

# Design and Access Statement on behalf of

**Mr Kulbir Singh**

Concerning an application for the erection of  
a part-single part first-floor rear extension,  
plus the conversion of the existing roof void  
to habitable, with a rear dormer window  
plus side elevation roof lights at:  
**1 Burford Close, Ickenham, Uxbridge, UB10 8EH**

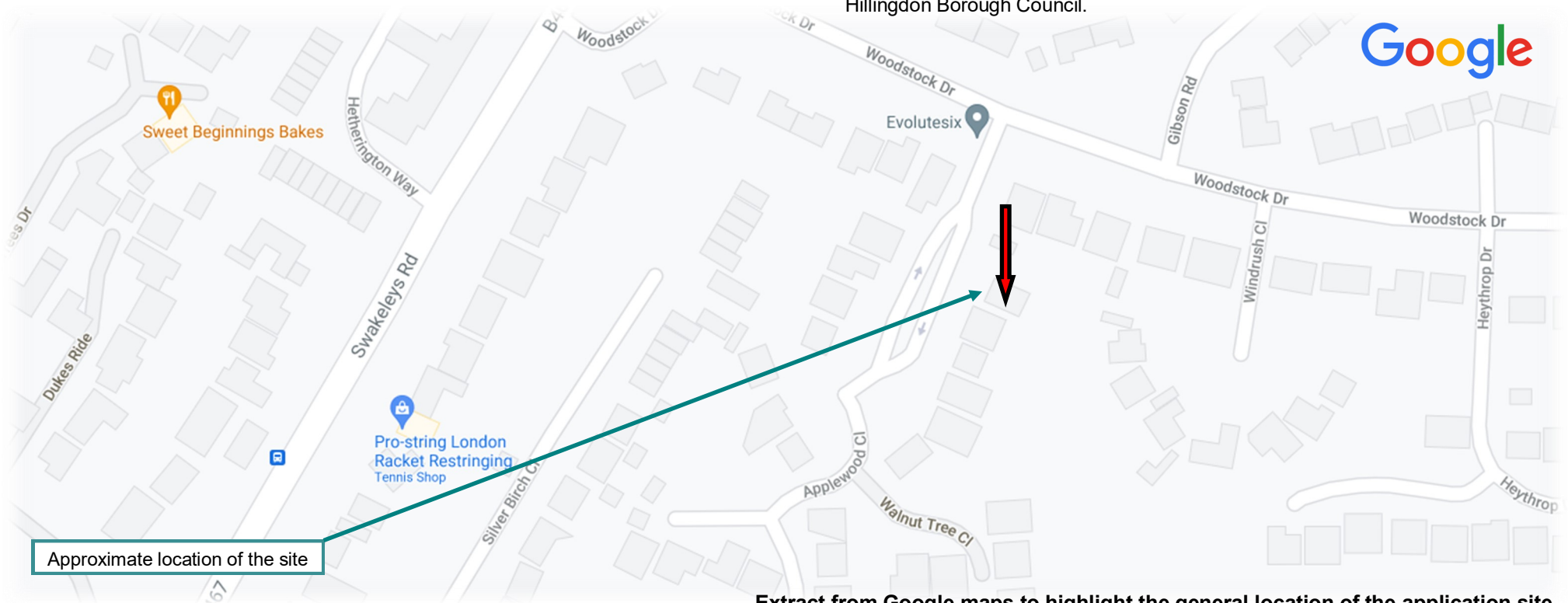
**November 2022**

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# 1.0 INTRODUCTION

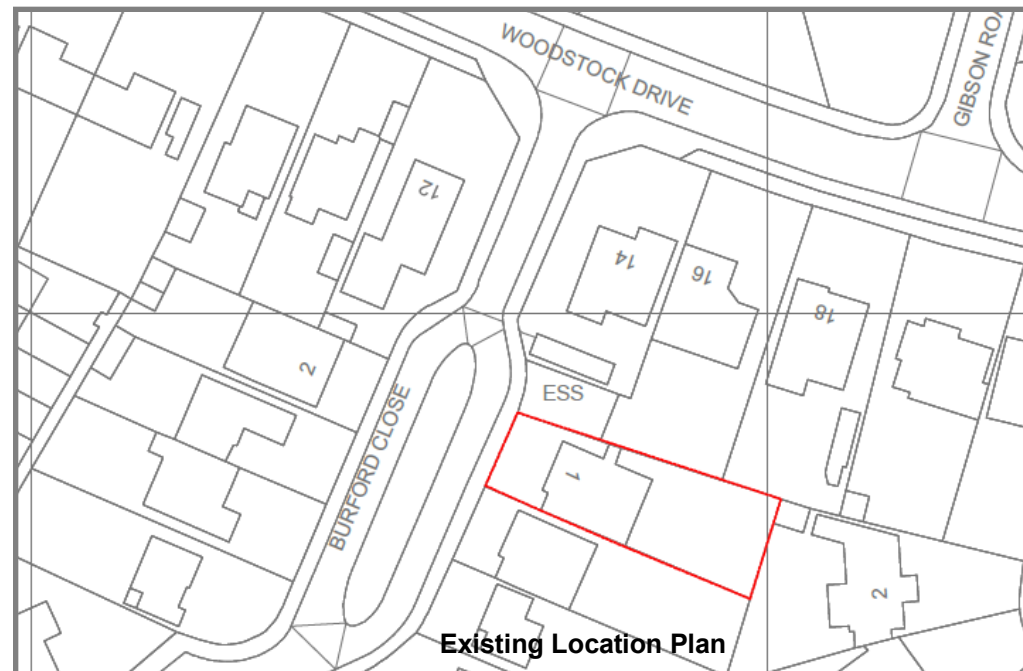
- 1.1 David Mansoor Consultants have been instructed to prepare and submit an application for Householder Planning Permission for extensions and alterations to the existing (new-build) single family detached dwellinghouse at 1 Burford Close, Ickenham, Uxbridge, UB10 8EH.
- 1.2 This application for works to the existing dwelling, is submitted following the approval for the erection of a new-build dwelling, granted by Hillingdon Council Ref: 11752/APP/2021/4019, in June 2022. This application has been invoked and the subject dwelling has been erected, in accordance with this Planning Consent.
- 1.3 The purpose of this statement is to justify the proposal and to demonstrate that the proposal is beneficial to the surrounding area. We therefore aim to demonstrate that this development will not have a negative impact on the local surrounding area or any of the neighbouring properties.
- 1.4 This subsequent proposal now looks to enhance the host dwelling, through minor alterations at ground first and loft floor levels, to better provide for the applicant and his family. It is asserted that the revisions, whilst material in nature, would harmonise with the architectural composition of the houses along Burford Close, Ickenham. The development as proposed, has therefore sought to compliment the character, appearance and visual amenities of the street scene and the surrounding area, whilst embracing the high quality design requirements and the aims for development management as advocated at national level (NPPF 2019) and local level, in the form of the Adopted Local Plan Strategic Policies - Part and the Development Management Policies - Part 2.
- 1.5 This 'Design and Access Statement' is submitted in support of the application and is pursuant to Article 8 of the Town and Country Planning (Development Management Procedure) (England) Order 2015. This submission should be read in conjunction with the submitted application forms and drawings. This 'Design and Access Statement' is also informed by the application requirements as dictated by Hillingdon Borough Council.



Extract from Google maps to highlight the general location of the application site

## 2.0 SITE AND AREA ANALYSIS

- 2.1 The application site at 1 Burford Close, UB10, comprises a detached two-storey single family dwelling, situated on the eastern side of Burford Close. Following approval for the erection of a new-build dwelling, granted by Hillingdon Council Ref: 11752/APP/2021/4019, in June 2022, the new-build dwelling, has now been constructed in brick with a clay tiled hipped roof, in line with this approval, however, works remain ongoing on site at the time of writing this statement.
- 2.2 The dwelling, is set back from the adjacent highway, with provision of a large front garden amenity, supported by off-street parking for two vehicles perpendicular to the road along each side boundary, with an area of soft landscape in the middle. There are no TPO's or Conservation Area designations affecting the site and no trees or other landscape features of particular merit. No trees are to be affected by this proposal.
- 2.3 The existing front garden is bounded by a low facing brickwork wall fronting Burford Close, enclosing two areas of hardstanding, set either side of a central soft landscaped area, primarily laid to lawn.
- 2.4 The property benefits from a single storey rear projection at ground floor level, across the full width, leading out onto a patio area, fronting a rear garden, primarily laid to lawn with flower beds set adjacent to the rear site boundaries. The street scene is residential in character and appearance and is characterised by predominately two-storey detached and semi-detached properties.
- 2.5 Whilst arranged as a two-storey dwelling, with accommodation over ground and first floor levels, the property benefits from a large loft level used for storage purposes. It is noted that many properties in the area, benefit from habitable accommodation at loft level, which is considered to be a sustainable way to extend an existing family dwelling.
- 2.6 The subject site is not located within a conservation area (designated as Article 2(3) land in The Town and Country Planning (General Permitted Development) (England) Order 2015 as amended) and is not within an area covered by an Article 4 direction.
- 2.7 Situated on the eastern side of Burford Close, the dwelling is set back from the road boundary affording a large carriage drive to the front.



<b>Application Ref:</b> 11752/APP/2022/2315	<b>Application Address:</b> 1 Burford Close, Ickenham, UB10	<b>Application Description:</b> Details pursuant to the discharge of Conditions 3 (materials), 6 (step free access), 7 (Category 2 M4(2) dwellings), 8 (sustainable water management), 9 (landscape scheme) and 11 (Construction Logistics Plan) of planning permission ref. 11752/APP/2021/4019, dated 07-06-22 (Demolition of the existing bungalow and erection of 1 no. detached dwellinghouse with associated parking, landscaping, refuse and cycle storage)	<b>Decision:</b> Granted	<b>Decision Date:</b> 04-10-2022
<b>Application Ref:</b> 11752/APP/2021/4019	<b>Application Address:</b> 1 Burford Close, Ickenham, UB10	<b>Application Description:</b> Demolition of the existing bungalow and erection of 1 no. detached dwellinghouse with associated parking, landscaping, refuse and cycle storage	<b>Decision:</b> Granted	<b>Decision Date:</b> 07-06-2021
<b>Application Ref:</b> 11752/APP/2021/3226	<b>Application Address:</b> 1 Burford Close, Ickenham, UB10	<b>Application Description:</b> Demolition of existing bungalow and erection of 1 no. detached dwellinghouse with associated parking, landscaping, refuse and cycle storage	<b>Decision:</b> Refused	<b>Decision Date:</b> 18-10-2021
<b>Application Ref:</b> 11752/APP/2020/800	<b>Application Address:</b> 1 Burford Close, Ickenham, UB10	<b>Application Description:</b> Demolition of the existing bungalow and erection of two semi-detached dwellings	<b>Decision:</b> Refused	<b>Decision Date:</b> 30-04-2020
<b>Application Ref:</b> 11752/APP/2020/2805	<b>Application Address:</b> 1 Burford Close, Ickenham, UB10	<b>Application Description:</b> Demolition of existing bungalow and erection of two x 3 bed semi-detached dwellings with associated parking, refuse and cycle storage	<b>Decision:</b> Refused	<b>Decision Date:</b> 29-10-2020

# 3.0 PLANNING POLICY CONTEXT

## CENTRAL GOVERNMENT GUIDANCE

### National Planning Policy Framework (NPPF)



- 3.1 The National Planning Policy Framework (NPPF) document sets out the Government's most up-to date vision for future growth. At the heart of the document is a presumption in favour of sustainable development. In the opening paragraph the Minister for Planning identifies that:

***“The purpose of planning is to help achieve sustainable development.”***

- 3.2 The Ministerial Foreword highlights that ***“sustainable development is about positive growth – making economic, environmental and social progress for this and future generations”***. The opening statement goes on to state that ***“Development that is sustainable should go ahead, without delay.”***

- 3.3 There are principally three aspects which define sustainable development and these are based on the associated economic role, the social role and the environmental role. In terms of the economic aspect land has to be made available where there is a demand to support growth. The social role is focused on providing the supply of housing required to meet the needs of present and future generations; and by creating a high quality built environment. The environmental role involves the protection of the natural, built and historic environment. The NPPF goes on to stipulate:

***“to achieve sustainable development, economic, social and environmental gains should be sought jointly and simultaneously through the planning system”***

- 3.4 Paragraph 17 of the NPPF sets out the core planning principles. Of particular relevance to the proposed development the document states that Council's must look to:

***“proactively drive and support sustainable economic development to deliver the homes, business and industrial units, infrastructure and thriving local places that the country needs. Every effort should be made objectively to identify and then meet the housing, business and other development needs of an area, and respond positively to wider opportunities for growth and;***

***take account of the different roles and character of different areas, promoting the vitality of our main urban areas”***

- 3.5 Paragraph 58 states that local planning policies and decisions should aim to ensure developments optimise the potential of sites in order to accommodate development. Paragraph 59 of the NPPF concerns design, noting the following:

***“Local planning authorities should consider using design codes where they could help deliver high quality outcomes. However, design policies should avoid unnecessary prescription or detail and should concentrate on guiding the overall scale, density, massing, height, landscape, layout and access of new development in relation to neighbouring buildings and the local area more generally”.***

- 3.6 According to paragraph 68, Small & medium sized sites can make an important contribution to meeting the housing requirement of an area, and are often built-out relatively quickly.”

- 3.7 Chapter 6 requires local planning authorities to support economic growth. Chapter 11 encourages developers and local planning authorities to make the best use of land and to focus on previously developed land in sustainable locations. According to paragraph 118(d), planning decisions should; “promote and support the development of under-utilised land and buildings, especially if this would help to meet identified needs for housing where land supply is constrained and available sites could be used more effectively (for example converting space above shops, and building on or above service yards, car parks, lock-ups and railway infrastructure).”

- 3.8 Paragraph 123 requires that densities be maximised, to “ensure that developments make optimal use of the potential of each site”.

- 3.9 Paragraph 124 states that, “Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.”

- 3.10 According to paragraph 130, “...where the design of a development accords with clear expectations in plan policies, **design should not be used by the decision-maker as a valid reason to object to development.**”

- 3.11 Chapter 7 is titled ‘Requiring good design’ and sets out that good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute to making places better for people. Paragraph 60 recognises that:

***“Planning policies and decisions should not attempt to impose architectural styles or particular tastes and they should not stifle innovation, originality or initiative through unsubstantiated requirements to conform to certain development forms or styles. It is, however, proper to seek to promote or reinforce local distinctiveness.”***



## REGIONAL PLANNING POLICY

### The London Plan 2021

- 3.12 The London Plan provides the Spatial Development Strategy for Greater London in the period to 2036.
- 3.13 Policy D1 recognises London's form, character and capacity for growth and advises that Boroughs should undertake area assessments to define the characteristics, qualities and value of different places within the plan area to develop an understanding of different areas' capacity for growth.
- 3.14 Policy D3 discusses optimising site capacity through the design-led approach and advises that all development must make the best use of land by following a design-led approach that optimises the capacity of sites, including site allocations. Optimising site capacity means ensuring that development is of the most appropriate form and land use for the site. The design-led approach requires consideration of design options to determine the most appropriate form of development that responds to a site's context and capacity for growth, and existing and planned supporting infrastructure capacity (as set out in Policy D2 Infrastructure requirements for sustainable densities), and that best delivers the requirements set out in Part D.
- 3.15 Policy D4 discusses the requirement for delivering good design and states that Masterplans and design codes should be used to help bring forward development and ensure it delivers high quality design and place-making based on the requirements set out in Part B of Policy D3 Optimising site capacity through the design-led approach. Where appropriate, visual, environmental and movement modelling/assessments should be undertaken to analyse potential design options for an area, site or development proposal. These models, particularly 3D virtual reality and other interactive digital models, should, where possible, be used to inform plan-making and decision-taking, and to engage Londoners in the planning process.
- 3.16 Policy D5 discusses Inclusive Design and states that Boroughs, in preparing their Development Plans, should support the creation of inclusive neighbourhoods by embedding inclusive design, and collaborating with local communities in the development of planning policies that affect them.

- 3.17 Development proposal should achieve the highest standards of accessible and inclusive design. They should:

- 1) be designed taking into account London's diverse population
- 2) provide high quality people focused spaces that are designed to facilitate social interaction and inclusion
- 3) be convenient and welcoming with no disabling barriers, providing independent access without additional undue effort, separation or special treatment
- 4) be able to be entered, used and exited safely, easily and with dignity for all
- 5) be designed to incorporate safe and dignified emergency evacuation for all building users. In all developments where lifts are installed, as a minimum at least one lift per core (or more subject to capacity assessments) should be a suitably sized fire evacuation lift suitable to be used to evacuate people who require level access from the building.

- 3.18 Policy D6 discusses Housing quality and standards and states that Housing development should be of high quality design and provide adequately-sized rooms (see Table 3.1) with comfortable and functional layouts which are fit for purpose and meet the needs of Londoners without differentiating between tenures.

## LOCAL PLANNING POLICY

- 3.19 Relevant planning documents and planning policies in the Development Plan Policies contained within Hillingdon Local Plan: Part 1 (Nov 2012), Hillingdon Local Plan: Part 2 (Jan 2020), as well as relevant supplementary planning guidance have been used to assess the proposed development.

### HILLINGDON LOCAL PLAN PART 1 - STRATEGIC POLICIES (2012)

- 3.20 Hillingdon Local Plan Part 1 - Strategic policies sets out the overall level and broad locations of growth up to 2026. This policy was adopted in 8 November 2012. The most relevant policies of Hillingdon Local Plan Part 1 are:
- BE1 Built Environment
  - H1 Housing Growth
  - EM6 Flood risk management

- 3.21 Policy BE1 is entitled Built Environment and seeks all new development to improve and maintain the quality of the built environment in order to create successful and sustainable neighbourhoods, where people enjoy living and working and that serve the long-term needs of all residents. The Council goes on to advise that all new development should: achieve a high quality of design; contribute to the area in terms of form, scale and materials; be designed to include “Lifetime Homes” principles; in the case of 10 dwellings or over, achieve a satisfactory assessment rating in terms of the latest Building for Life standards; connect positively with interchanges, public transport, community facilities and services; improve the quality of the public realm and respect local character; not result in the inappropriate development of gardens and green spaces that erode the character and biodiversity of suburban areas and increase the risk of flooding through the loss of permeable areas; and maximise the opportunities for all new homes to contribute to tackling and adapting to climate change and reducing emissions of local air quality pollutants.

#### HILLINGDON LOCAL PLAN - PART 2 - DEVELOPMENT MANAGEMENT POLICIES (ADOPTED - JAN 2020)

- 3.22 Hillingdon's Local Plan (Part 2) adopted in January 2020, was considered as part of this Planning Application, alongside the various Supplementary Planning Guidance Documents.
- 3.23 The relevant Planning Policies, contained within the adopted Local Plan are:
- DMHB 11 - Design & New Development
  - DMHD 1 - Alterations and Extensions to Residential Dwellings
  - DMHB 12 - Streets & Public Realm
  - DMHB 14 - Trees & Landscaping
  - DMHB 16 - Housing Standards
  - DMHB 18 - Private Outdoor Amenity Space
- 3.24 Policy DMHB 11: Design of New Development states that: *A) All development, including extensions, alterations and new buildings will be required to be designed to the highest standards and, incorporate principles of good design including:*
- i) harmonising with the local context by taking into account the surrounding:*
    - *scale of development, considering the height, mass and bulk of adjacent structures;*
    - *building plot sizes and widths, plot coverage and established street patterns;*
    - *building lines and setbacks, rooflines, streetscape rhythm, for example, gaps between structures and other streetscape elements, such as degree of enclosure;*

#### **Appraisal**

- 3.25 This proposal seeks to enhance the design of the host dwelling, through modest alterations at ground, first and loft floor levels. The primary addition, being the formation of a rear extension at first floor level, set part-width across the rear of the property, whilst protecting the amenities of the neighbouring property to the south at 3 Burford Close. The conversion of the loft void is considered to be a sustainable method of enhancing a family dwelling, with a modest dormer, set to the rear elevation, to provide an additional bedroom at roof level. Works at ground floor level are limited to an extension of less than 1m in depth, to provide an enhanced kitchen dining experience to the rear of the property.
- 3.26 Refuse and recycling bin storage plus secure cycle storage provisions will be maintained within the front and back gardens, in accordance with the dwellings approved Planning conditions. In an effort to mitigate the impact of the existing hard landscape areas, this application seeks to retain all existing hard landscaping as permeable paving, with no alterations as proposed.
- 3.27 Policy DMHB 12: Streets and Public Realm, states that: *A) Development should be well integrated with the surrounding area and accessible.*

#### **Appraisal**

- 3.28 This development, seeks to enhance the existing family dwelling, whilst ensuring that the public realm design, has taken account of the established townscape character and quality of the surrounding area. This proposal maintains the existing landscaping treatment for both the front and rear garden areas, which have been confirmed as part of the approval for the erection of this dwelling, to be suitable for this location. These spaces serve the purpose for a family dwelling and contribute to local green infrastructure. Their appearance within this primarily residential area, ensure ease of movement through the space.
- 3.29 Policy DMHB 14: Trees and Landscaping, states that *A) All developments will be expected to retain or enhance existing landscaping, trees, biodiversity or other natural features of merit.*

#### **Appraisal**

- 3.30 This development seeks to retain and or enhance existing landscaping, trees, biodiversity, currently on site.

3.31 Policy DMHB 16: Housing Standards, states that *All housing development should have an adequate provision of internal space in order to provide an appropriate living environment. To achieve this all residential development or conversions should:*

*i) meet or exceed most up to date internal space standards, as set out in Table 5.1.*

#### **Appraisal**

3.32 The Councils Policies on Housing standards goes on to state that in order to provide for the privacy of household members and to alleviate future potential for overcrowding, new family homes (3+ bedrooms) should include at least two separate living areas, one of which might be a kitchen/dining room, in addition to the requisite number of bedrooms and other facilities.

3.33 In accordance with these Housing Standard policies, this application seeks to maintain this family home with the requisite room sizes to meet these policies, plus those advocated within the London Plan 2021.

3.34 The minimum Gross Internal Area (GIA) of a five-bed home, arranged over three levels, would be 134sq.m. This proposal exceeds this minimum floor area.

3.35 Policy DMHB 18: Private Outdoor Amenity Space states that *A) All new residential development and conversions will be required to provide good quality and useable private outdoor amenity space. Amenity space should be provided in accordance with the standards set out in Table 5.3.*

#### **Appraisal**

3.36 The policy goes on to state that Private outdoor amenity space will be required to be well located, well designed and usable for the private enjoyment of the occupier. This requirement has been met and exceeded.

3.37 In assessing the quality of all amenity space in development proposals, whether individual or communal, consideration will be given to the shape and position and whether the layout has regard to matters such as daylight and sunlight, noise, enclosure and privacy. This requirement has been met and exceeded.

3.38 The policy advises that outdoor amenity space will be required to provide an appropriate mix of hard and soft landscaping, including grass, shrubs and trees and that front boundary treatment will be required to respect the character of the streetscene. This requirement has therefore been met and exceeded.

#### HILLINGDON DESIGN & ACCESSIBILITY STATEMENT (HDAS) SUPPLEMENTARY PLANNING DOCUMENT RESIDENTIAL EXTENSIONS (ADOPTED - DEC 2008)

3.39 Hillingdon's Design & Accessibility Statement, advises that rear extensions at first floor level, which provide additional bedrooms or other accommodation, have the potential to have a significant impact on adjacent properties. The Council will therefore consider proposals for two storey rear extensions in terms of their setting and with particular reference to their proximity to neighbouring houses.

3.40 Under General Principles - chapter 6.2, the guidance advises that *'Two storey rear or first floor rear extensions will only be allowed where there is no significant over-dominance, over-shadowing, loss of outlook and daylight. Any extensions at first floor level should not extend beyond a 45-degree line of sight taken from the nearest of the first floor window of any room of the neighbouring property'.*

#### **Appraisal**

3.41 The proposal has been designed to specifically address this aspect of the design, showing a compliant design that would not extend beyond a 45-degree line of sight taken from the nearest first floor window of the neighbouring 3 Burford Close. Due to the sites location at the start of the road, the boundary to the north, represents the rear garden boundary to the neighbouring properties on Woodstock Drive.

3.42 In relation to Depth, chapter 6.4 advises that an extension should always be designed so as to appear 'subordinate' to the original house. Rear extensions will only be allowed where there is no significant over-dominance, overshadowing, loss of outlook and daylight. In particular, the extension should not protrude out too far from the rear wall of the original house. The first floor should not extend beyond a 45 -degree angle; if this can be achieved then the maximum depths identified below can be applied, however, these should not be exceeded (the dimensions illustrated are external and include any overhanging roof guttering added to the rear wall of the extension):

#### **Appraisal**

3.43 The proposal has been designed to specifically address this aspect of the design, showing a compliant design that is subordinate to the host dwelling, showing a hipped roof design with a height set below the height of the host dwelling. Whilst the proposal would not extend beyond a 45-degree line of sight, no overshadowing, no loss of outlook and no daylight impacts, would be evident with the proposed design. Furthermore, whilst the host dwelling is detached, the depth of the first floor rear extension has been limited to 3m, to allow for the overhanging of the roof & guttering.

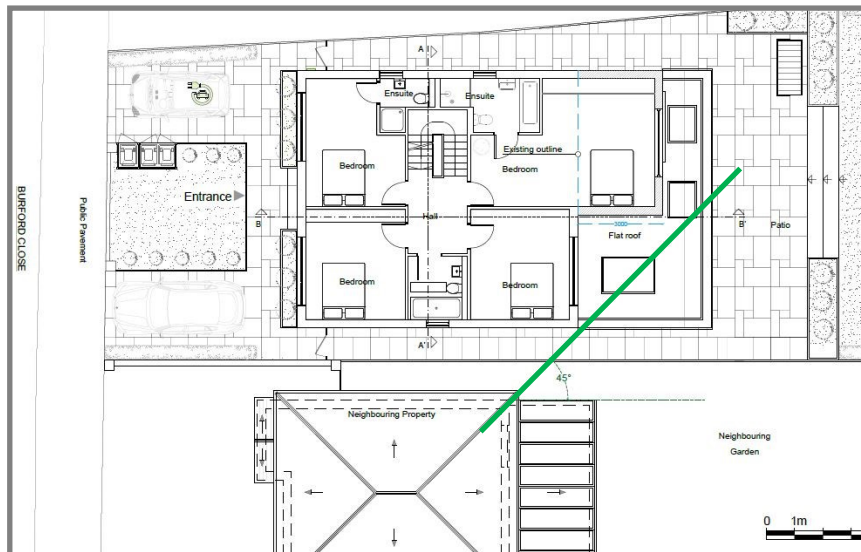


## 4.0 PLANNING CONSIDERATIONS

- 4.1 This Householder Planning application, proposes works to a detached two-storey single family dwelling, situated on the eastern side of Burford Close. Following approval for the erection of a new-build dwelling, granted by Hillingdon Council **Ref: 11752/APP/2021/4019**, in June 2022, the new-build dwelling, has now been constructed in brick with a clay tiled hipped roof, in line with this approval, however, works remain ongoing on site at the time of writing this statement.
- 4.2 This subsequent proposal now seeks to propose modest extension works to provide additional amenities for this family dwelling. This application therefore proposes works to include the erection of a single storey extension at ground floor level to a depth of 0.9m, across the width of the existing dwelling, the erection of a part width rear extension at first floor level, supporting a hipped roof over, plus the conversion of the existing roof void to habitable, to include a modest box dormer to the rear elevation as proposed.
- 4.3 This proposal seeks to demonstrate that the works now proposed, seek to ensure that the character and style of the immediate area would be maintained by these proposed works, allowing the host dwelling to provide for the needs of the applicant and his growing family. The proposed works are therefore considered to maintain the harmony and character of the existing streetscene and the surrounding neighbouring properties.
- 4.4 The existing dwelling, currently benefits from a single-storey rear projection, spanning the width of the host building, whilst supporting a flat roof over. As part of the proposed development works, this rear projection would be extended by just under 1m (0.95m) to enhance the usability of the open-plan kitchen dining room at ground floor level. These works would maintain the separation gaps to both side boundaries, in particular, to the nearest residential property, being the adjacent 3 Burford Close, whilst maintaining the existing changes in local land levels.
- 4.5 The proposed extension works would utilise matching materials to the host dwelling and neighbouring homes, through the use of matching facing brickwork to all elevations.
- 4.6 Minor internal changes have been proposed at ground, first and loft floor levels. Please refer to the plans attached, for full details as proposed, in accordance with Policy DMHB 16: Housing Standards.
- 4.7 At first floor level, dual aspect windows would be maintained in accordance with the consent for the host dwelling, with the existing Juliette style balcony, maintained to the rear of the proposed first floor projection, as shown on the attached plans.
- Ground Floor Rear Extension**
- 4.8 This aspect of the proposal, seeks to allow for the erection of a modest single storey rear extension, to a depth of 0.95m, across the width of the host dwelling. All brickwork detailing, has been designed to match the host dwelling.
- 4.9 The design of the existing patio doors would be retained and replicated on the rear elevation, allowing access out onto the existing rear patio as proposed. Roof lights over the rear extension would be maintained and repositioned as shown on the submitted plans, allowing for the works now proposed at first floor level.
- 4.10 The proposed single storey rear extension, would support a flat roof form, finished with a low parapet wall topped with a coping stone, respecting the character of similar rear extensions seen locally. Discrete flush fitting roof lights to the rear extension, allowing ample light into the host dwelling, have been proposed.
- First Floor Rear Extension**
- 4.11 This aspect of the proposal, seeks to create an extension at first floor level, set above the existing rear projection at ground floor level, supporting a hipped pitched roof over.
- 4.12 The first floor rear extension has been designed showing compliance with Hillingdon's Design and Accessibility Statement (HDAS) on two-storey rear first floor extensions. The proposal would therefore not extend beyond a 45-degree line of sight taken from the nearest first floor window of the neighbouring 3 Burford Close. Due to the sites location at the start of the road, the boundary to the north, represents the rear garden boundary to the neighbouring properties on Woodstock Drive.
- 4.13 The proposal has been designed to specifically address the requirements for a subordinate roof design, showing a proposal that is at a height set below the height of the host dwelling, therefore subordinate to the host dwelling. The rear extension would support a hipped roof design with matching clay tiles as proposed. Whilst the proposal would not extend beyond a 45-degree line of sight, no overshadowing, no loss of outlook and no daylight impacts, would be evident with the proposed design. Furthermore, whilst the host dwelling is detached, the depth of the first floor rear extension has been limited to 3m, to allow for the overhanging of the roof & guttering.
- 4.14 No additional windows are proposed to either side elevation of the proposed first floor rear extension, to protect the amenities of either neighbouring property. With regards to the impact to the character/appearance of the property, the proposed extension is limited to the rear elevation and therefore offers limited views from any public vantage point. The extension therefore respects topography of the street.

## 4.0 PLANNING CONSIDERATIONS

- 4.15 Given the location of the proposed rear extension, set on the far side of the host dwelling, away from the nearest neighbour at 3 Burford Close, the proposal is not considered to be harmful to the character and appearance of the host property. The location of the proposed windows and the retention of the existing Juliette style balcony as proposed, will not affect the privacy of the neighbouring sites. There are no direct views into any neighbouring living space as the proposed dwelling's orientation and layout, ensures the privacy of all occupants.
- 4.16 The property would maintain its orientation and separation distances. As such, the proposed development would not lead to any loss of views, outlook from, or light or privacy to No's 14, 16 and 18 Woodstock Drive.
- 4.17 The first floor rear elevation windows would provide views overlooking the host properties own rear garden amenity. The level of overlooking that would be achieved from these windows, is common of this residential area, as the first floor rear windows of most dwellings provide views into their neighbours gardens. The proposed rear dormer would provide similar, considered to be acceptable in this residential setting.
- 4.18 As shown in the image below, the proposed rear extension, has been designed to not dissect a line drawn at 45 degrees from the nearest corner of the adjacent No.3 Burford Close. These efforts have been taken to ensure that the proposed works, do not lead to any harmful loss of light or outlook from that property.



### Loft Conversion

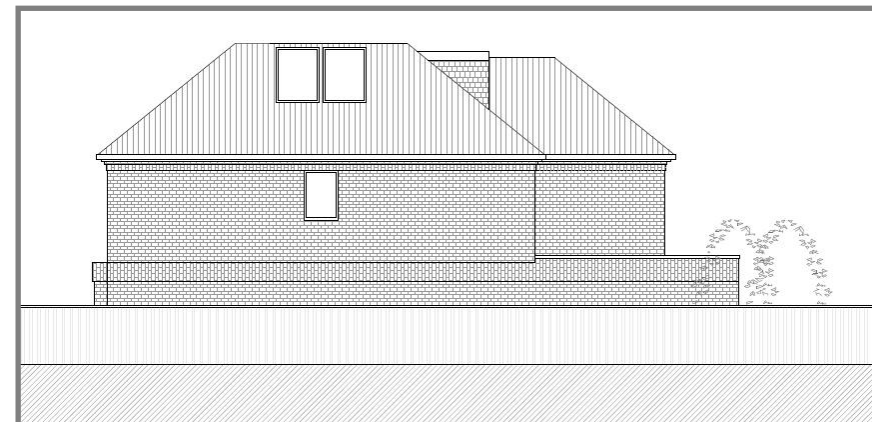
- 4.19 This element of the proposal, seeks consent for the conversion of the loft void to habitable floorspace, to facilitate an additional bedroom to cater for the needs of the applicants growing family. These works are proposed in conjunction with alterations to erect a modest rear dormer window and the installation of Velux style roof lights to the side elevations.
- 4.20 The extension works and alterations proposed to the existing dwellinghouse, have been designed to be in harmony with the character of the existing dwelling and its surrounding neighbouring properties. These characteristics include but are not limited to: the design of the dormer; height; and the materials employed.
- 4.21 The existing single family dwelling, currently benefits from a tiled pitched roof with an internal access hatch and ladder allows for access into the loft void, currently used for storage.
- 4.22 The proposed roof extension, would utilise matching materials, to afford a dormer extension, reminiscent of neighbouring roof level extensions.
- 4.23 Internal alterations to the layout of the property at first floor level, would be limited to the introduction of a secondary staircase up to roof level. No alterations are proposed to the ground floor level staircase. No alterations are proposed to the access requirements for this residential dwelling.
- 4.24 The rear dormer and side velux style roof lights will provide the required sunlight and ventilation to the proposed loft room and stairwell. The rear dormer will remain subservient to the ridge of the building ensuring that the addition does not dominate the roof-scape. Owing to reduced head height at loft level, the rear dormer would be subordinate in nature, showing a height set 0.3m below the height of the host dwelling. The proposed materials and window detailing, will complement the existing and surrounding buildings.
- 4.25 Two slim-line low-profile Velux style rooflights, have been proposed to either side elevation roof slope, to provide natural light and ventilation into the new bedroom space and the adjacent stairwell. These windows have been included to provide sunlight and ventilation to the new bedroom where required. The proposed roof lights will be flush with the pitch of the roof and are considered to not have a detrimental effect on the subject building or immediate environment.
- 4.26 With regards to the impact to the character and appearance of the property, the proposed dormer is of a size and scale which is considered to be subservient to the principal building.

## 4.0 PLANNING CONSIDERATIONS

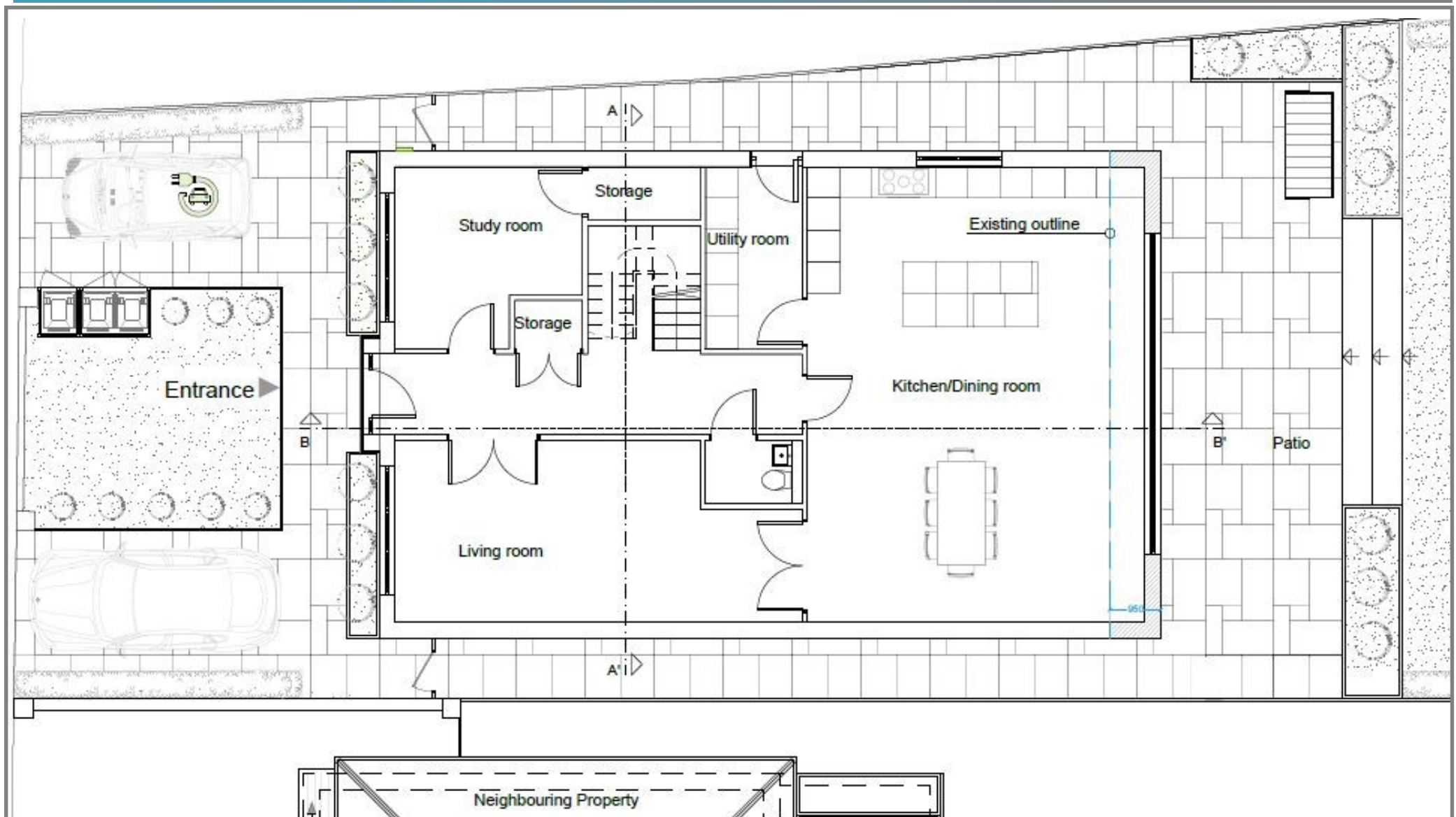
- 4.27 The design of the windows proposed to the rear dormer, have been designed to have a reasonable relationship in terms of size and style, in line with the Borough-Wide Supplementary Planning Guidance. This decision has been taken to ensure that the dormer, appears in keeping with the host dwelling and the neighbouring properties.
- 4.28 The proposed rear dormer window and rooflights are not considered harmful to the character and appearance of the property or locality. The roof lights to the side of the property will not project more than 150mm from the roof plane. The location of the proposed windows and roof-lights will not affect the privacy of the neighbouring sites. There are no direct views into any neighbouring living space as the proposed loft layout, ensures the privacy of all occupants.
- 4.29 The applicant asserts that the proposal is in keeping with the character of the area. The materials used to construct the rear dormer will match the existing materials on site.
- 4.30 No additional residential units are proposed on the site. The existing family dwelling is to be modified for the sole use of the applicant and his family.
- 4.31 The property being a private dwelling provides no public space. The position and orientation of the property remains unaffected within the site.
- 4.32 There will be a less than minor effect created by the proposal on the immediate and surrounding environment. The rear dormer will not exceed the ridge line of the house, with the dormer, set 300mm below the ridge line and set up in excess of 1m from the eaves line. In addition, the dormer has been set in from the side elevations thus decreasing any perceived bulk and or dominance effect. The scale of the rear dormer is therefore considered to be subordinate to the dwelling and similar to the development at a number of properties along the street, therefore ensuring that the character of the area is not affected.
- 4.33 The proposed loft conversion will utilize matching materials where possible which will compliment and support those employed within the existing property and the local area.
- 4.34 With regards to the Impacts to Neighbouring Amenity, the number and size of the proposed roof lights will not dominate the roof plane. The proposed rear dormer is not considered to have a significant impact to the amenity of neighbouring occupiers because it will not obstruct the light or outlook of neighbouring habitable room windows; nor is it considered to have a significant impact to neighbouring privacy.



**Above:** Proposed Rear Elevation - **Below:** Southern Side Elevation



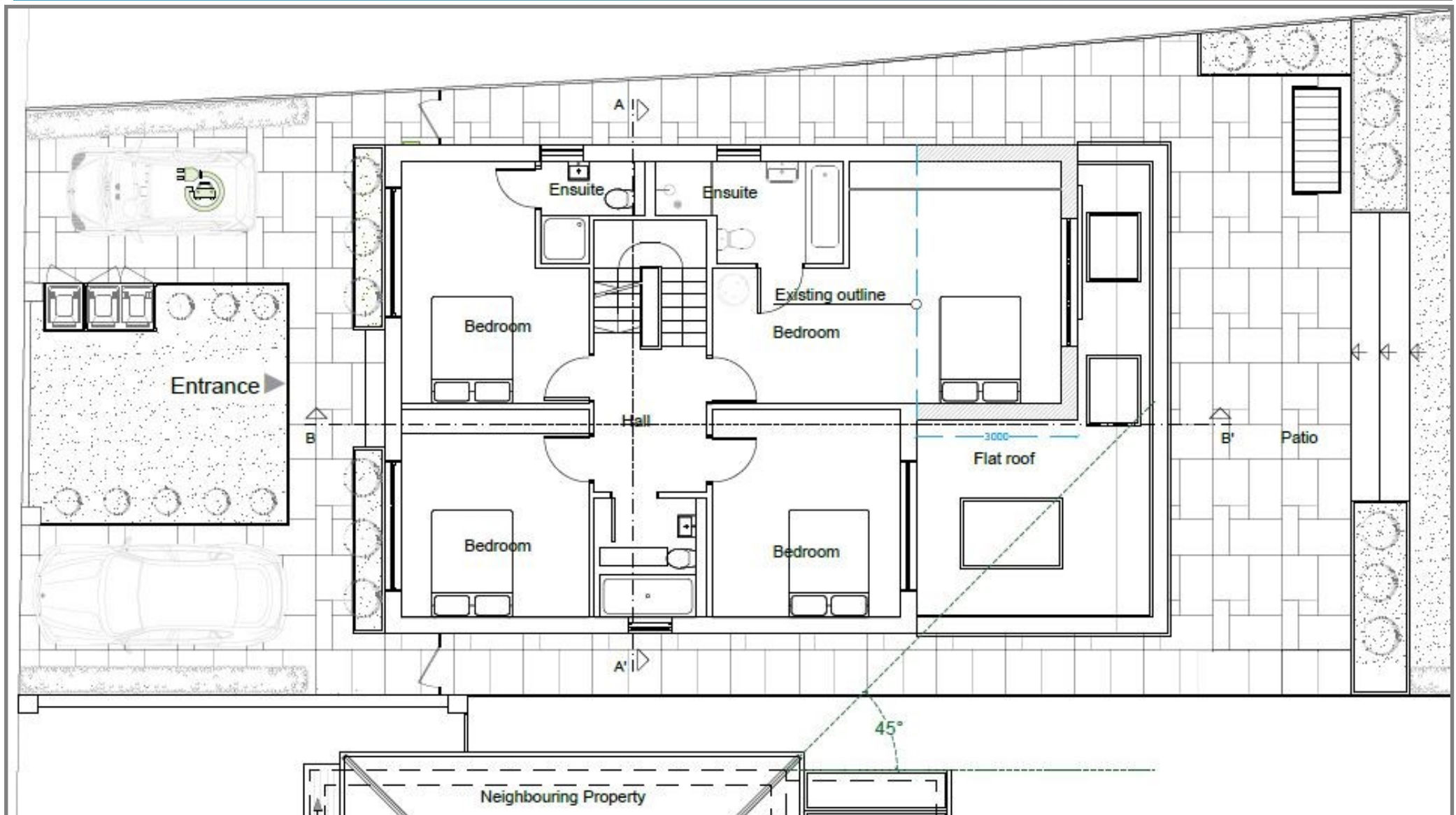
# FLOORPLAN AS PROPOSED



***Proposed Ground Floor Plan***



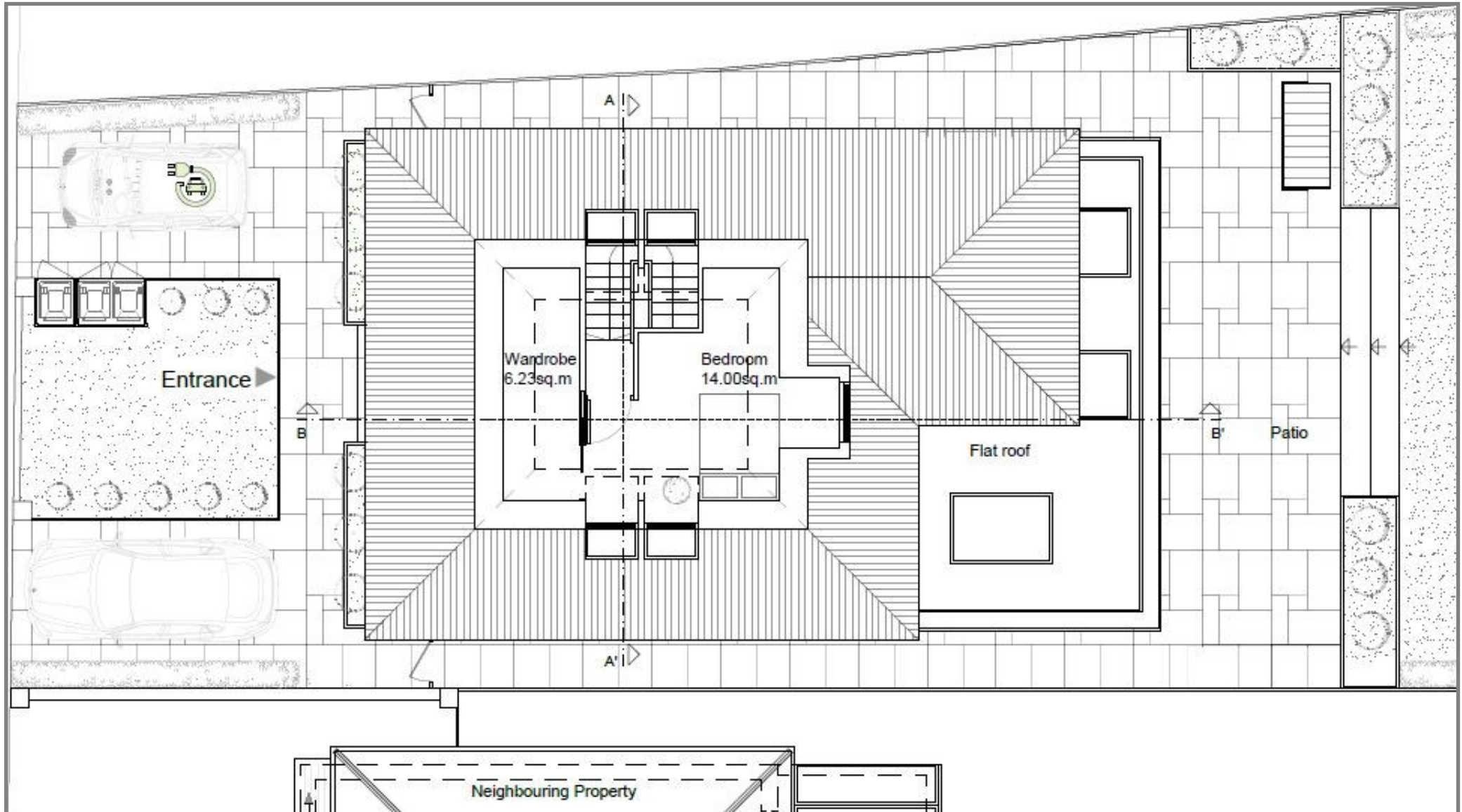
# FLOORPLAN AS PROPOSED



**Proposed First Floor Plan**



## FLOORPLAN AS PROPOSED



**Proposed Loft Floor Plan**

## 5.0 CONCLUSION

- 5.1 This Householder Planning application, proposes works to a detached two-storey single family dwelling, situated on the eastern side of Burford Close. Following approval for the erection of a new-build dwelling, granted by Hillingdon Council **Ref: 11752/APP/2021/4019**, in June 2022, the new-build dwelling has now been constructed in line with this approval, however, works remain ongoing on site at the time of writing this statement.
- 5.2 This subsequent proposal now seeks to propose modest extension works to provide additional amenities for this family dwelling. This application therefore proposes works to include the erection of a single storey extension at ground floor level to a depth of 0.9m, across the width of the existing dwelling, the erection of a part width rear extension at first floor level, supporting a hipped roof over, plus the conversion of the existing roof void to habitable, to include a modest box dormer to the rear plus side elevation roof lights as proposed at 1 Burford Close, Ickenham, Uxbridge, UB10 8EH.
- 5.3 This application has sought to respond to the character of the street scene and the local distinctiveness with properties being individually designed and generally set beneath hipped roof forms. This application, respects this distinctiveness, whilst providing a suitable and modest addition, to an existing family dwelling.
- 5.4 Vehicular parking to the front of the site would not be affected by the proposed development works. Provision for refuse and recycling provision, would not be affected by the proposed development works. The proposal has been designed to reflect character of the area and is considered to harmonise with the architectural composition of the adjoining properties, incorporating matching materials throughout. This proposal is therefore considered to be in keeping with the character, appearance and visual amenities of the street scene and the surrounding area. It is the applicants assertion that the proposal would be compliant with Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies DMHB 11 and DMHB 12 of the Hillingdon Local Plan: Part Two - Development Management Policies (2020) and the Policies outlined within the London Plan.
- 5.5 This application has shown how the proposed family dwelling, can be successfully enhanced whilst preventing any harm to the amenities of the nearest adjacent residential dwellings. It is therefore considered that this application does not contravene any local Plan policies within Hillingdon Borough Council's Local Plan or the guidance contained within the Borough-wide Supplementary Planning Documents and should therefore be granted consent.
- 5.6 Based on the above statement it is clear that the development will have no adverse effect on the natural or built environment.
- 5.7 The proposal is commended to the Council for approval subject to such conditions as may be appropriate in the circumstances.