



DAVID MANSOOR CONSULTANTS

*1 Burford Close,
Ickenham, Uxbridge,
UB10 8EH*

Specification Method Statement

1 BURFORD CLOSE, ICKENHAM, UXBRIDGE, UB10 8EH

Discharge of Conditions
Application

July 2022

Discharge of Condition Nine (9) Landscape Scheme

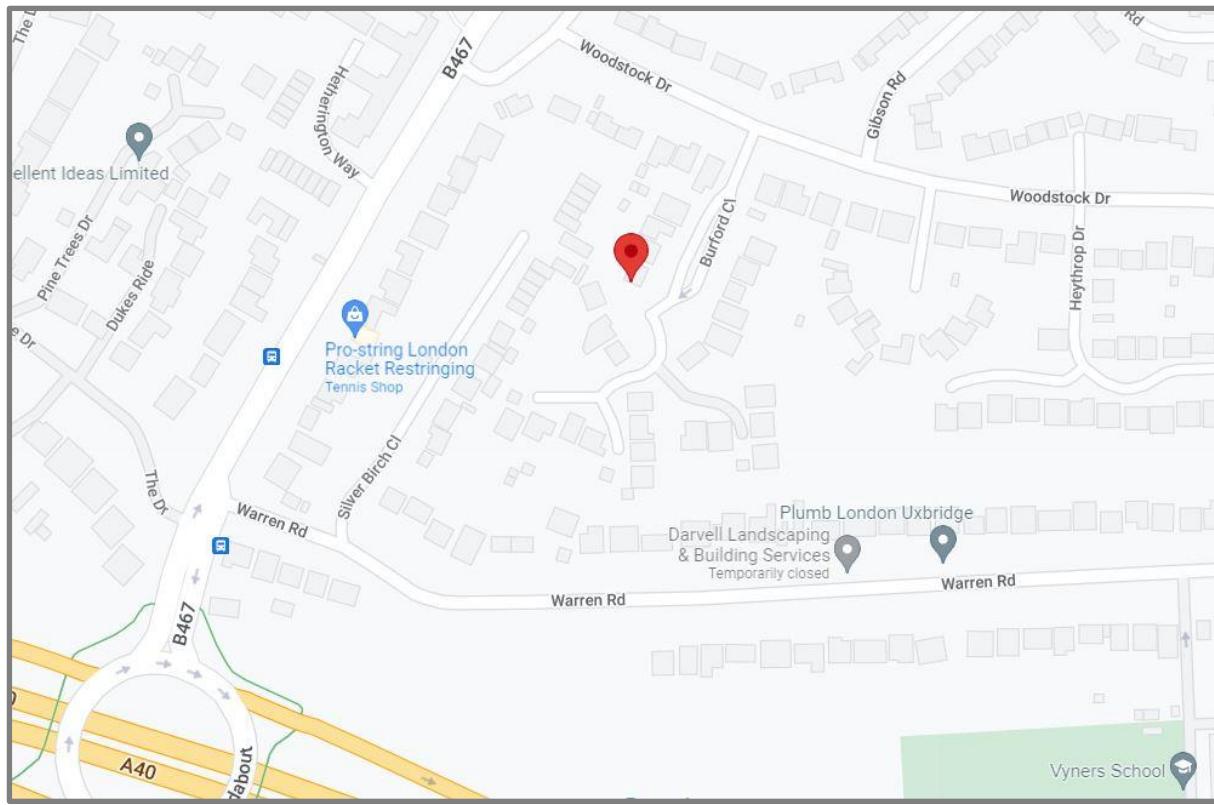


Fig. 1: Map of the local area

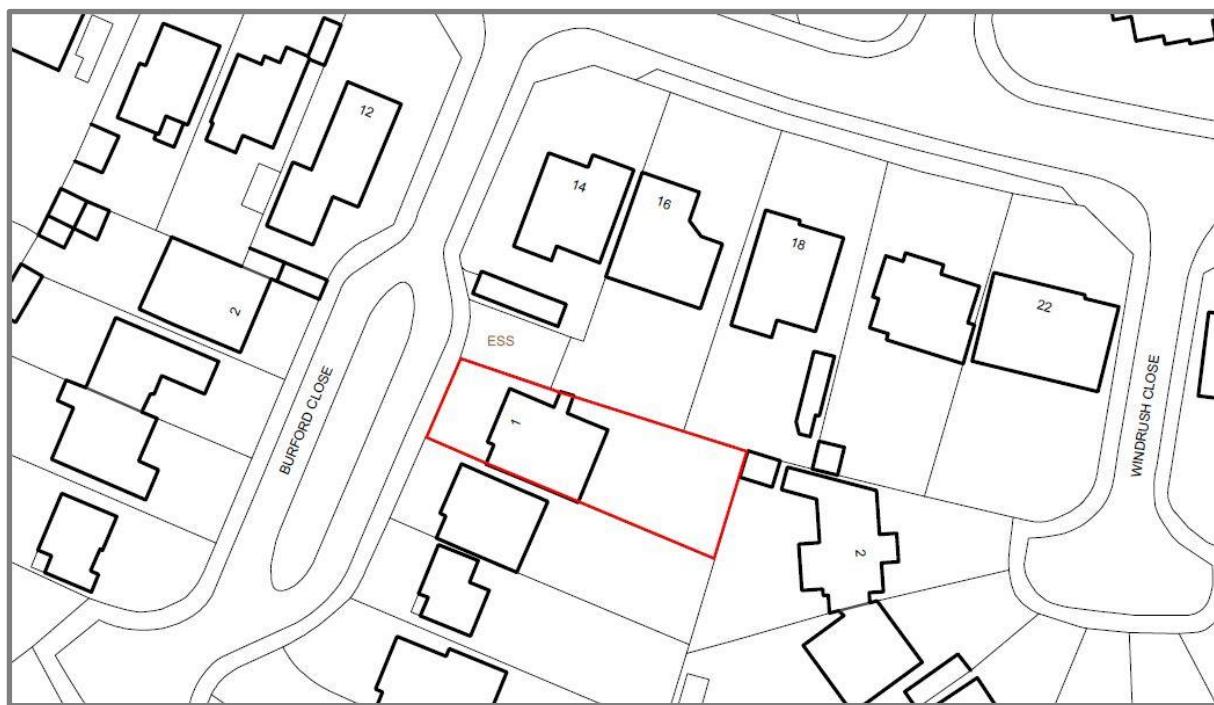


Fig. 2: Proposed Site Location Map - 1 Burford Close, Ickenham, Uxbridge, UB10 8EH

Method Statement

Location: 1 Burford Close, Ickenham, Uxbridge, UB10 8EH

Brief description of works: Demolition of the existing bungalow and erection of 1 no. detached dwellinghouse with associated parking, landscaping, refuse and cycle storage

Method Statement:

Reference to these works, should be made to Condition 9 [1.b] (Landscape Scheme), pursuant of planning permission Granted by Hillingdon Council - **Ref: 11752/APP/2021/4019** for '**Demolition of the existing bungalow and erection of 1 no. detached dwellinghouse with associated parking, landscaping, refuse and cycle storage.**

By providing this information, the applicant looks to assist in addressing the requirements of Condition 9 (1.b) '*Written specifications of planting and cultivation works to be undertaken*' for the development at 1 Burford Close, Ickenham, by outlining the key elements in relation to the preservation and protection of the trees in close proximity to the development site. This report, should be read in conjunction with the attached **Landscape Implementation, Maintenance and Management Plan**, submitted as part of the written specification.

These works will also be in line with the British Standard 5837 (Trees in relation to design, demolition and construction).

Areas of concern for the common damage to trees during development are;

- Abrasion of bark and wounds that leave wood tissue exposed
- Crushing of roots by vehicles/plant equipment and/or storage of materials
- Severing and removal of roots by excavation
- Broken branches leaving wood tissue exposed
- Poisoning of roots from spillage or storage of fuel, oil, chemicals and any other potentially noxious materials
- Changes in soil levels around trees resulting in root death
- Installation of impermeable surfaces

The part of the tree most susceptible to damage is the root system because the roots cannot be seen and their extent is not realized.

Therefore, where required, an arboricultural report would identify various Root Protection measures within their Method Statement and Procedures for Development Works.

Tree Pruning:

With regards to Tree Pruning required as a result of the proposed construction works, details of any tree pruning where required, will be submitted for approval, before any works are carried out. Consideration for a separate application for tree works, will be specified for the following reasons:

- Where work is necessary to implement the approved scheme.
- Where works are required for safety reasons.
- Where work is required to improve tree form, or improve the appearance of overgrown areas of the site.

From a review of the existing trees on site/neighbouring sites and considering the scope of the works proposed, no pruning of the any Trees is expected. Where any tree works are needed, these works will be carried out in accordance with BS-3998:2010 (Tree Work - Recommendations).

The Extract from BS5837, entitled **Temporary Protective Fencing**, outlines the British Standard temporary tree protection method, to be employed in instances where trees are to be protected, during development works.

Tree Protection Barriers:

Arboricultural Specialists advise in relation to Tree Protection and maintenance matters, 'It is essential for the future health of the trees to be retained on site, that all development activity is undertaken outside the root protection zone of these trees, whenever this is practical. The position of the fence is to be marked out with biodegradable marker paint on site and agreed with appropriate representatives and the contractor. The fencing will be erected prior to any works in the vicinity of the trees and removed only when all development activity is complete. The protective fencing will be as (or similar and fit for purpose) that shown in BS 5837. The Fence must be marked with a clear sign reading":

"Construction Exclusion Zone – No Access".

Where the working zones are located within the RPA's of retained trees, temporary ground protection will be used to prevent soil compaction or damage to existing roots.

During construction operations, the site compound will be situated within an area of existing hard standing that does not encroach within any RPA of the existing trees on site. With the use of protective fencing and temporary ground protection as noted above, where areas of existing hard standing are absent, the adjacent trees can be successfully protected. Access routes to the development area would be direct from the public pavement to the front of the site and would therefore not need to be delineated and would not come into contact with the retained Trees, which are located to the rear of the site. Please refer to the attached Proposed Landscape Plan - Ref: BRFRD-D305 - Proposed Landscape Plan, delineating the existing trees on site. The development has been designed to avoid the RPA and crown spread of all retained trees.

Boundary Treatments:

No boundary treatments are proposed that will impact retained trees.

All Root Protection Areas (RPA) along with the stipulated Tree Protection Zone (TPZ) will be adhered to in order that the works as approved, will be carried out in a safe manor.

Hard Landscaping:

As shown on the attached Proposed Landscaping Plan - Ref: BRFRD-D305, submitted with this application for the Discharge of this Condition, appropriate hard landscape materials have been proposed to include Drivesett Tegula Priora - permeable Block Paving by Marshalls, in a Pennant Gray colour for the proposed driveway, side access path and the rear patio space plus Gray Sandstone Steps provided by Rock Unique, for the steps down to garden level.

This application proposes these materials as they are considered to be industry standard and high quality, durable and long lasting, whilst being permeable to aid in sustainable drainage etc. These paving materials would be used to treat the driveway space, foot path and patio areas around the host dwelling as proposed.

Soft Landscaping:

This application proposes a variety of soft landscape plantings to treat the front forecourt driveway and rear garden areas to include the placement of two new trees to the site, plus various plants and shrubs.

Please refer to Drawing Ref: BRFRD-D305 - Proposed Landscape Plan, which includes the Planting Plans, identifying the two proposed trees to be introduced as part of this proposal. Proposed Trees include T3 & T4 (Sorbus Aucuparia) or commonly known as a Rowan Tree.

This application proposes the placement of two new trees on site as part of the soft landscaping works. It is proposed that both trees will support a minimum of 12-14cm girth and to a height of 2.5m at the time of placement.

The Proposed plants and shrubs will include multi-purpose grass turf, alongside a selection of Peonies, Nepeta Perennials and Star Jasmine (*Trachelospermum Jasminoides*). Furthermore, this application seeks to retain the existing Privet hedges that border the main rear garden space, with the introduction of additional Privet hedges (*Ligustrum*) to the front driveway, to complete this element of the proposal.

Landscape Aftercare:

To assist with the longevity of the proposed trees & flower beds, composted woodchip mulch will be added around the base of the plantings to reduce water loss and weed growth.

Mulching – the addition of a one metre diameter circle around the tree, free of grass and weeds, used to ensure the establishment of the tree. This mulching will help to retain soil moisture and reduce evaporative losses as well as suppressing weed growth and making maintenance easier. Mulching will ensure mowers and strimmers will be kept away from the base of the tree which can cause severe damage to soft young bark. Mulch with composted or raw wood chippings, bark or PAS100 green-waste compost. Mulch will be installed to a depth of 50-75mm, with a reduced mulch depth immediately adjacent to the tree trunk, to allow air to circulate. All efforts will be taken to keeping the bark dry to reduce risk of fungal infections.

The proposed soft landscape works will include the use of high-quality soil to allow for root-spread and growth to occur below built surfaces, particularly for trees.

In addition, staking will be used to support the trees and shrubs along with the introduction of watering tubes for added ease of irrigation. Regular maintenance of the trees following planting, will ensure the removal of guys, ties and stakes once the trees and shrubs have established themselves.

Maintenance Statement:

It is important to give the trees and shrubs the best possible start. As such, all planted areas will be kept weed free with a circle around the tree for a minimum of 2 years as grasses and herbaceous plants are far more effective at getting moisture from the soil than woody plants. Efforts will be taken to maintain a 1 metre diameter weed free circle, free from the use of mowing machines.

All newly planted trees to benefit from inspections at 6 monthly intervals to:

- a) firm up any root rocking;
- b) check for excessive tightening of tree supports;
- c) Security of tree stakes while required; etc.
- d) Ensure strimmer guards are still holding (if employed)

To complete the soft landscaping, this application proposes an area to be detailed with amenity turf (Rolawn Medallion exterior multi-purpose turf grass by Travis Perkins) as shown on the attached landscape plan.

This Statement, should be read in conjunction with the attached **Landscape Implementation, Maintenance and Management Plan**, submitted as part of this written specification.

Re-establishment:

The applicant is committed to ensuring that the proposed landscape works establish themselves over the years following their installation to the site. The applicant will 'If, within a period of five years from the date of the planting or establishment of any tree, or shrub or plant, that tree, shrub, or plant or any replacement is removed, uprooted or destroyed or dies or becomes seriously damaged or defective, another tree or shrub, or plant of the same species and size as that originally planted, shall be planted at the same place, unless the Local Planning Authority gives its written consent to any variation.'

Standards:

All tree work to be undertaken in accordance with standards set out in the British Standard BS 3998:2010.

Conclusion:

David Mansoor Consultants have provided a Maintenance Strategy and Landscaping Scheme that outline the landscaping details, in accordance with the requirements of Condition 9 (1.b). This Written specification & Maintenance Strategy, details that the planting of the trees, shrubs and herbaceous plantings will take place during the first year of occupation. Furthermore, in accordance with Condition 9 (1.b), this Maintenance Strategy states that any trees, shrub or planting that die, will be replaced during the next available planting season.

A scheme of hard and soft landscaping (Ref: BRFRD-D305), submitted alongside this application, illustrates details of the proposed tree and shrub planting, as well as the positions of where they will be planted within the site.

In light of the above information, we trust that Condition 9 (1.b) can be fully discharged in relation to the site. We trust these documents are sufficient for you to confirm your approval and we look forward to hearing from you in this regard. Additional hard copies of the above documents can be provided upon request.

To comply with the requirements of this condition, it is considered that the Written specification of planting and cultivation works to be undertaken, have been suitably designed in accordance with council policy on plantings and streetscape appearance. As such, the attached plan is considered to comply with guidance.