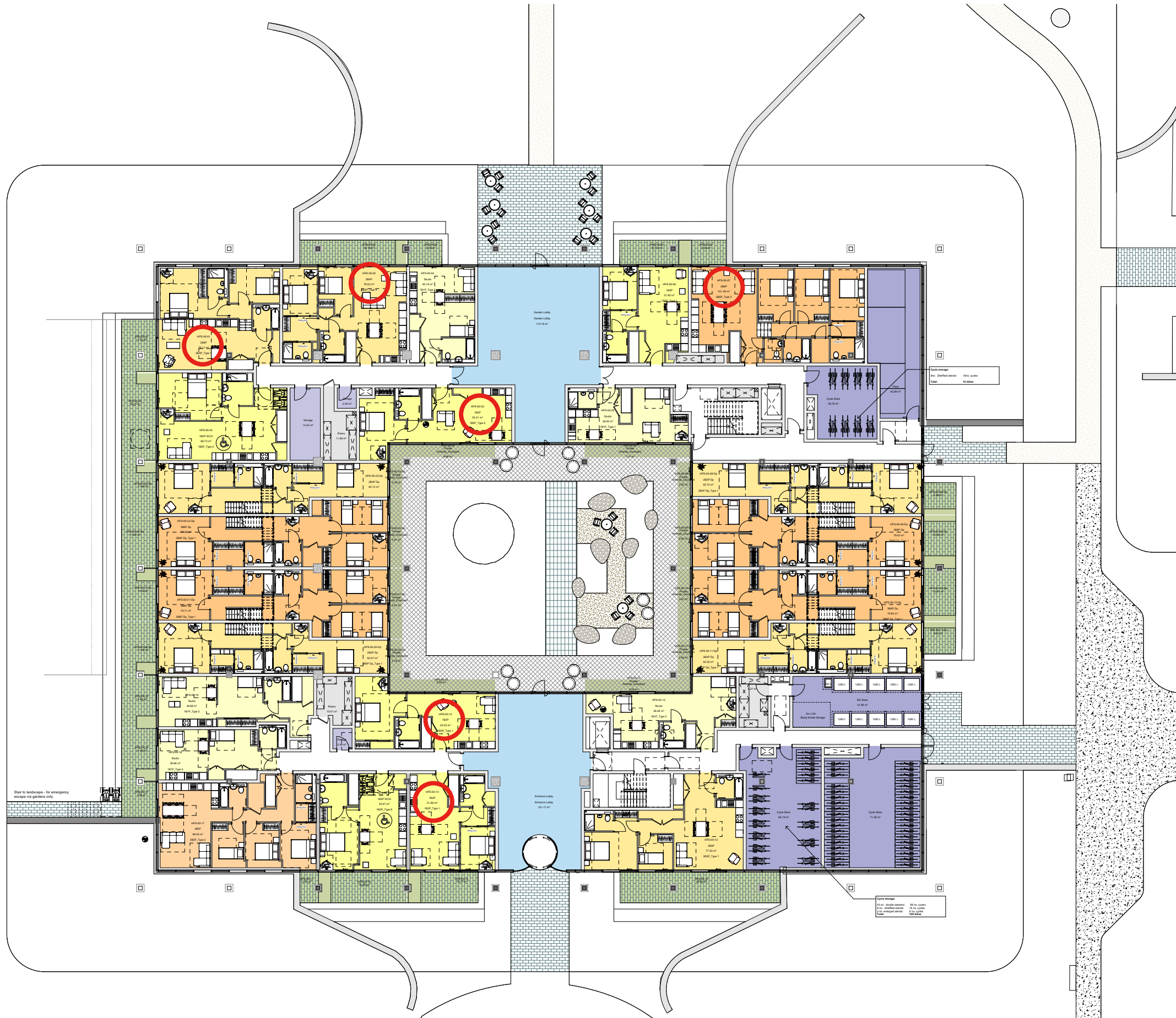
None on this level



Not to scale

Hayes Park South - Ground floor

 Affordable



General Notes

As required by the Building Regulations, this drawing should not be used to calculate areas for the purposes of planning applications. All dimensions to be checked on site to the centre of walls and not dimensions to the face of walls.

All work must comply with relevant British Standards and Building Regulations.

Proposed, existing and existing dimensions to be reported to the architect.

Notes

For the purpose of this application, the existing building has been assumed to be 10 years old. Survey information provided by C.A. Surveys (Sharnbrook) is used as a guide only. The dimensions of an existing building, the 10 years old, are assumed to be 10 years old. The drawings required for the planning submission are based on the existing building and are not to be used for the purpose of the planning submission.

Residential Typologies

- 1B1P
- 1B2P
- 2B3P
- 2B4P
- 3B5P
- 4B
- 5B
- 6B

Other residential uses

- Plant / cycle store / bin store
- Communal room
- Proposed amenity - garden
- Proposed amenity - balcony
- Proposed indicative adjacent/ground floor light wells
- Existing basement/funnel location
- Existing HPC lower ground location
- Proposed amenity - garden
- Paving for roof maintenance access
- PV panels

Key Plan

For Planning

Project No. **049**

Project Name **Hayes Park**

Drawing Title **Ground Floor**

Proposed Level **00 - HPS**

Client **Shelley Development Limited**

Scale **1:100**

Date **10/04/2023**

Drawn by **CS**

Checked by **ON**

Rev	Date	Reason	Chk
1	10/04/2023	Planning Update	SEW
2	10/04/2023	Rev 1	SEW
3	10/04/2023	For Planning	SEW

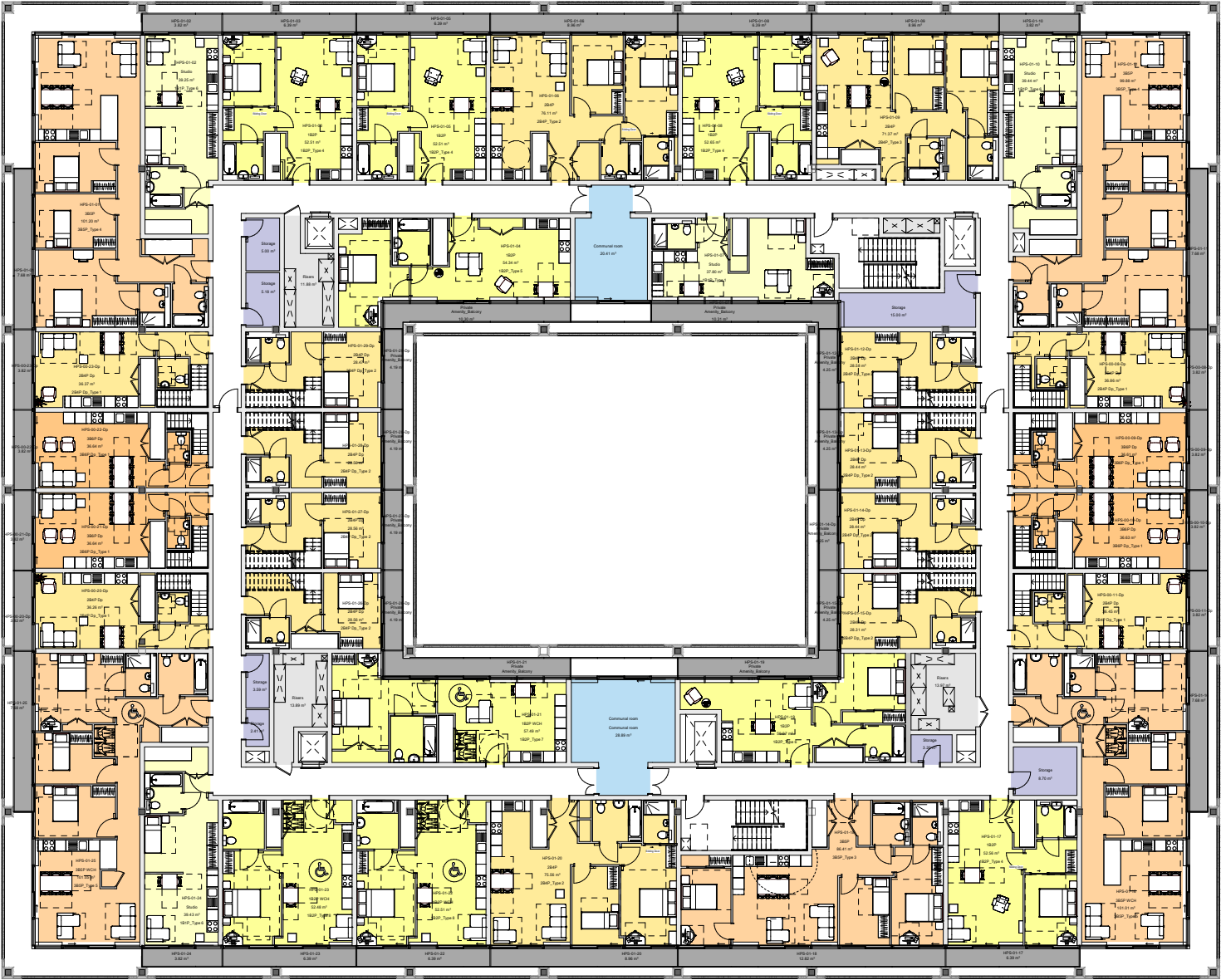
Drawing Number	Rev
001-001-00-00-00-00-00-00	01

Not to scale

Hayes Park South - First floor

Affordable

None on this level



General Notes

As required by the Building Regulations, this drawing should not be used to calculate areas for the purposes of planning applications. All dimensions to be checked on site by the contractor and not dimensions to be taken from the drawing.

At work must comply with relevant legislation, standards and building regulations.

Any variations, omissions and additions to be reported to the architect.

Notes

For the purpose of this application, the existing building has been assumed to be 10 years from its completion date. The drawing is based on the information provided by the client, and the architect is not responsible for the accuracy of the information provided.

For the purpose of this application, the existing building has been assumed to be 10 years from its completion date. The drawing is based on the information provided by the client, and the architect is not responsible for the accuracy of the information provided.

Residential Typologies

- 18-19
- 20-24
- 25-29
- 30-34
- 35-39
- 40-44
- 45
- 50
- 60

Other residential uses

- Plant / cycle store / bin store
- Communal rooms
- Proposed amenity - garden
- Proposed amenity - balcony
- Proposed inclusive accommodation ground floor right of way
- Existing basement/tunnel location
- Existing HPC lower ground location
- Proposed amenity - garden
- Paving for road maintenance access
- PV panels

Key Plan

For Planning

Project No. **000**

Project Name **Hayes Park**

Drawing Title **Proposed Level 01 - HPS**

Client **East of Hayes Developments Limited**

Scale **1:100**

Date **10/04/2023**

Drawn by **CS**

Checked by **ON**

Rev	Date	Reason	Cha
01	10/04/23	Planning Update	SEW
02	10/04/23	Rev 1	SEW
03	10/04/23	For Planning	SEW

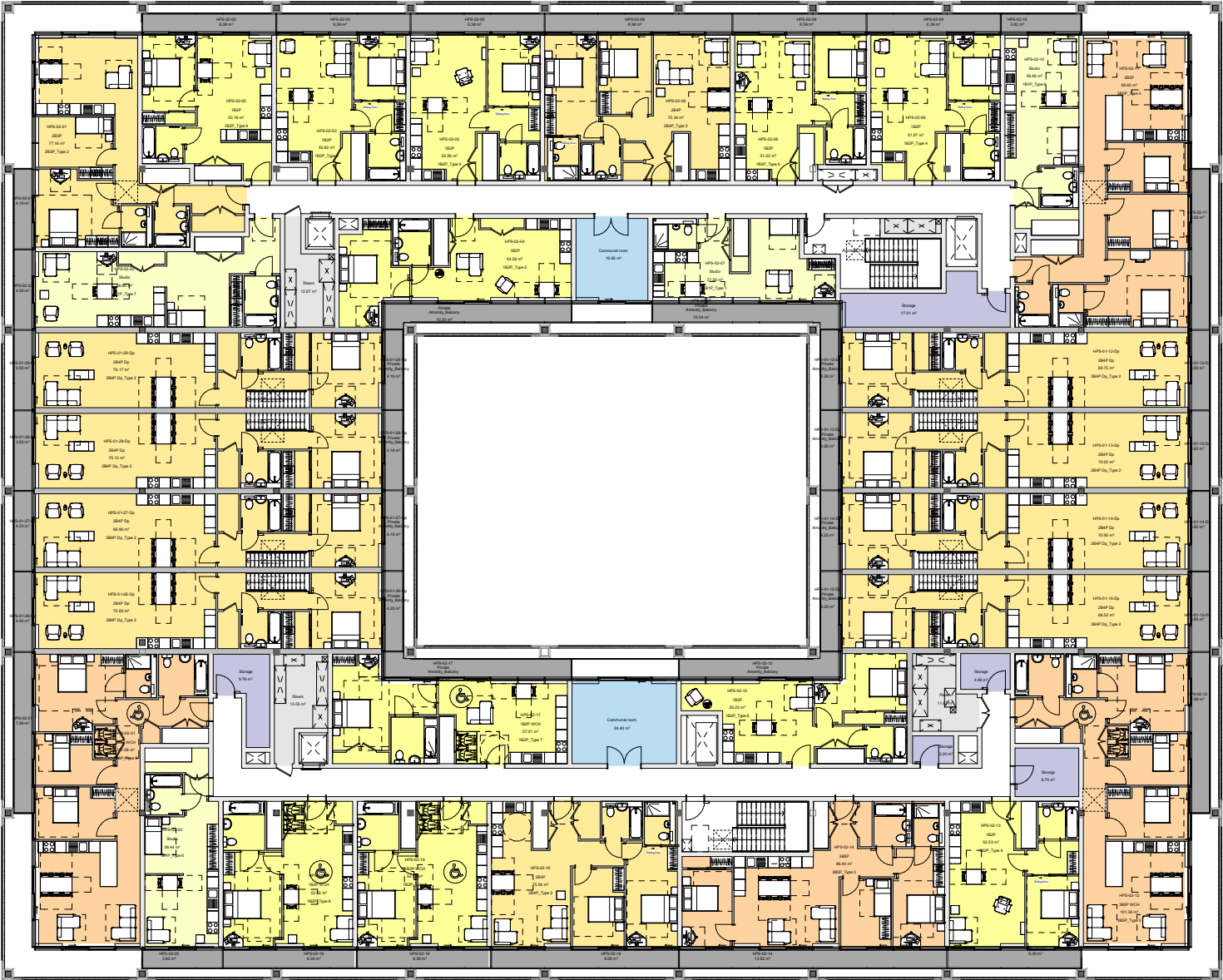
Drawing Number	Rev
000-000-00-01-00-0000	01

Not to scale

Hayes Park South - Second floor

 Affordable

None on this level



General Notes

No implied license exists. This drawing should not be used to calculate areas for the purposes of planning or other purposes. All dimensions to be checked on site by the contractor and not dimensions to be taken from the drawing.

All work must comply with relevant British Standards and Building Regulations.

Any variations, omissions and additions to be reported to the architect.

Notes

For the purpose of this application, the existing building has been assumed to be a 10 storey building. The existing building has been assumed to be a 10 storey building. The existing building has been assumed to be a 10 storey building.

Residential Tenements

- 1B-1P
- 1B-2P
- 2B-3P
- 2B-4P
- 3B-5P
- 4B
- 5B
- 6B

Other residential uses

- Plant / cycle store / bin store
- Communal room
- Proposed amenity - garden
- Proposed amenity - balcony
- Proposed indicative allocated ground floor light wells
- Existing basement/tunnel location
- Existing WPC lower ground location
- Proposed amenity - garden
- Parking for roof maintenance access
- PV panels

Key Plan

For Planning

Project No. **000**

Project Name **Hayes Park**

Drawing Title **Proposed Level 02 - WPC**

Client **Shaw to Hayes Developments Limited**

Scale **A40 1:100**

Date **10/04/2023**

Drawn by **CS**

Checked by **OM**

Rev	Date	Reason	Chk
01	22/07/23	Planning update	SEW
02	03/08/23	Rev 1	SEW
03	03/08/23	For Planning	SEW

Drawing Number	Rev
000-000-02-02-00-0000	01

Not to scale