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# Design and Access Statement

for a

Proposed Conversion of Existing 5 Bedroom House to  
1 x 2 Bedroom Flat, 1 x 1 Bedroom Flat and 1 x Studio Flat  
including external alterations to rear doors and windows.

at

41 Bideford Road  
Ruislip  
HA4 0UE

**BMD/1183**

**March 2026**

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## Introduction

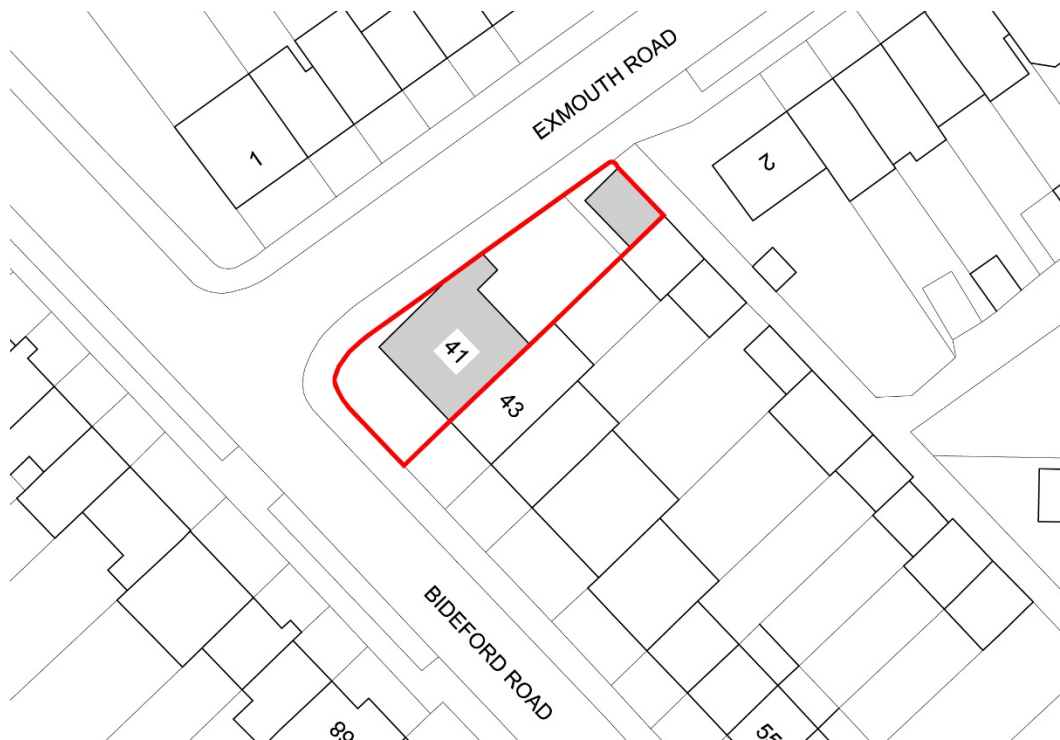
This **Design and Access Statement** has been prepared to accompany a planning application for the proposed conversion of an existing 5-bedroom house to 1 x 2 Bedroom Flat, 1 x 1 Bedroom Flat and 1 x Studio Flat including external alterations to doors and windows at 41 Bideford Road, Ruislip HA4 0UE

41 Bideford Road is a 5 bedroom, two-storey dwelling located on a corner plot at the junction with Exmouth Road

The property has been previously extended with a two-storey side extension and a single storey rear extension.

To the north/east of the plot is a detached garage with access from Exmouth Road.

There is also a rear access road providing access to the rear garages of Bideford Road properties.



*Fig 1 Block Plan*

## Planning History

Planning application Ref: 12096/D/78/0350 was approved in 1978 for householder development (small extension, garage etc.)

## Existing House

The existing dwelling is a 5-bedroom house which has previously been extended to the side and rear.

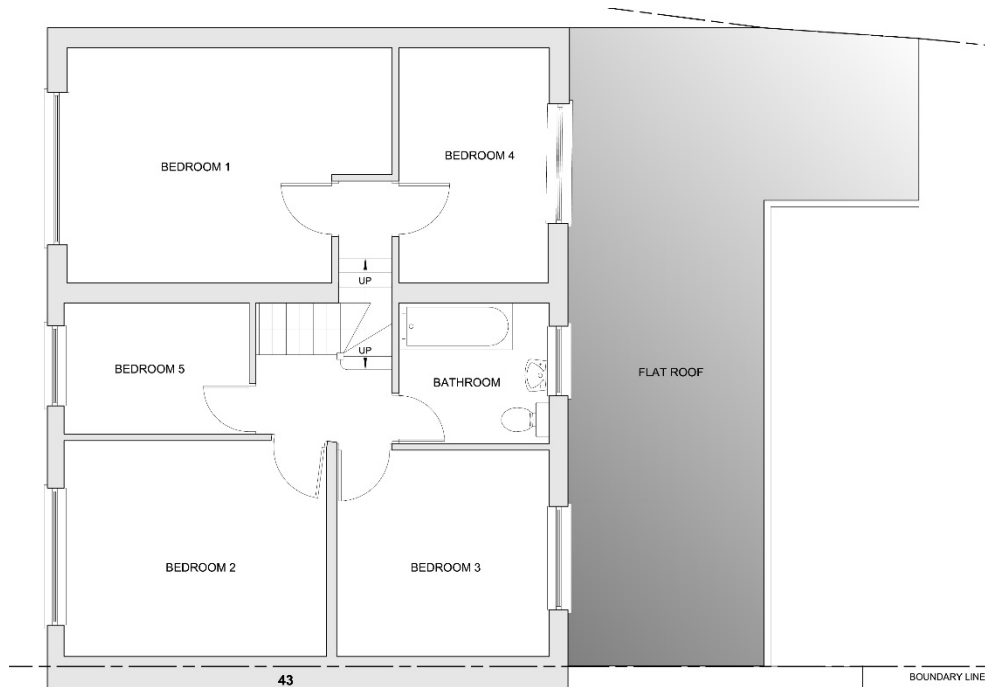


Fig 2 Existing First Floor Plan

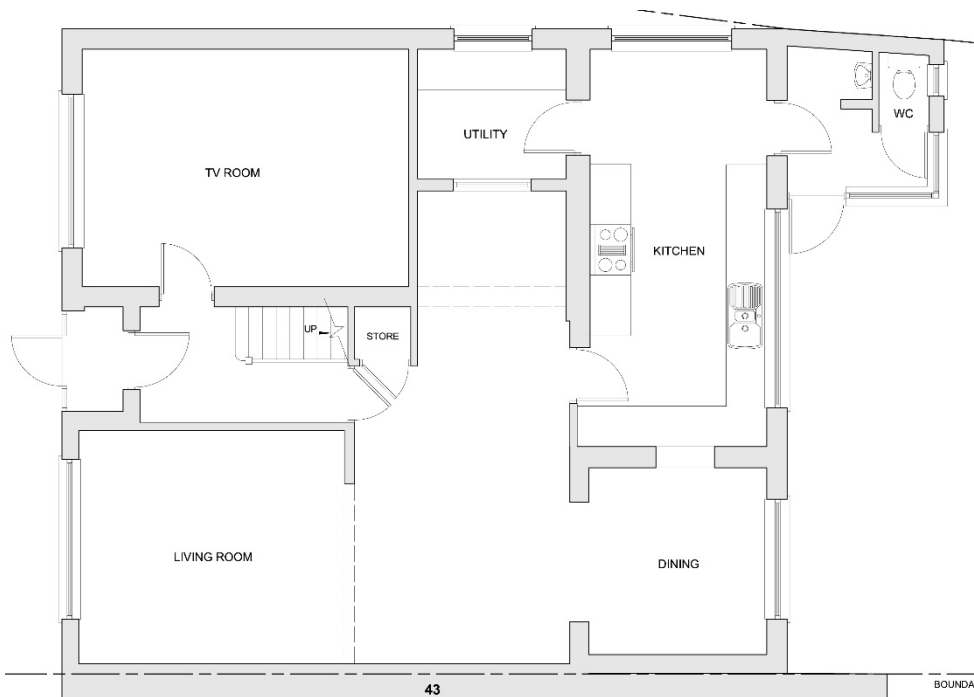


Fig 3 Existing Ground Floor Plan

## Proposed Development

The proposed development is for the conversion of the existing 5-bedroom house to 1 x 2 Bedroom Flat, 1 x 1 Bedroom Flat and 1 x Studio Flat

The proposals will include internal alterations and minor external alterations to doors and windows.

## Principle of Development and Planning Policy

The London Borough of Hillingdon Local Plan Part 2 - Development Management Policies states that the conversion of single dwellings into more dwellings or the redevelopment of dwellings into new blocks of flats can enable more effective use of sites to be achieved.

Policy DMH 4: Residential Conversions and Redevelopment states the following:

**Policy DMH 4: Residential Conversions and Redevelopment**

**Residential conversions and the redevelopment of dwellings into new blocks of flats will only be permitted where:**

- i) it is on a residential street where the proposal will not result in more than 10% of properties being redeveloped into flats;**
- ii) On residential streets longer than 1km the proposed redevelopment site should be taken as the midpoint of a 1km length of road for assessment purposes;**
- iii) the internal floor area of the original building to be converted is at least 120 sqm; and**
- iv) units are limited to one unit per floor for residential conversions.**

*Fig 4 Policy DMH 4: Residential Conversions and Redevelopment*

The proposed development shall address each of the points highlighted in policy DMH 4

**i) it is on a residential street where the proposal will not result in more than 10% of properties being redeveloped into flats;**

The planning history of the residential properties along Bideford Road from 1974 to present day has been provided as part of this application.

There is no history of any planning applications being submitted or approved for conversion of single dwellings to self-contained flats along Bideford Road

**ii) On residential streets longer than 1km the proposed redevelopment site should be taken as the midpoint of a 1km length of road for assessment purposes;**

This point is addressed in point 2

**iii) the internal floor area of the original building to be converted is at least 120 sqm**

The existing house has a total gross internal floor area of 163sqm made up of 97sqm at ground floor level and 66 sqm at first floor level.

**iv) units are limited to one unit per floor for residential conversions.**

There is one proposed flat on the first floor and two flats on the ground floor.

### Design & Layout

The layout of the existing ground and first floors shall be altered to form a 1 x 1 Bedroom Flat and a 1 x Studio Flat on the ground floor and a 1 x 2 Bedroom Flat on the first floor and

The Studio, 1-person unit shall have a gross internal floor area of 37sqm including 2sqm of built in storage

The first floor 2-bed, 3-person unit shall have a gross internal floor area of 66sqm including 2.5sqm of built in storage

Each dwelling therefore complies with the National Space Standards as set out in Figure 5 below.

Number of bedrooms(b)	Number of bed spaces (persons)	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) <sup>2</sup>			1.0
	2p	50	58		1.5
2b	3p	61	70		2.0
	4p	70	79		
3b	4p	74	84	90	2.5
	5p	86	93	99	
	6p	95	102	108	
4b	5p	90	97	103	3.0
	6p	99	106	112	
	7p	108	115	121	
	8p	117	124	130	
5b	6p	103	110	116	3.5
	7p	112	119	125	
	8p	121	128	134	
6b	7p	116	123	129	4.0
	8p	125	132	138	

Fig 5 National Space Standards

The new flats shall be dual aspect and bedrooms and living areas shall be stacked to avoid noise disturbance.

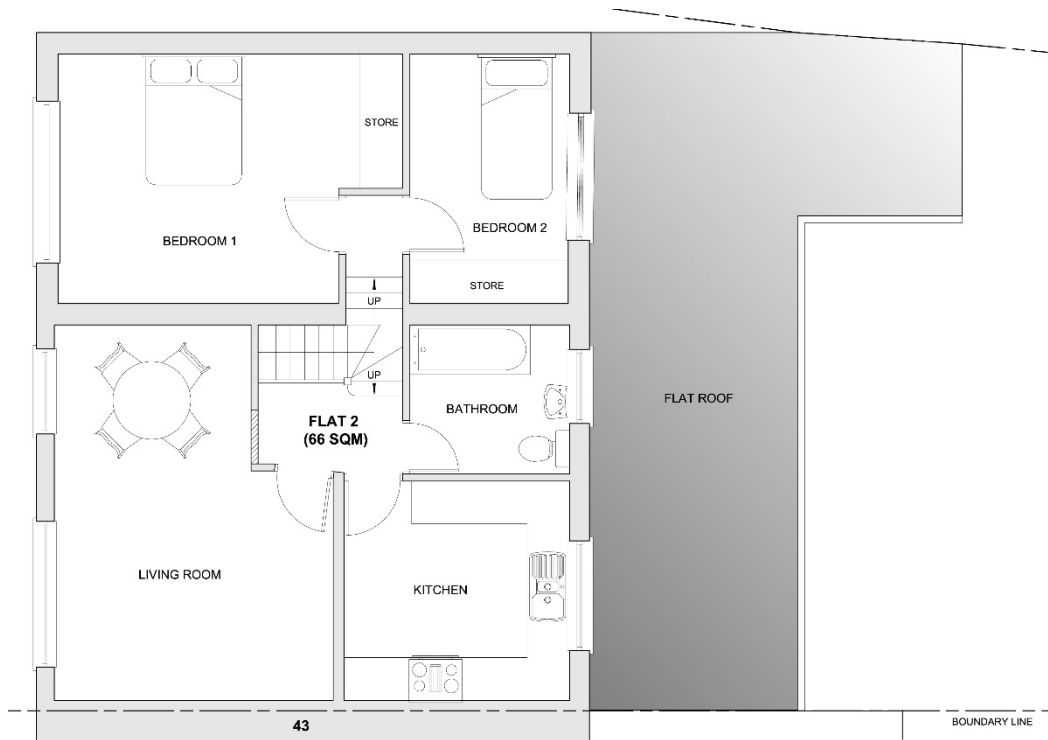


Fig 6 Proposed First Floor Plan

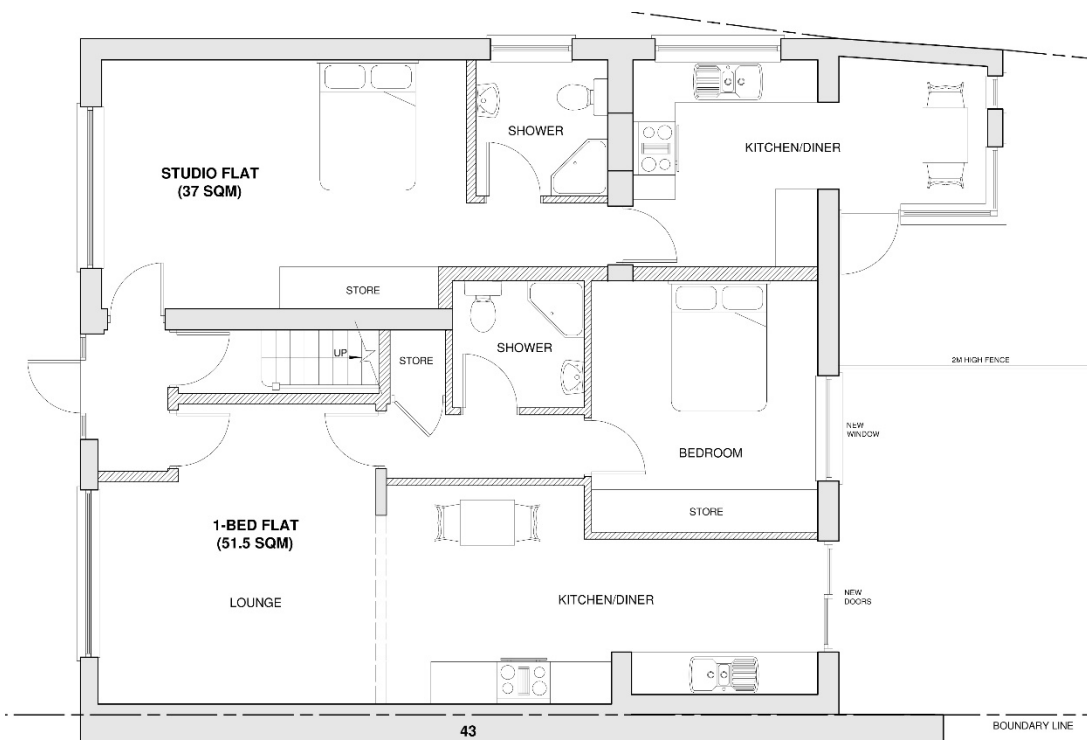


Fig 7 Proposed Ground Floor Plan

## Amenity, Parking & Landscaping

The application site has a total area of 309sqm

At the rear of the house there is an existing garden with an area of 100sqm.

At the front of the property there is currently hardstanding with space for up to 3 no. vehicles with a separate detached garage at the rear of the plot with space for an additional car.

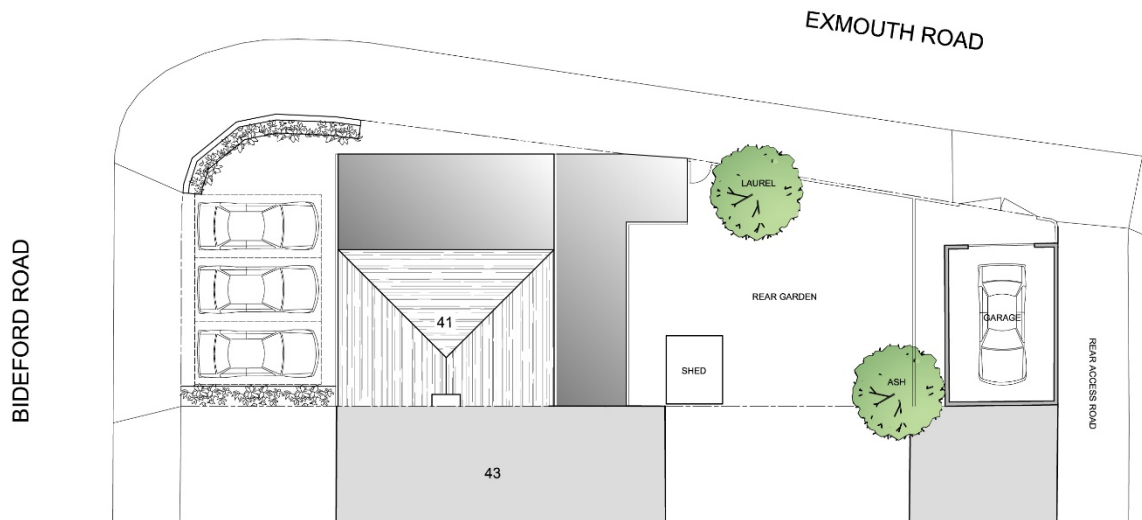


Fig 8 Existing Site Plan

The rear garden shall be separated with a new 2m high timber fences to provide private amenity space for each unit.

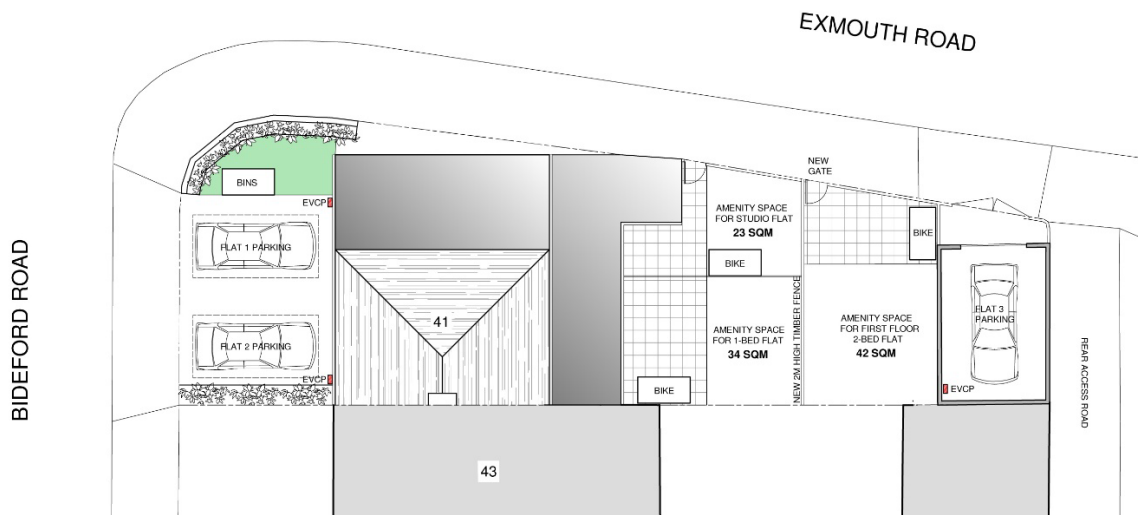


Fig 9 Proposed Site Plan

The Studio Flat shall have 23sqm  
 The 1-bed flat shall have 34sqm  
 The 2-bed flat shall have 42sqm

This complies with Table 5.3 below.

**Table 5.3: Private Outdoor Amenity Space Standards**

<b>Dwelling type</b>	<b>No of bedrooms</b>	<b>Minimum amenity space provision (sqm)</b>
<b>Houses</b>	<b>1 bedroom</b>	<b>40</b>
	<b>2 and 3 bedrooms</b>	<b>60</b>
	<b>4 + bedrooms</b>	<b>100</b>
<b>Flats</b>	<b>Studio and 1 bedroom</b>	<b>20</b>
	<b>2 bedrooms</b>	<b>25</b>
	<b>3 + bedrooms</b>	<b>30</b>

*Fig 10 Amenity Space Standards*

Access for the residents of the 2-bed first floor flat shall be via a new gate off of Exmouth Road.

Parking for two vehicles shall be provided at the front of the new property with and additional parking space allocated in the rear garage.

The site has a PTAL rating of 2 and the councils local plan states parking standards of 1.5 - 1 spaces for 1 - 2 bedroom units.

<b>FLATS</b>	
<b>3 - 4 or more bedrooms - 2 spaces per unit</b>	<b>(a) 1 per studio, 1 or 2 bed unit.</b>
<b>1 – 2 bedrooms - 1.5 - 1 spaces per unit</b>	<b>(b) 2 per 3 or more bed unit.</b>
<b>Studio - 1 space per 2 units</b>	
<b>(a) Proposals must also accommodate visitor's car parking on-site additional to the above</b>	
<b>(b) Car parks must be allocated to dwellings.</b>	

*Fig 11 Local Plan Parking Standards*

The provision of 3 car parking spaces should therefore be considered acceptable.

2 No. Electric Vehicle Charging Points shall be provided at the front of the property with an additional Point in the garage.

The proposed chargers shall be **BG SyncEV EVS7G-02 7.4kW WiFi & Smart EV Charger** or similar.



*Fig 12 Electric Charger*

There is sufficient space at the front of the property for use as a disabled parking space if required.

In the rear gardens, new secure cycle parking shelters shall be provided, suitable for up to 2 bicycles in each.



*Fig 13 Cycle Storage*

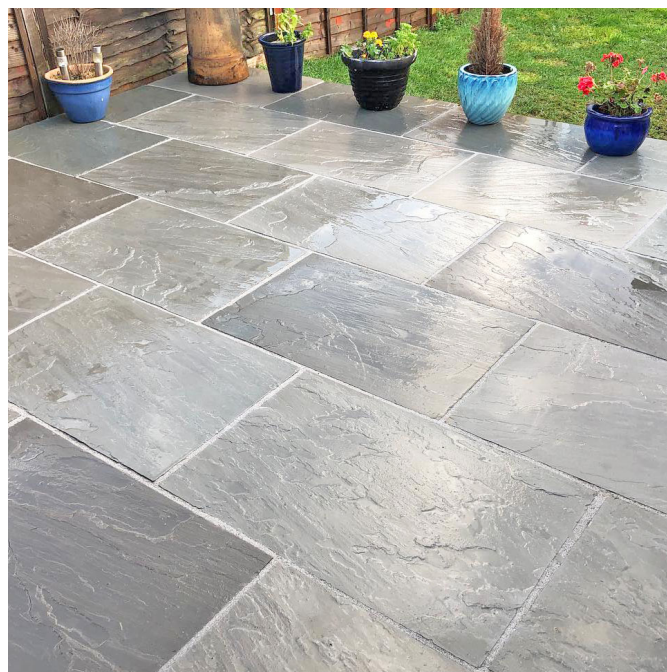
In the front garden a new timber bin store shall be formed with sufficient space for general and recyclable waste for the three units.



*Fig 14 Bin Storage*

Additional soft landscaping shall be provided in the front garden as shown on the proposed site plan and the existing planting areas shall be retained.

In the rear gardens **Kandla Grey Indian Sandstone 600×900 Paving Slabs** shall be provided with new timber fence.



*Fig 15 Proposed Paving*



*Fig 16 Proposed 2m high timber fence.*

### **Biodiversity Net Gain**

We believe that the proposed development is below the threshold for Biodiversity net gain requirements for the following reasons.

The development does not impact a priority habitat and impacts less than:

- 25 square metres (5m by 5m) of on-site habitat
- 5 metres of on-site linear habitats such as hedgerows

The existing property currently has amenity areas consisting of areas of concrete hardstanding and areas of lawn.