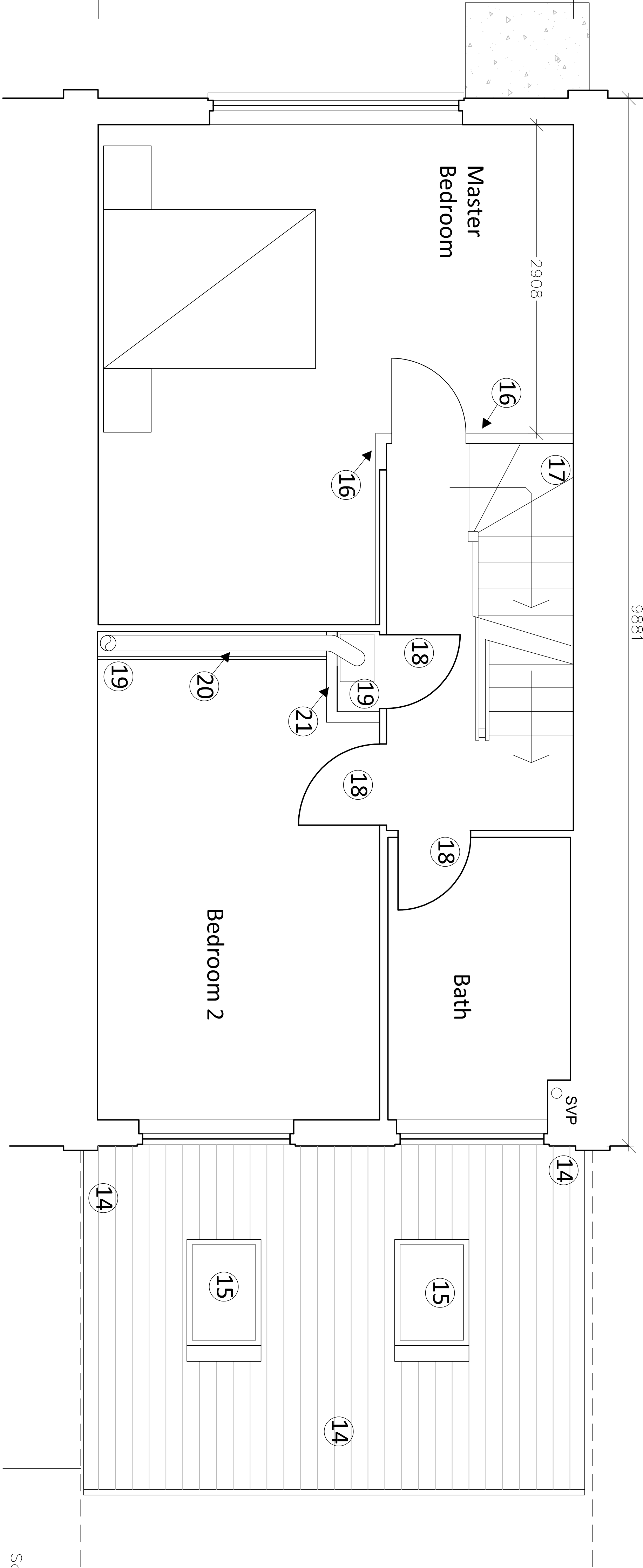


PROPOSED GROUND FLOOR PLAN Gross Internal Area 54.7 sqm / 589 sqft

Proposed works built entirely within the curtilage of the existing property with all materials to match existing.



PROPOSED FIRST FLOOR PLAN

Gross Internal Area 41.9 sqm / 451 sqft

Notes.

- Existing gas meter and supply re-positioned.
- Existing electrical meter and distribution board re-positioned.
- New 1 hour fire rated stud partition skimmed and decorated with FD30 internal door and fire rated toughened glass screen.
- Toughened glazed doorset in painted hardwood timber frame.
- Washing machine / dryer (on stacker kit) enclosure. With tiled floor and mechanical extract.
- New Cloakroom. Tiled floor and walls. Waste pipe at low level to existing vertical pipework.
- New Cloakroom. by Client's specialist installer. Sink position aligns approximately with existing.
- New steelwork by structural engineer with 1 hour fire protection in skimmed enclosure.
- New skimmed insulated blockwork wall lining to existing party wall.
- New external walls. Dense 100mm blockwork cavity walls with 100m cavity filled with full fill Rockwool insulation and frost resistant brickwork to external face to match existing.
- New ground floor. Insulated concrete slab with screed over to match existing. New engineered timber flooring throughout. With levels set out to match existing.
- New metal framed double glazed window and toughened glazed screen.
- Existing manhole re-configured to allow access to below ground drainage and rodding to Thames Water Requirements.
- Insulated mono-pitch tiled roof. Treated S/W rafters to S/E detail trimmed to allow rooflight installation, with insulation between and below rafters. Finished with skimmed plasterboard internally to provide 1 hour fire resistance. Interlocking concrete tile roof externally all to match existing. Installed with code 3 lead flashing to existing rear facade. Painted timber eaves and upvc rainwater goods draining to existing system.
- 2 no. opening Velux rooflights with integral blinds. Electronically operated.
- 1 hour fire resistant stud wall with new FD30 door to allow stair extension.
- New treated S/W painted stair to loft extension. Master bedroom partition and door location re-positioned to allow installation. Layout provisional to be confirmed on site to allow stair installation to meet Building Regulations requirements.
- Existing internal doors upgraded as required to provide FD30 fire resistance.
- New boiler in new location venting to high level. Provisional to mechanical contractor's confirmation over venting requirements. Installed within new fire rated skimmed partition. Horizontal run to flue in skimmed boxing with gas ventilation and access to Building Regulations requirements.
- Horizontal run to flue in skimmed boxing with gas ventilation and access to Building Regulations requirements.
- New boiler cupboard. 1 hour fire resistant Skimmed partition.

REV	ISSUE	DATE
P1	Layout amended. Notes added.	22.05.21

Legend, Elevation and Section Markers see Dwg. No 145 L 31

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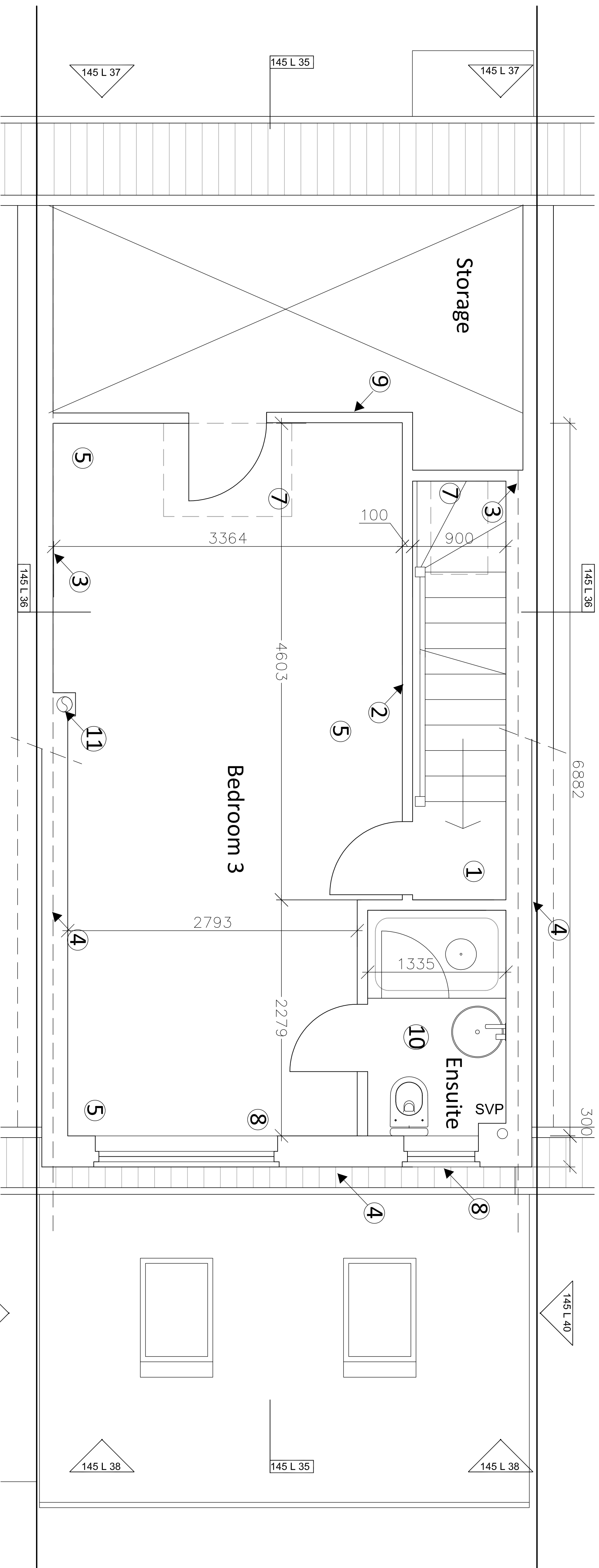
Proposed Ground and First Floor Plans

DWG No. 145 L 30		Status, Planning
Revision. P1	Scale. 1:25/1:50	Paper. A1/A3

Scale 1:25 @ A1



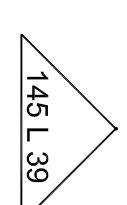
Scale 1:50 @ A3



1. New treated S/W painted stair to loft extension.
2. New 1 hour fire rated stud partition skimmed and decorated with FD30 internal door.
3. New skimmed insulated wall lining to existing party wall.
4. New dormer. Steelwork to structural engineers details. Enclosure formed using insulated timber frame lined externally with hanging tiles. With Single ply membrane or similar approved flat roof. Skimmed insulated plasterboard internally.
5. New second floor. Installed over existing loft deck. Steelwork to structural engineers details, supporting new joists, with heavy duty acoustic floor decking over. Install with rockwool acoustic insulation between joists.
6. Existing roof insulated between rafters with insulated skimmed plasterboard below.
7. New opening velux window to front elevation with integral blind.
8. New UPVC windows, obscured to ensuite.
9. Internal skimmed stud wall with access hatch.
10. New ensuite. Tiled floor and walls, SVP extended from below. Shower, basin with integral vanity and mirrored cupboard over W.C.
11. Boiler flue from below boxed in within wall lining.

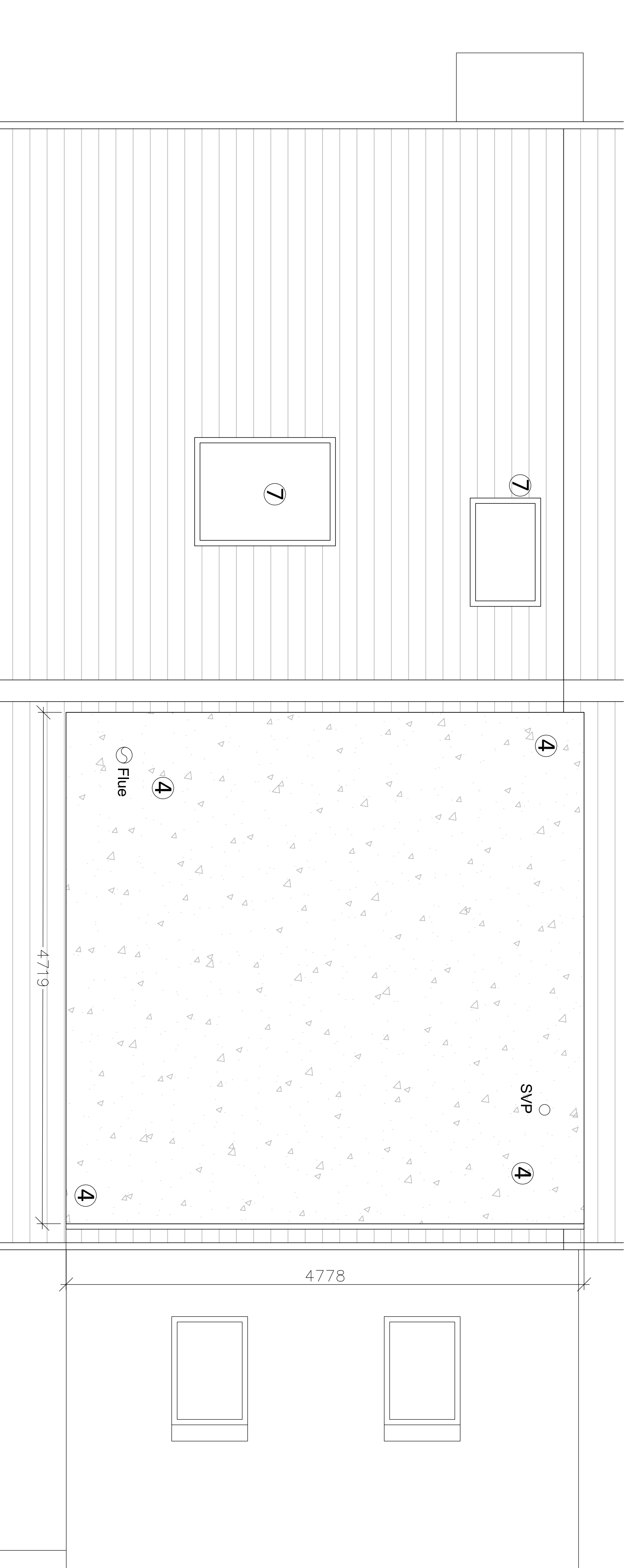
PROPOSED SECOND FLOOR PLAN

Gross Internal Area 28.9 sqm / 311 sqft

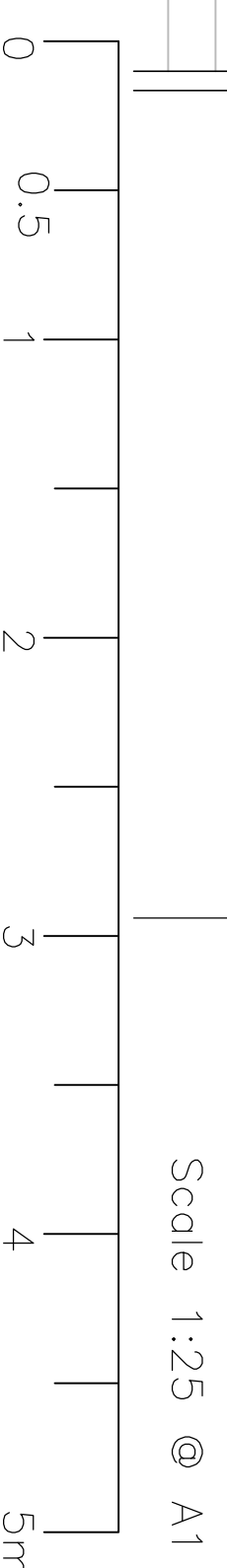


Proposed works built entirely within the curtilage of the

existing property with all materials to match existing.



PROPOSED ROOF PLAN

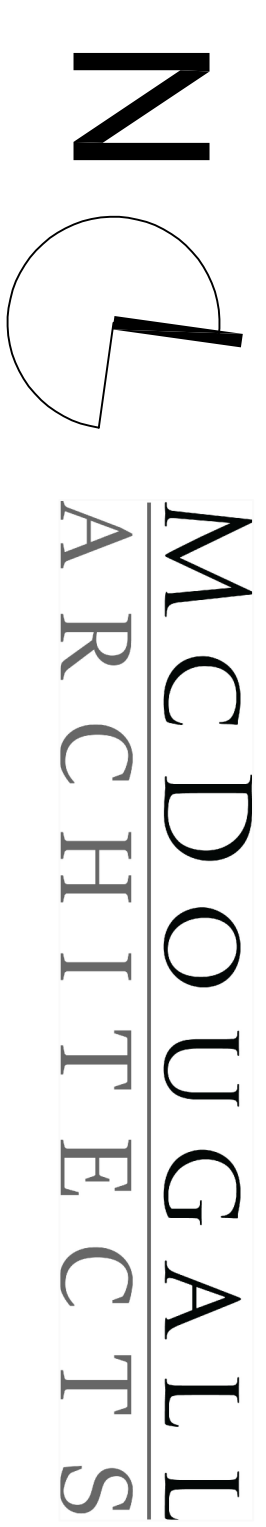


REV	ISSUE	DATE
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P2 Layout amended to sit within curtilage of existing property. Notes added to confirm all materials to match existing. 09.03.21

Legend.

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- b. Drawings should be read in conjunction with all other consultant drawings, specifications and schedules as a whole.
- c. All works carried out to meet appropriate British Standards and Building Control requirements in accordance with all current codes of good practice; using fully qualified and competent personnel with a comprehensive understanding of the works as a whole.
- d. Dimensions and setting out to be confirmed on site.
- e. Decorations to be agreed against sample prior to undertaking works.
- f. Existing structure is indicative to be confirmed by exploratory works on site prior to main contract commencement.



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Proposed Second Floor and Roof Plans

DWG No. 145 L 31	Status. Planning
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Revision.	P2	Scale.	1:25/1:50	Paper.	A1/A3
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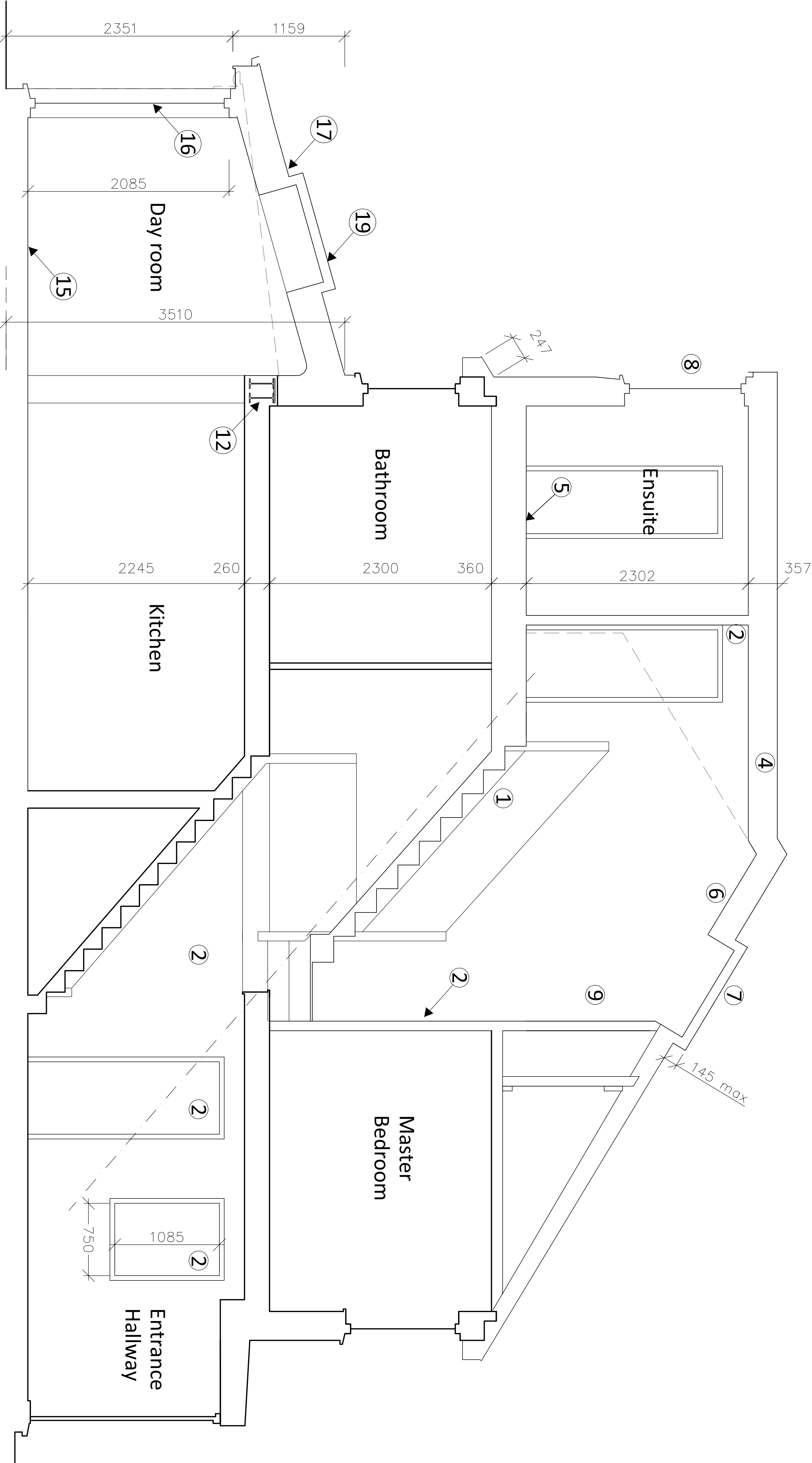
Scale 1:50 @ A3

Legend.

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- c. All works carried out to meet appropriate British Standards and Building Control requirements in accordance with all current codes of good practice, using fully qualified and competent personnel with a comprehensive understanding of the works as a whole.
- d. Dimensions and setting out to be confirmed on site.
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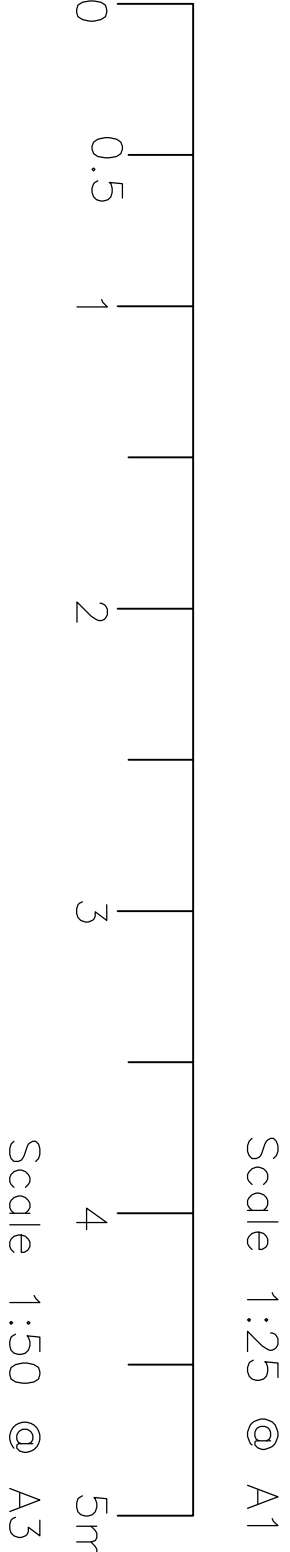
Notes.

1. New treated S/W painted stair to loft extension. Layout provisional to be confirmed on site to meet Building Regulations requirements.
2. New 1 hour fire rated stud partition skinned and decorated with FD30 internal door and fire rated glass screen.
3. New skimmed insulated wall lining to existing party wall.
4. New dormer. Steelwork to structural engineers details. Enclosure formed using insulated timber frame lined externally with hanging tiles to match existing. With Single ply membrane or similar approved flat roof. Skimmed insulated plasterboard internally.
5. New second floor. Installed over existing loft deck. Steelwork to structural engineers details, supporting new joists, with heavy duty acoustic floor decking over. Install with rockwool acoustic insulation between joists.
6. Existing roof. Refurbished with new insulation between rafters with insulated skimmed plasterboard below.
7. New opening velux window to front elevation with integral blind.
8. New UPVC windows, obscured to ensuite.
9. Internal skimmed stud wall with access hatch.
10. New ensuite. Tiled floor and walls. SVP extended from below. Shower, basin with integral vanity and mirrored cupboard over W.C. New floor tanked.
11. New kitchen, by Client's specialist installer. Sink position aligns approximately with existing.
12. New steelwork by structural engineer with 1 hour fire protection in skimmed enclosure.
13. New skimmed insulated wall lining to existing party wall.
14. New external walls. Dense 100mm blockwork cavity walls with 100m cavity filled with full fill Rockwool insulation and frost resistant brickwork to match existing.
15. New ground floor. Insulated concrete slab with screed over to match existing. New engineered timber flooring throughout. With levels set out to match existing.
16. New metal framed double glazed window and toughened glazed screen.
17. Insulated mono-pitch tiled roof. Treated S/W rafters to S/E detail trimmed to allow rooflight installation. with insulation between and below rafters. Finished with skimmed plasterboard internally to provide 1 hour fire resistance. Interlocking concrete tile roof externally to match existing. Installed with code 5 lead flashing to existing rear facade. Painted timber eaves and upvc rainwater goods draining to existing system.
18. 2 no. opening Velux rooflights with integral blinds. Electronically operated.
19. Existing internal doors upgraded as required to provide FD30 fire resistance.



Proposed works built entirely within the curtilage of the existing property with all materials to match existing.

PROPOSED SECTION A A



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Proposed Section A A

DWG No. 145 L 35		Status, Planning
Revision. P2	Scale. 1:25/1:50	Paper. A1/A3

Notes.

1. New treated S/MV painted stair to loft extension. Layout provisional. New layout to be agreed on site to meet Building Regulations requirements.
2. New 1 hour fire rated stud partition skimmed and decorated with FD30 internal door.
3. New skimmed insulated wall lining to existing party wall.
4. New dormer. Steelwork to structural engineers details. Enclosure formed using insulated timber frame Dense lined external with hanging tiles to match existing. With Single ply membrane or similar approved flat roof. Skimmed insulated plasterboard internally.
5. New second floor. Installed over existing loft deck. Steelwork to structural engineers details, supporting new joists, with heavy duty acoustic floor decking over. Install with rockwool acoustic insulation between joists.
6. Existing roof refurbished. With new insulation between rafters and insulated skimmed plasterboard below.
7. New opening velux window to front elevation with integral blind.
8. Internal skimmed stud wall with access hatch.
9. New boiler in new location venting to high level. Provisional, to mechanical contractor's confirmation over venting requirements. Installed within new fire rated skimmed partition.
10. Horizontal run to flue in skimmed boxing with gas ventilation and access to Building Regulations requirements.

REV	ISSUE	DATE
P1	Note added	22.05.21

Legend.

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- b. Drawings should be read in conjunction with all other consultant drawings, specifications and schedules as a whole.
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- d. Dimensions and setting out to be confirmed on site.
- e. Decorations to be agreed against sample prior to undertaking works.
- f. Existing structure is indicative to be confirmed by exploratory works on site prior to main contract commencement.

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Proposed Section B B

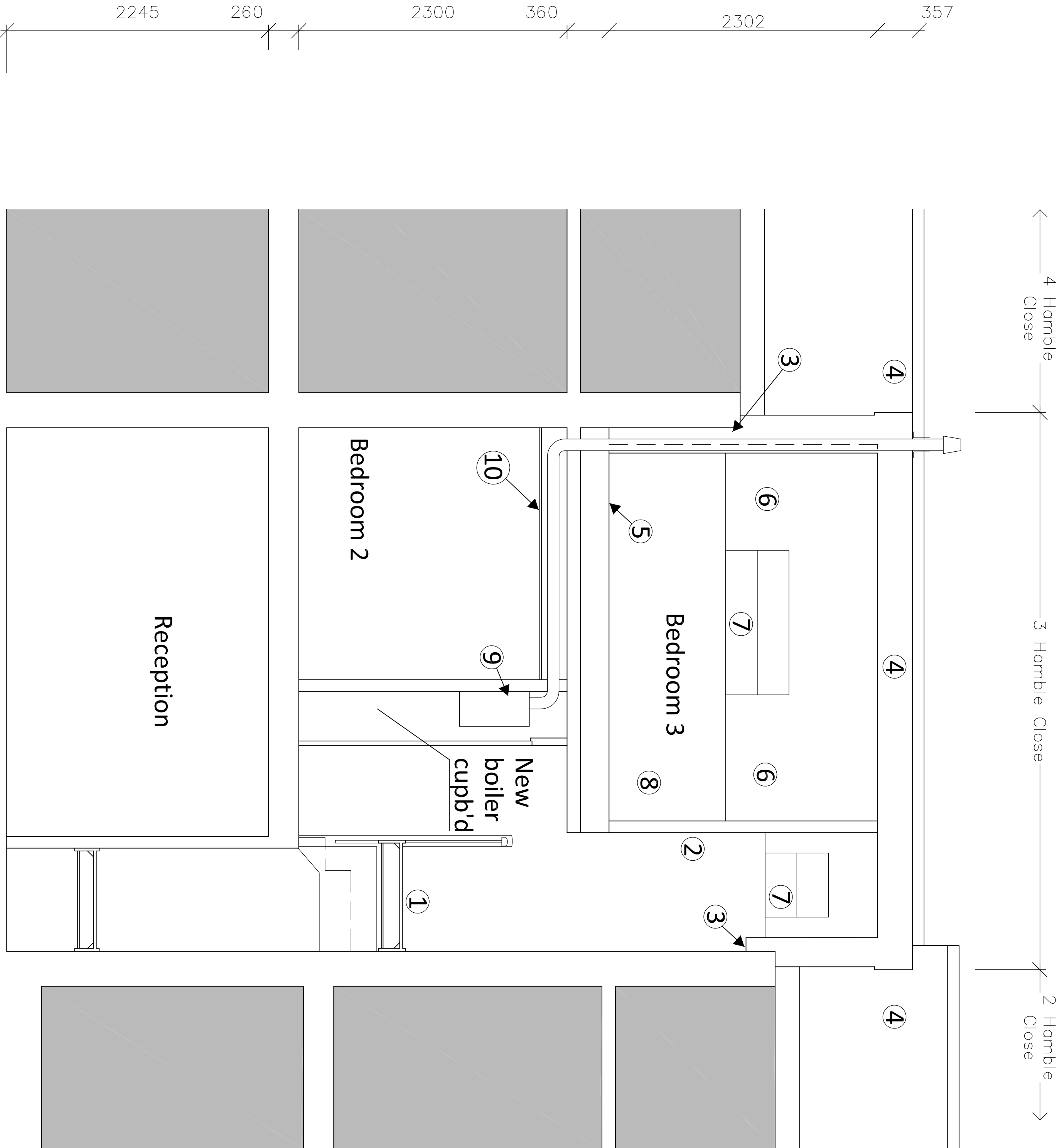
DWG No. 145 L 36

Status: Planning

Revision. P1

Scale: 1:25/1:50

Paper: A1/A3



*Proposed works built entirely within the curtilage of the
existing property with all materials to match existing.*

PROPOSED SECTION B B

2 Hamble
Close

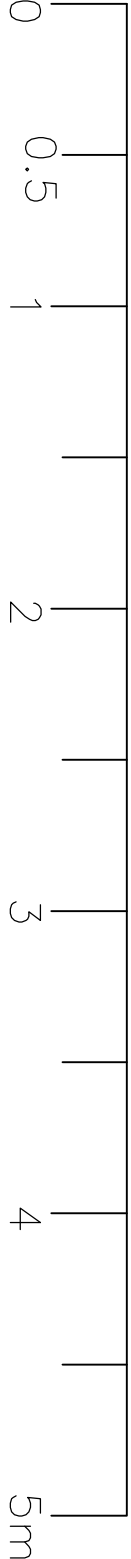
3 Hamble Close

4 Hamble
Close



*Proposed works built entirely within the curtilage of the
existing property with all materials to match existing.*

PROPOSED FRONT ELEVATION



Scale 1:25 @ A1

Scale 1:50 @ A3

Notes.

1. New opening velux window to front elevation with integral blind.

Legend.

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- f. Existing structure is indicative to be confirmed by exploratory works on site prior to main contract commencement.

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3 Hamble Close, Ruislip,
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Proposed Front Elevation

DWG No. 145 L 37

Status: Planning

Revision: P1

Scale: 1:25/1:50

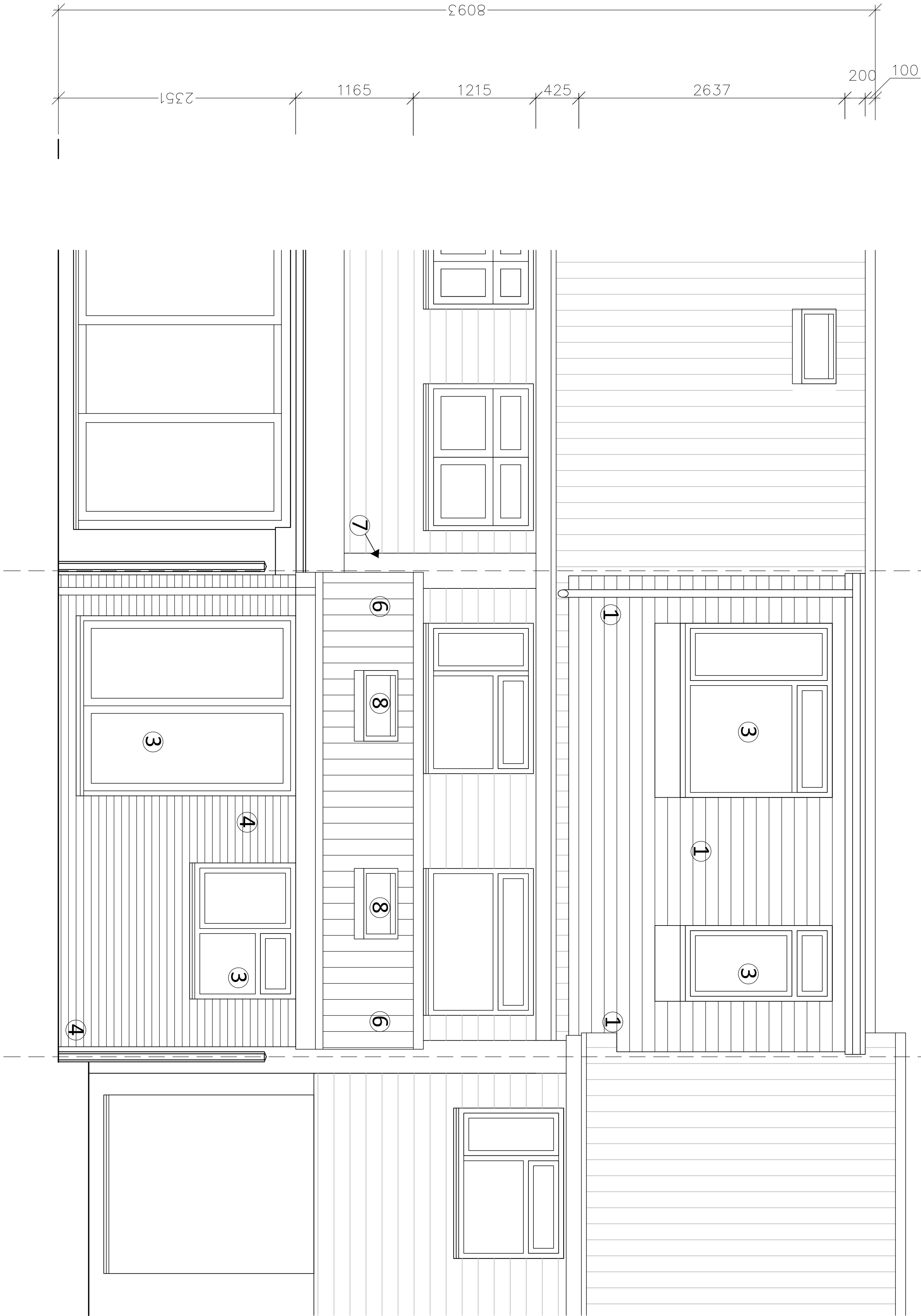
Paper: A1/A3

REV	ISSUE	DATE
P2	Layout amended. Note added	22.05.21

4 Hamble
Close

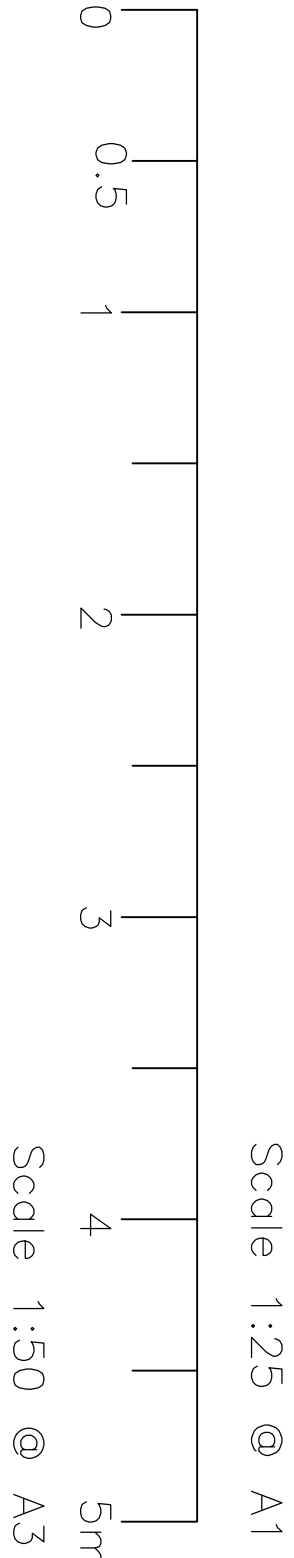
3 Hamble
Close

2 Hamble
Close



*Proposed works built entirely within the curtilage of the
existing property with all materials to match existing.*

PROPOSED REAR ELEVATION



Notes.

1. New dormer. Steelwork to structural engineers details. Enclosure formed using insulated timber frame lined externally with hanging tiles to match existing. With single ply membrane or similar approved flat roof. Skimmed insulated plasterboard internally.
2. -.
3. New metal framed windows and glazed doors, obscured to ensuite.
4. New external walls. Dense 100mm blockwork cavity walls with 100mm cavity filled with full fill. Rockwool insulation and frost resistant brickwork to external face to match existing.
5. -.
6. Insulated mono-pitch tiled roof to match existing. Treated S/W rafters to S/E detail trimmed to allow rooflight installation, with insulation between and below rafters. Finished with skimmed plasterboard internally to provide 1 hour fire resistance. Interlocking concrete tile roof externally. Installed with code 5 lead flashing to existing rear facade. Painted timber eaves and upvc rainwater goods draining to existing system.
7. Note, existing party wall with no. 4 built up to form gable of new extension. Rendered blockwork to match existing.
8. 2 no. opening Velux rooflights with integral blinds. Electronically operated.

Legend.

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- b. Drawings should be read in conjunction with all other consultant drawings, specifications and schedules as a whole.
- c. All works carried out to meet appropriate British Standards and Building Control requirements in accordance with all current codes of good practice; using fully qualified and competent personnel with a comprehensive understanding of the works as a whole.
- d. Dimensions and setting out to be confirmed on site.
- e. Decorations to be agreed against sample prior to undertaking works.
- f. Existing structure is indicative to be confirmed by exploratory works on site prior to main contract commencement.

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Proposed Rear Elevation

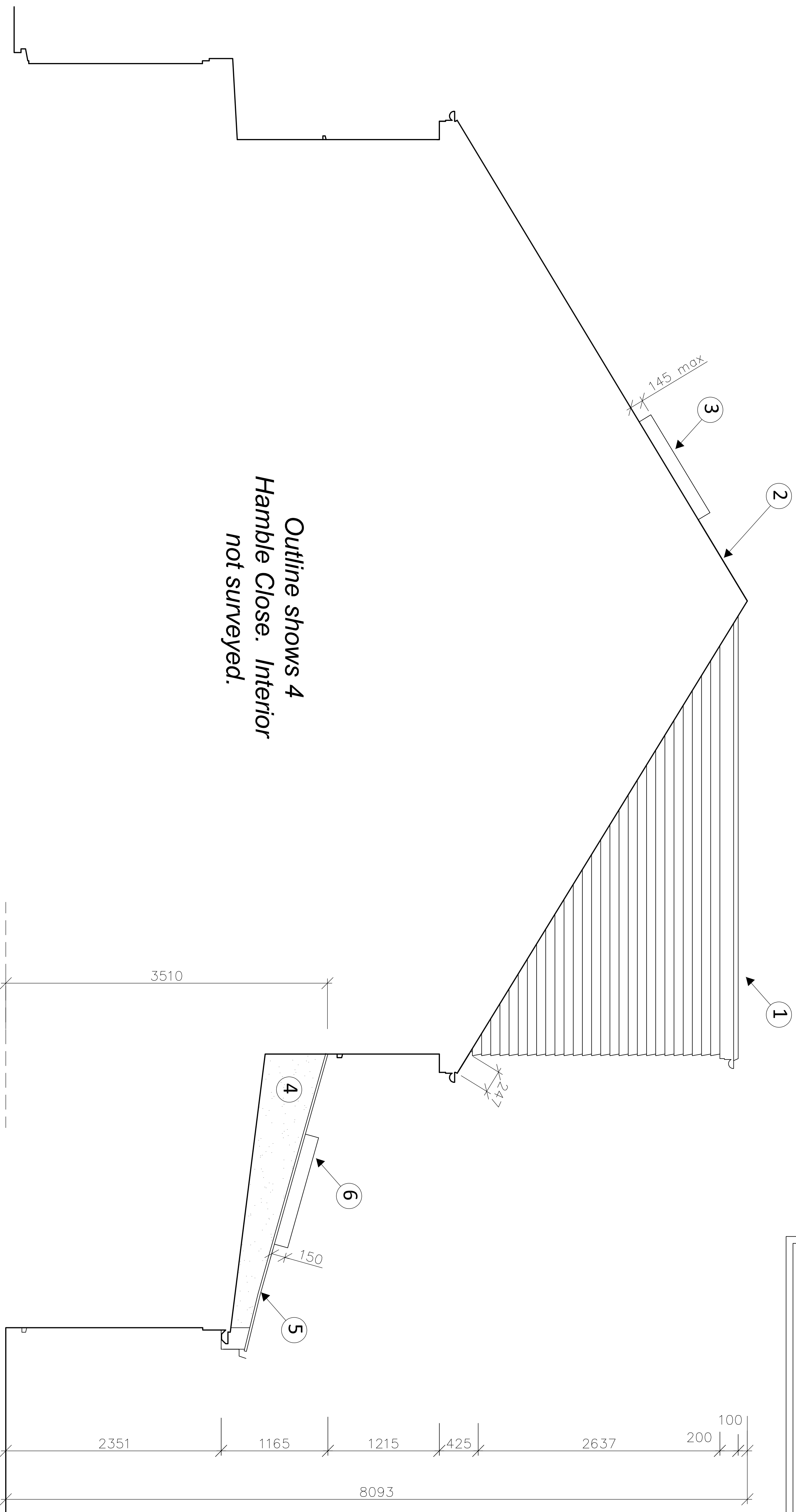
DWG No. 145 L 38		Status: Planning
Revision. P2	Scale. 1:25/1:50	Paper. A1/A3

Legend.

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- d. Dimensions and setting out to be confirmed on site.
- e. Decorations to be agreed against sample prior to undertaking works.
- f. Existing structure is indicative to be confirmed by exploratory works on site prior to main contract commencement.

Notes.

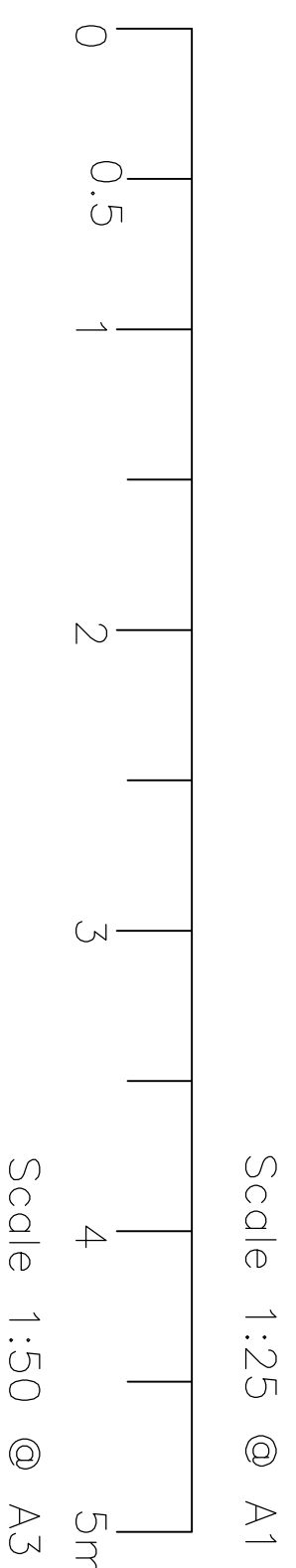
1. New dormer. Steelwork to structural engineers details. Enclosure formed using insulated timber frame lined externally with hanging tiles to match existing. With Single ply membrane or similar approved flat roof. Skimmed insulated plasterboard internally.
2. Existing roof. Refurbished with new insulation between rafters with insulated skimmed plasterboard below.
3. New opening velux window to front elevation with integral blind.
4. Dense 100mm blockwork cavity walls with 100m cavity filled with full fill Rockwool insulation and traditional painted render to external face.
5. Insulated mono-pitch tiled roof. Treated SAW rafters to S/E detail trimmed to allow rooflight installation. with insulation between and below rafters. Finished with skimmed plasterboard internally to provide 1 hour fire resistance. Interlocking concrete tile roof externally. Installed with code 5 lead flashing to existing rear facade. Painted timber eaves and upvc rainwater goods draining to existing system.
6. 2 no. opening Velux rooflights with integral blinds. Electronically operated.



Outline shows 4 Hamble Close. Interior not surveyed.

Proposed works built entirely within the curtilage of the existing property with all materials to match existing.

PROPOSED SIDE ELEVATION (SOUTH)



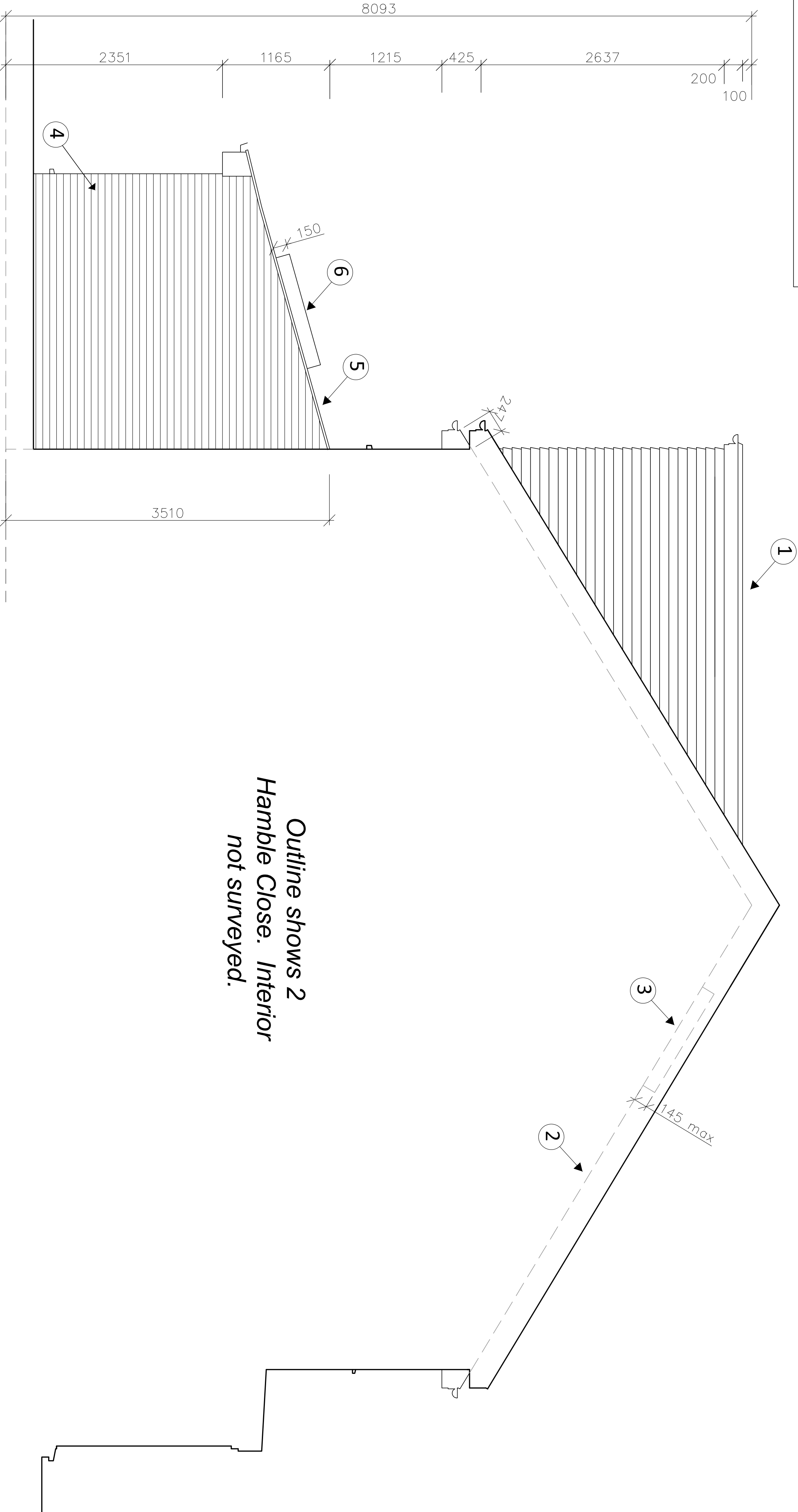
<h1>3 Hamble Close, Ruislip, Middlesex HA4 7EP</h1>			
<h2>Proposed Side (South) Elevation</h2>			
DWG No. 145 L 39		Status: Planning	
Revision: P1	Scale: 1:25/1:50	Paper: A1/A3	

Notes.

1. New dormer. Steelwork to structural engineers detail. Enclosure formed using insulated timber frame lined externally with hanging tiles to match existing. With single ply membrane or similar approved flat roof. Skinned insulated plasterboard internally.
2. Existing roof beyond (shown dotted). Refurbished with new insulation between rafters with insulated skimmed plasterboard below.
3. New opening velux window to front elevation (beyond - shown dotted) with integral blind.
4. New external walls. Dense 100mm blockwork cavity walls with 100m cavity filled with full fill Rockwool insulation and frost resistant brickwork to match existing.
5. Insulated mono-pitch tiled roof. Treated SWM rafters to S/E detail trimmed to allow rooflight installation. with insulation between and below rafters. Finished with skimmed plasterboard internally to provide 1 hour fire resistance. Interlocking concrete tile roof externally to match existing. Installed with code 5 lead flashing to existing rear facade. Painted timber eaves and upvc rainwater goods draining to existing system.
6. 2 no. opening Velux rooflights with integral blinds. Electronically operated.

Legend.

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- d. Dimensions and setting out to be confirmed on site.
- e. Decorations to be agreed against sample prior to undertaking works.
- f. Existing structure is indicative to be confirmed by exploratory works on site prior to main contract commencement.



*Outline shows 2
Hamble Close. Interior
not surveyed.*

*Proposed works built entirely within the curtilage of the
existing property with all materials to match existing.*

PROPOSED SIDE ELEVATION (NORTH)

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Proposed Side (North)
Elevation

DWG No. 145 L 40		Status: Planning
Revision. P1	Scale. 1:25/1:50	Paper. A1/A3

REV	ISSUE	DATE
P1	Notes amended	22.05.21

