

Notes.

- Existing gas meter and supply re-positioned.
- Existing electrical meter and distribution board re-positioned.
- New 1 hour fire rated stud partition skimmed and decorated with FD30i internal door and fire rated toughened glass screen.
- Toughened glazed doorset in painted hardwood timber frame.
- Washing machine / dryer (on stacker kit) enclosure. With tiled floor and mechanical extract.
- New Cloakroom. Tiled floor and walls. Waste pipe at low level to existing vertical pipework.
- New Kitchen, by Client's specialist installer. Sink position aligns approximately with existing.
- New steelwork by structural engineer with 1 hour fire protection in skimmed enclosure.
- New skimmed insulated wall lining to existing party wall.
- New external walls. Dense 100mm blockwork cavity walls with 100m cavity filled with full fill Rockwool insulation and traditional painted render to external face.
- New ground floor. Insulated concrete slab with screed over to match existing. New engineered timber flooring throughout. With levels set out to match existing.
- New metal framed double glazed window and toughened glazed screen.
- Existing manhole re-configured to allow access to below ground drainage and rodding to Thames Water Requirements.
- Insulated mono-pitch tiled roof. Treated S/W rafters to S/E detail trimmed to allow rooflight installation, with insulation between and below rafters. Finished with skimmed plasterboard internally to provide 1 hour fire resistance. Interlocking concrete tile roof externally. Installed with code 5 lead flashing to existing rear facade. Painted timber eaves and upvc rainwater goods draining to existing system.
- Note, existing party wall with no. 4 built up to form gable of new extension. Rendered blockwork to match existing.
- 2 no. opening Velux rooflights with integral blinds. Electronically operated.
- 1 hour fire resistant stud wall with new FD30i door to allow stair extension.
- New treated S/W painted stair to loft extension. Master bedroom partition and door location re-positioned to allow installation. Layout provisional to be confirmed on site to allow stair installation to meet Building Regulations requirements.
- Existing internal doors upgraded as required to provide FD30i fire resistance.
- New boiler in new location venting to high level. Provisional, to mechanical contractor's confirmation over venting requirements. Installed within new fire rated skimmed partition. Horizontal run to flue in skimmed boxing with gas ventilation and access to Building Regulations requirements.
- Horizontal run to flue in skimmed boxing with gas ventilation and access to Building Regulations requirements.
- New boiler cupboard. 1 hour fire resistant Skimmed partition.

REV	ISSUE	DATE
P0	Planning Issue	18.03.21

Legend, Elevation and Section
Markers see Dwg. No 145 L 31

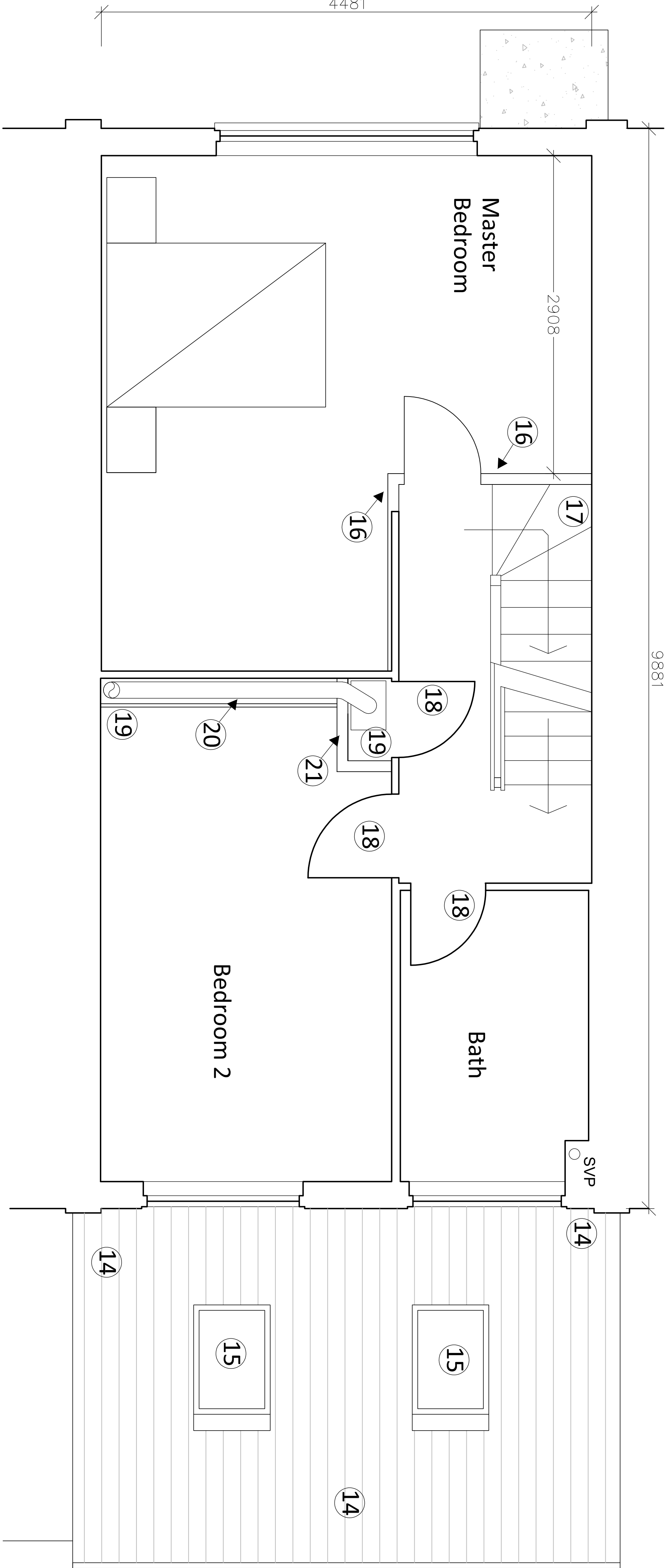
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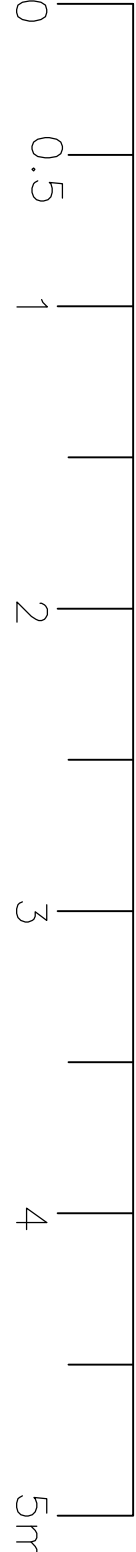
Proposed Ground and First
Floor Plans

DWG No. 145 L 30	Status. Planning		
Revision. P0	Scale. 1:25/1:50	Paper. A1/A3	

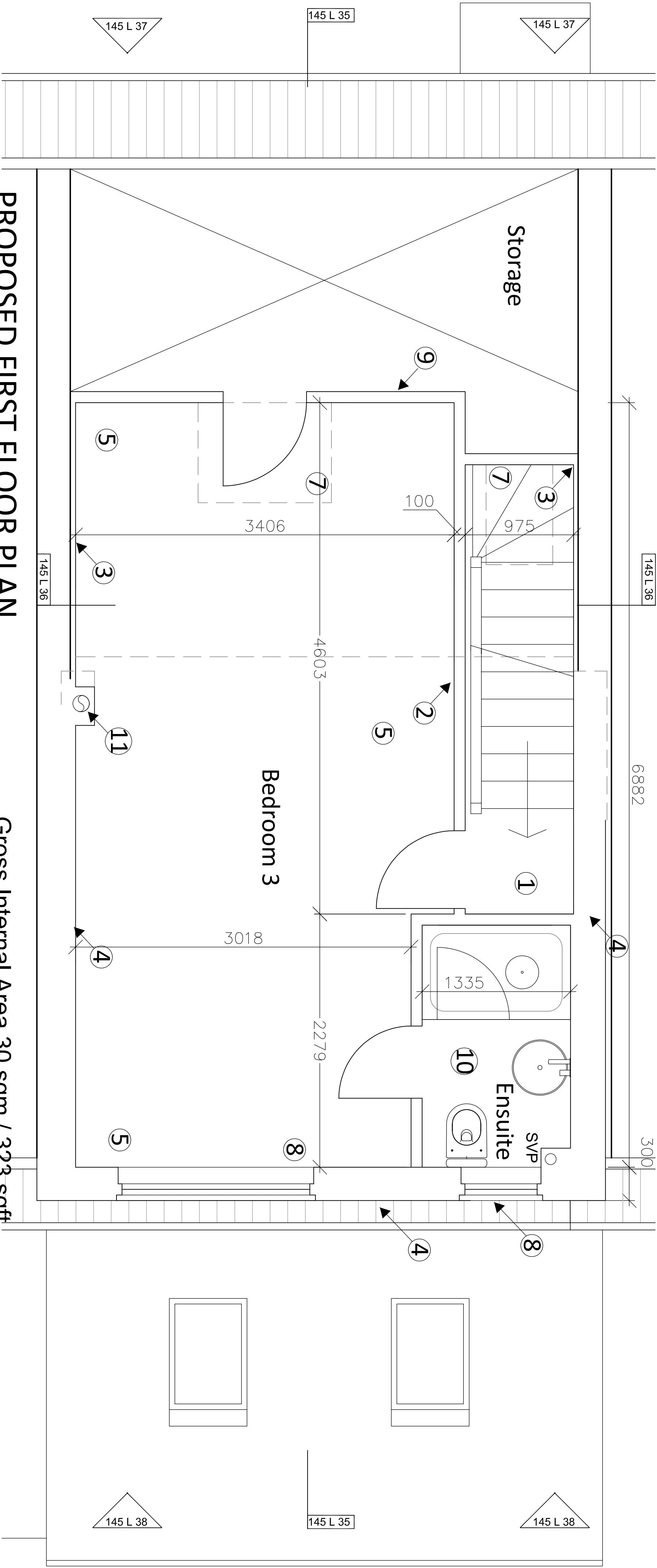


PROPOSED FIRST FLOOR PLAN

Gross Internal Area 41.9 sqm / 451 sqft

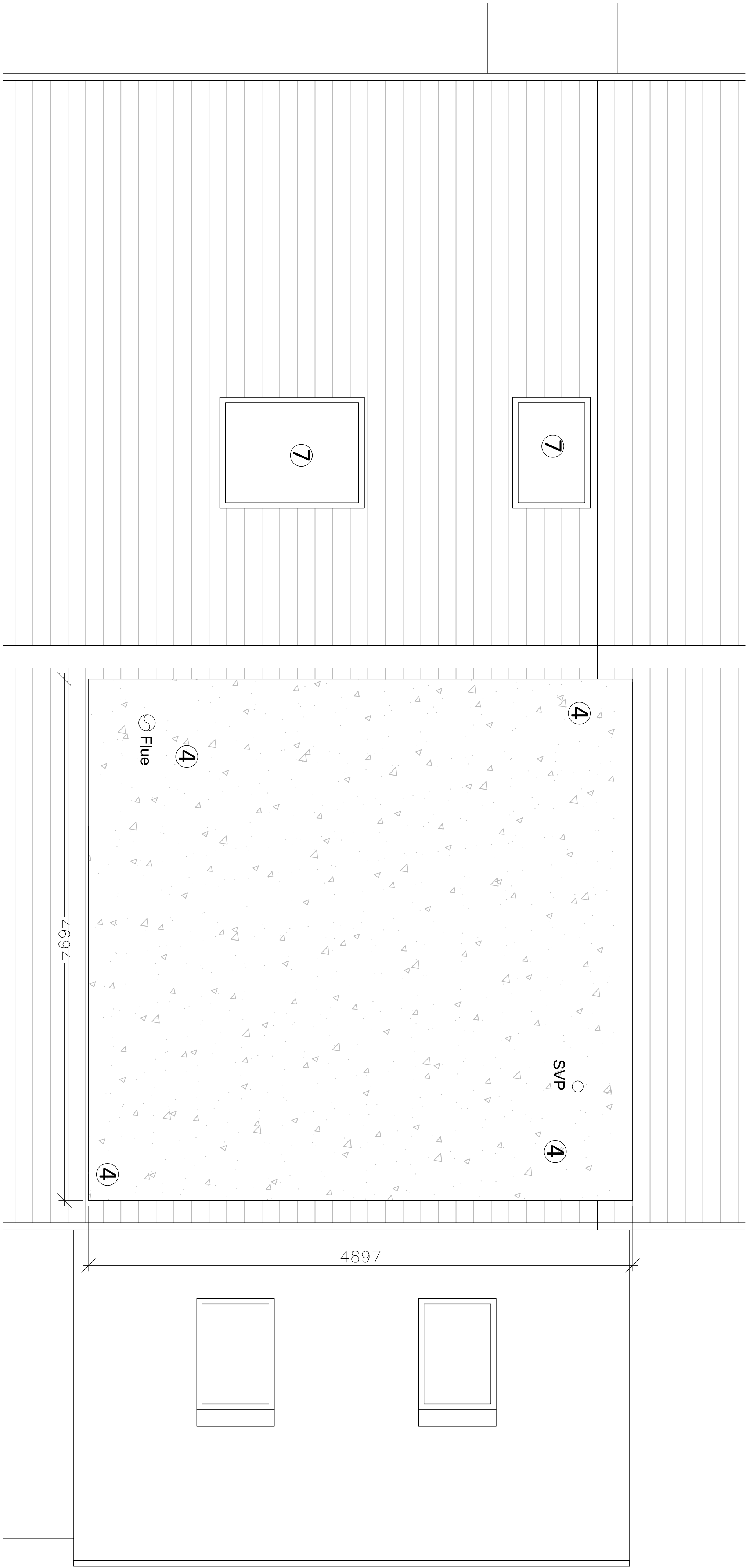


Scale 1:25 @ A1
Scale 1:50 @ A3



PROPOSED FIRST FLOOR PLAN

Gross Internal Area 30 sqm / 323 sqft



PROPOSED ROOF PLAN

Notes.

1. New treated S/M painted stair to loft extension.
2. New 1 hour fire rated stud partition skimmed and decorated with FD30 internal door.
3. New skimmed insulated wall lining to existing party wall.
4. New dormer, steelwork to structural engineers details. Enclosure formed using insulated timber frame lined externally with hanging tiles. With Single ply membrane or similar approved flat roof. Skimmed insulated plasterboard internally.
5. New second floor. Installed over existing loft deck. Steelwork to structural engineers details, supporting new joists, with heavy duty acoustic floor decking over. Install with rockwool acoustic insulation between joists.
6. Existing roof insulated between rafters with insulated skimmed plasterboard below.
7. New opening velux window to front elevation with integral blind.
8. New UPVC windows, obscured to ensuite.
9. Internal skimmed stud wall with access hatch.
10. New ensuite. Tiled floor and walls. SVP extended from below. Shower, basin with integral vanity and mirrored cupboard over W.C.
11. Boiler flue from below boxed in within wall lining.

Legend.

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- b. Drawings should be read in conjunction with all other consultant drawings, specifications and schedules as a whole.
- c. All works carried out to meet appropriate British Standards and Building Control requirements in accordance with all current codes of good practice; using fully qualified and competent personnel with a comprehensive understanding of the works as a whole.
- d. Dimensions and setting out to be confirmed on site.
- e. Decorations to be agreed against sample prior to undertaking works.
- f. Existing structure is indicative to be confirmed by exploratory works on site prior to main contract commencement.

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**Proposed Second Floor and
Roof Plans**

DWG No. 145 L 31

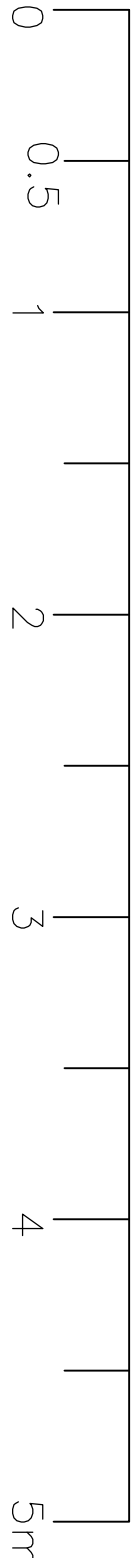
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Revision. P0

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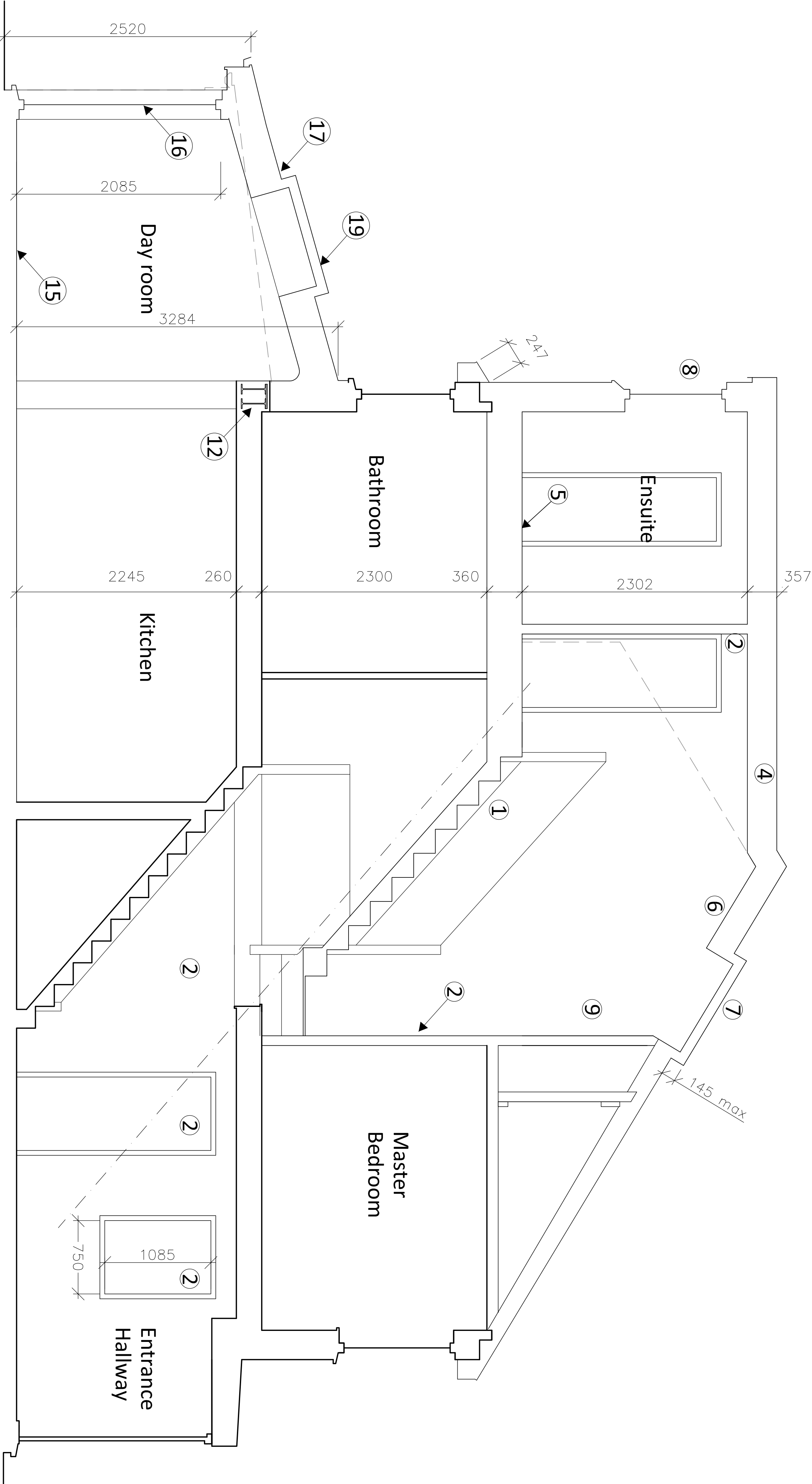
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- d. Dimensions and setting out to be confirmed on site.
- e. Decorations to be agreed against sample prior to undertaking works.
- f. Existing structure is indicative to be confirmed by exploratory works on site prior to main contract commencement.



Notes.

1. New treated S/W painted stair to loft extension. Layout provisional to be confirmed on site to meet Building Regulations requirements.
2. New 1 hour fire rated stud partition skinned and decorated with FD30 internal door and fire rated glass screen.
3. New skinned insulated wall lining to existing party wall.
4. New dormer. Steelwork to structural engineers details. Enclosure formed using insulated timber frame lined externally with hanging tiles. With Single ply membrane or similar approved flat roof. Skinned insulated plasterboard internally.
5. New second floor. Installed over existing loft deck. Steelwork to structural engineers details, supporting new joists, with heavy duty acoustic floor decking over. Install with rockwool acoustic insulation between joists.
6. Existing roof. Refurbished with new insulation between rafters with insulated skinned plasterboard below.
7. New opening velux window to front elevation with integral blind.
8. New UPVC windows, obscured to ensuite.
9. Internal skinned stud wall with access hatch.
10. New ensuite. Tiled floor and walls, SVP extended from below. Shower, basin with integral vanity and mirrored cupboard over W.C. New floor tanked.
11. New kitchen, by Client's specialist installer. Sink position aligns approximately with existing.
12. New steelwork by structural engineer with 1 hour fire protection in skinned enclosure.
13. New skinned insulated wall lining to existing party wall.
14. New external walls. Dense 100mm blockwork cavity walls with 100m cavity filled with full fill Rockwool insulation and traditional painted render to external face.
15. New ground floor. Insulated concrete slab with screed over to match existing. New engineered timber flooring throughout. With levels set out to match existing.
16. New metal framed double glazed window and toughened glazed screen.
17. Insulated mono-pitch tiled roof. Treated S/W rafters to S/E detail trimmed to allow rooflight installation, with insulation between and below rafters. Finished with skinned plasterboard internally to provide 1 hour fire resistance. Interlocking concrete tile roof externally. Installed with code 5 lead flashing to existing rear facade. Painted timber eaves and upvc rainwater goods draining to existing system.
18. Note, existing party wall with no. 4 built up to form gable of new extension. Rendered blockwork to match existing.
19. 2 no. opening Velux rooflights with integral blinds. Electronically operated.
20. Existing internal doors upgraded as required to provide FD30 fire resistance.

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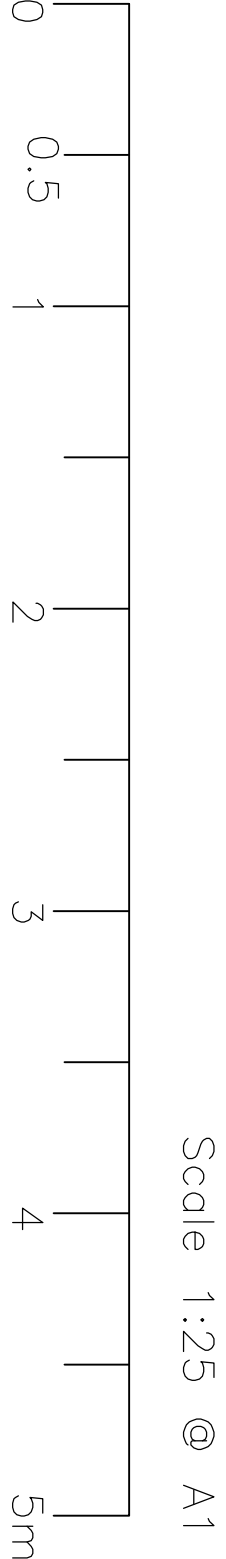
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Proposed Section A A

DWG No. 145 L 35		Status: Planning
Revision. P0	Scale. 1:25/1:50	
		Paper. A1/A3

REV	ISSUE	DATE
D1	Layout Revised.	09.03.21



PROPOSED SECTION A A

Notes.

1. New treated S/MV painted stair to loft extension. Layout provisional. New layout to be agreed on site to meet Building Regulations requirements.
2. New 1 hour fire rated stud partition skimmed and decorated with FD30 internal door.
3. New skimmed insulated wall lining to existing party wall.
4. New dormer. Steelwork to structural engineers details. Enclosure formed using insulated timber frame Dense lined external with hanging tiles. With Single ply membrane or similar approved flat roof. Skimmed insulated plasterboard internally.
5. New second floor. Installed over existing loft deck. Steelwork to structural engineers details, supporting new joists, with heavy duty acoustic floor decking over. Install with rockwool acoustic insulation between joists.
6. Existing roof refurbished. With new insulation between rafters and insulated skimmed plasterboard below.
7. New opening velux window to front elevation with integral blind.
8. Internal skimmed stud wall with access hatch.
9. New boiler in new location venting to high level. Provisional, to mechanical contractor's confirmation over venting requirements. Installed within new fire rated skimmed partition.
10. Horizontal run to flue in skimmed boxing with gas ventilation and access to Building Regulations requirements.

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P0	Planning Issue	18.03.21

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- e. Decorations to be agreed against sample prior to undertaking works.
- f. Existing structure is indicative to be confirmed by exploratory works on site prior to main contract commencement.

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Proposed Section B B

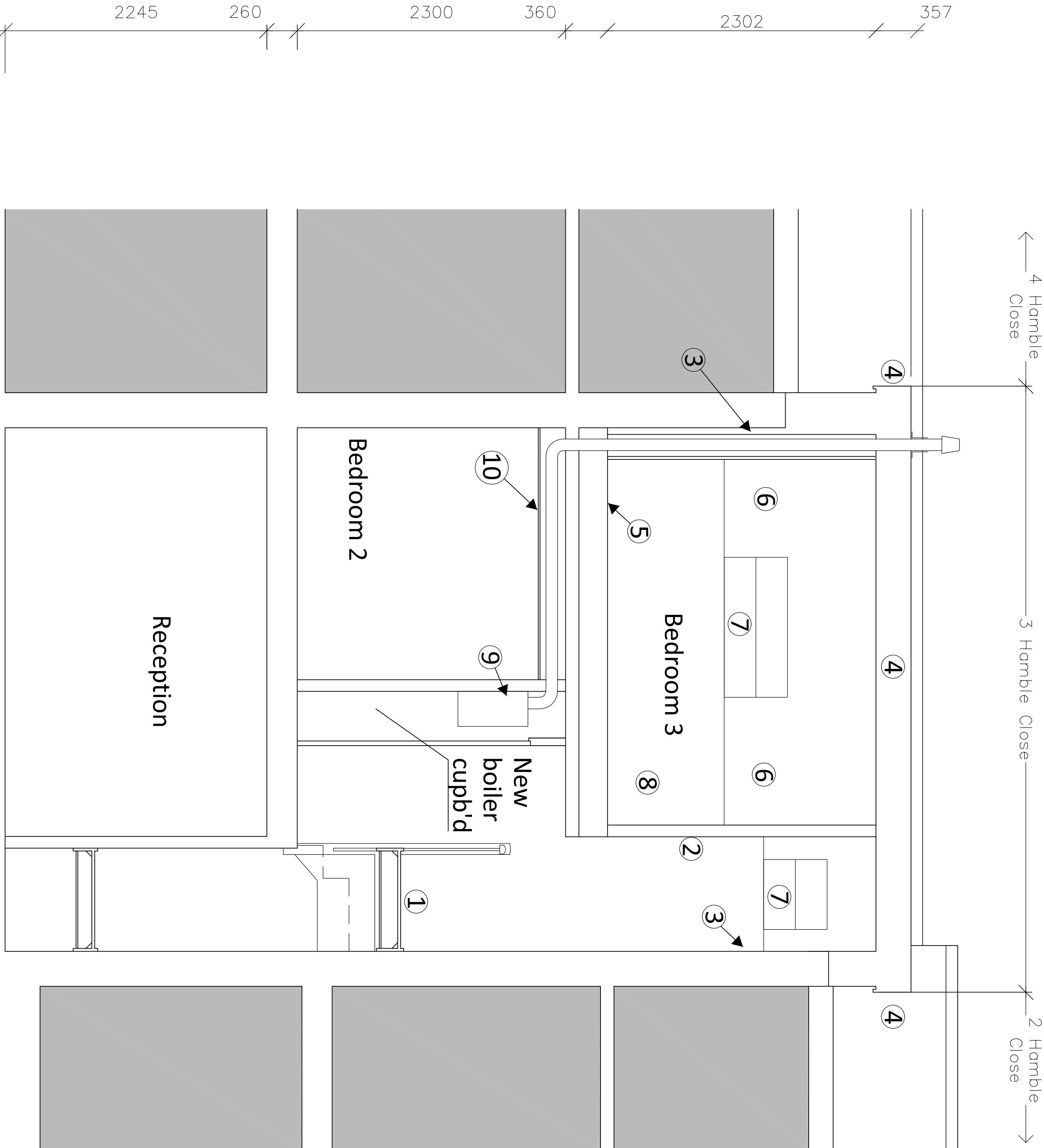
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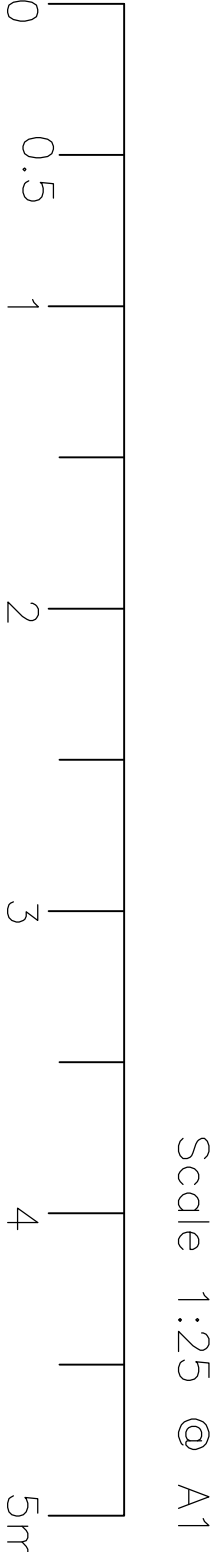
Revision. P0

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Paper. A1/A3



PROPOSED SECTION B B



2 Hamble Close

3 Hamble Close

4 Hamble Close



Notes.

1. New opening velux window to front elevation with integral blind.

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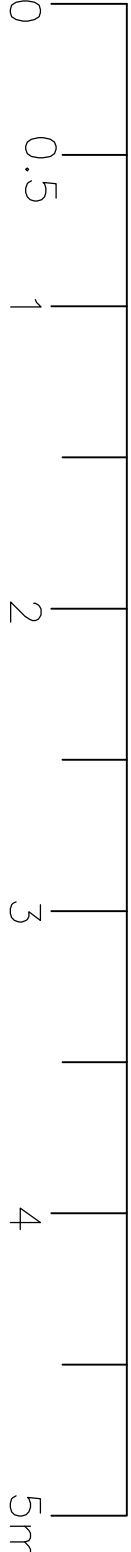
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Proposed Front Elevation

DWG No. 145 L 37		Status, Planning
Revision, P0	Scale, 1:25/1:50	Paper, A1/A3

PROPOSED FRONT ELEVATION



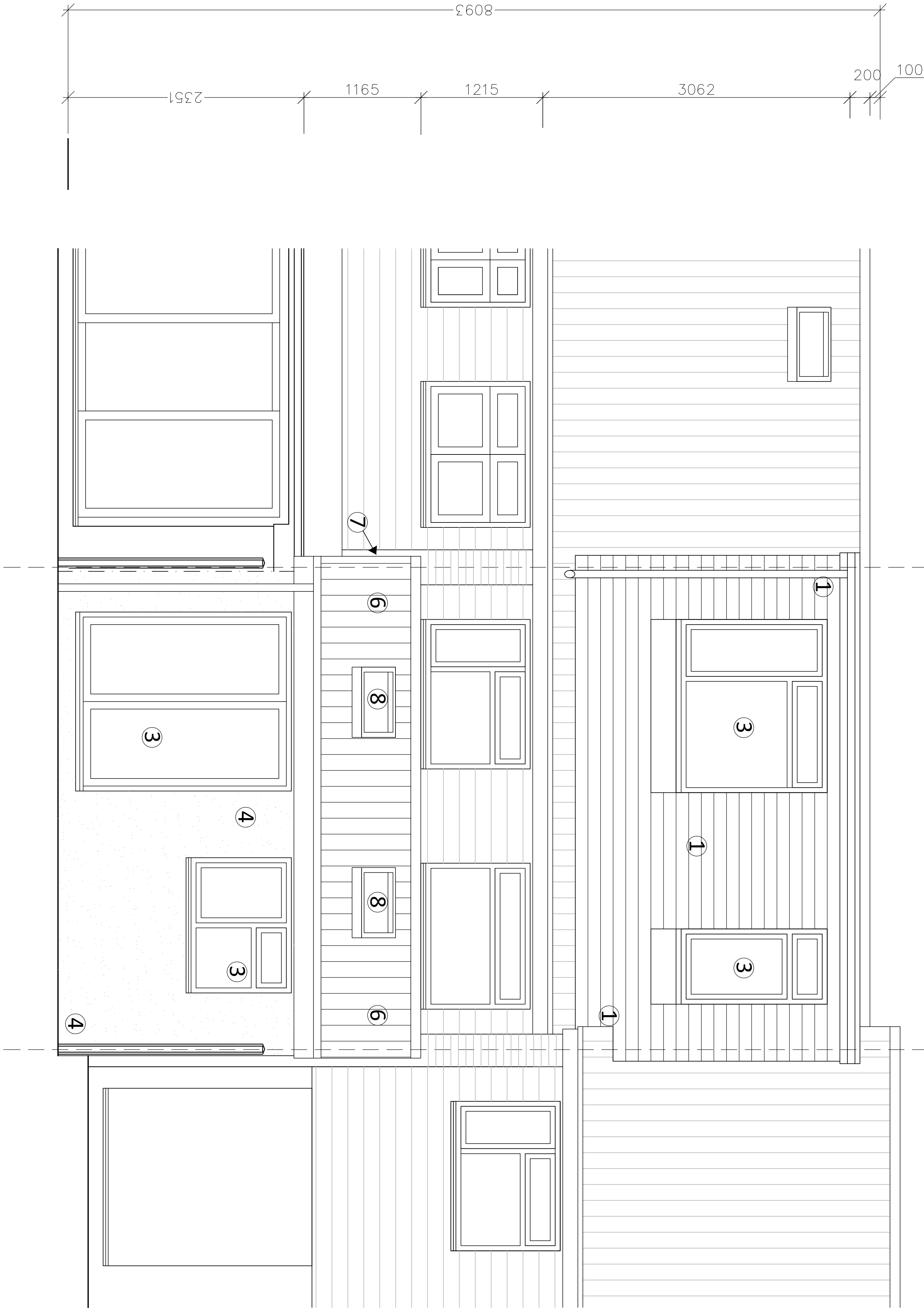
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4 Hamble Close

3 Hamble Close

2 Hamble Close



Notes.

1. New dormer. Steelwork to structural engineers details. Enclosure formed using Insulated timber frame lined externally with hanging tiles. With Single ply membrane or similar approved flat roof. Skimmed insulated plasterboard internally.
2. -.
3. New metal framed windows and glazed doors, obscured to ensuite.
4. New external walls. Dense 100mm blockwork cavity walls with 100m cavity filled with full fill Rockwool insulation and traditional painted render to external face.
5. -.
6. Insulated mono-pitch tiled roof. Treated S/W rafters to S/E detail trimmed to allow rooflight installation. with insulation between and below rafters. Finished with skimmed plasterboard internally to provide 1 hour fire resistance. Interlocking concrete tile roof externally. Installed with code 5 lead flashing to existing rear facade. Painted timber eaves and upvc rainwater goods draining to existing system.
7. Note, existing party wall with no. 4 built up to form gable of new extension. Rendered blockwork to match existing.
8. 2 no. opening Velux rooflights with integral blinds. Electronically operated.

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Proposed Rear Elevation

DWG No. 145 L 38		Status. Planning
Revision. P0	Scale. 1:25/1:50	Paper. A1/A3

PROPOSED REAR ELEVATION

