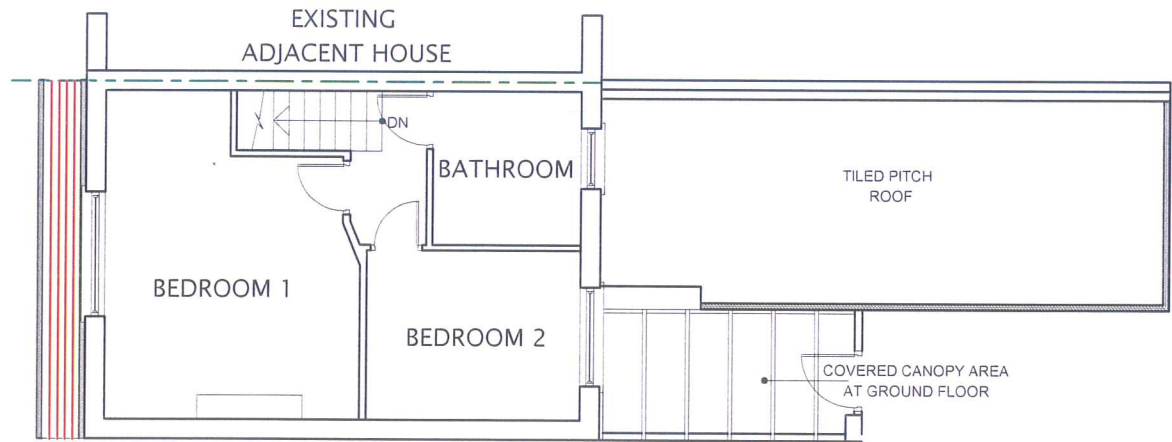
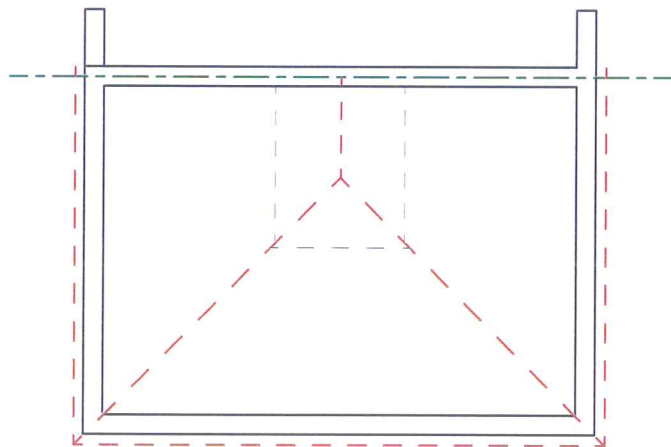


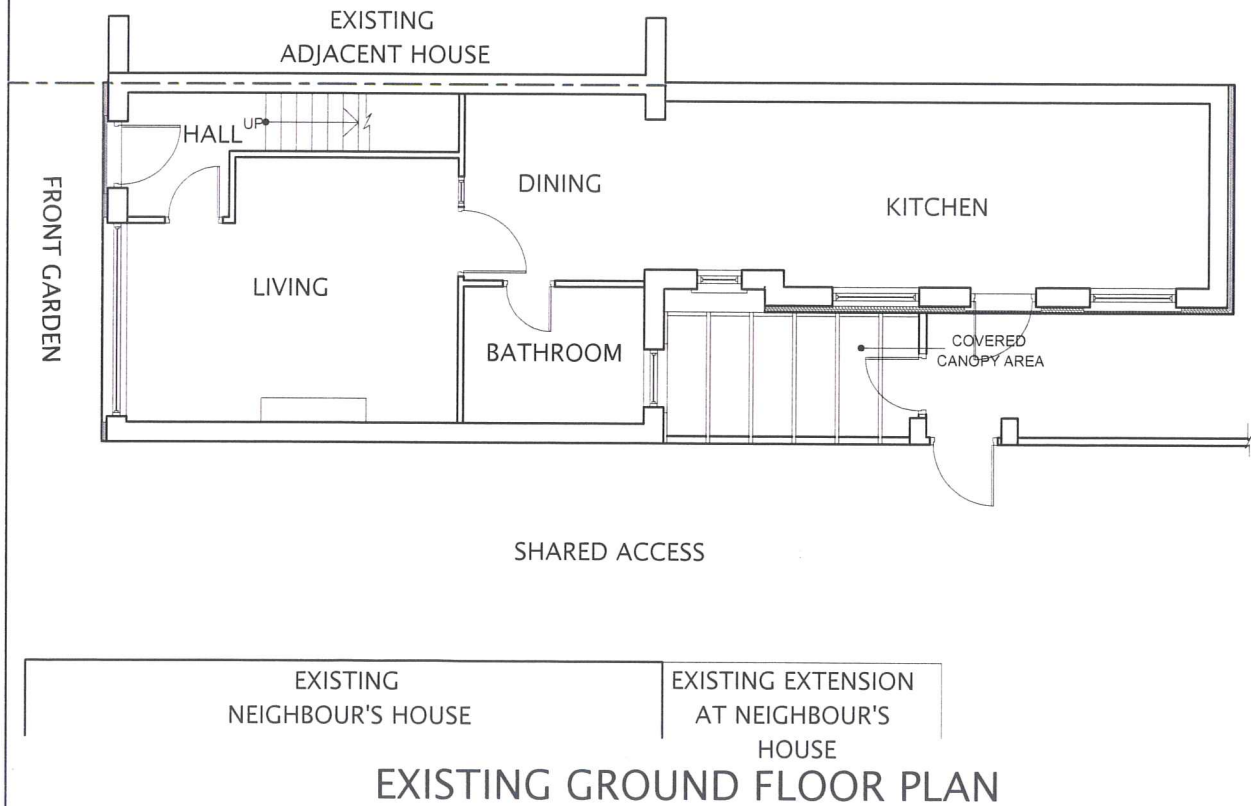
EXISTING BLOCK PLAN (SCALE 1:200)



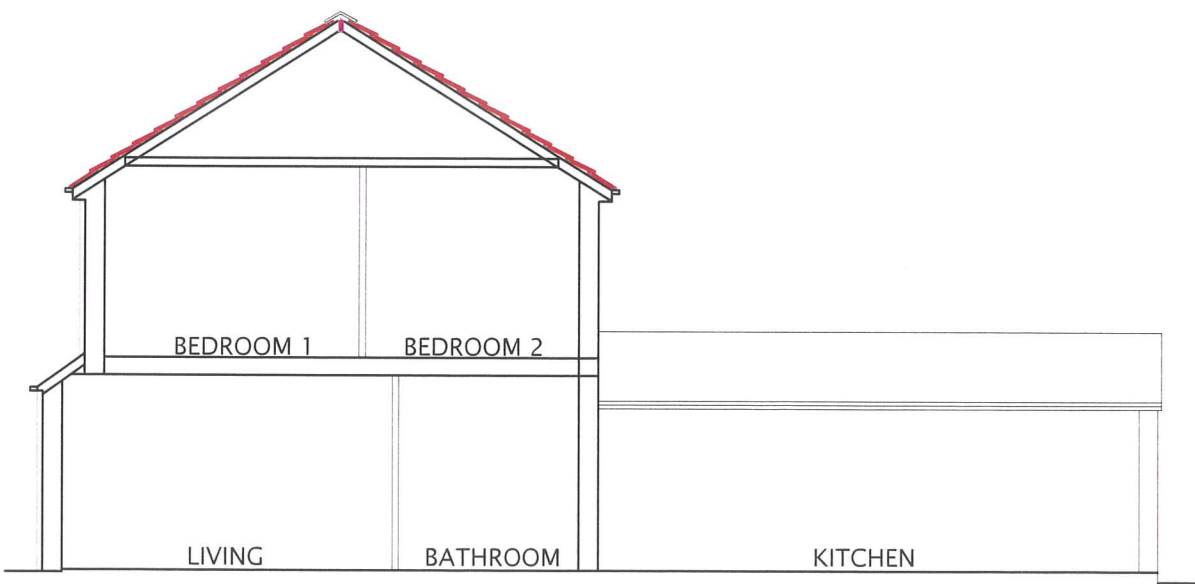
EXISTING FIRST FLOOR PLAN



EXISTING LOFT FLOOR PLAN



EXISTING GROUND FLOOR PLAN



EXISTING SECTION

All dimensions verified on site.  
All work to comply with British Standards, Code of practice.  
All internal works to be in accordance with client instructions.  
All external surfaces to match existing.  
All work to be to the satisfaction of the local authority-building surveyor.  
Builder to serve building notice and comply fully in all respects.  
Owner responsible for compliance with 1.Party Wall etc Act 1996. 2. Thames water Build Over Agreement.  
Builder to ensure all work in compliance with Build Over agreement as approved by

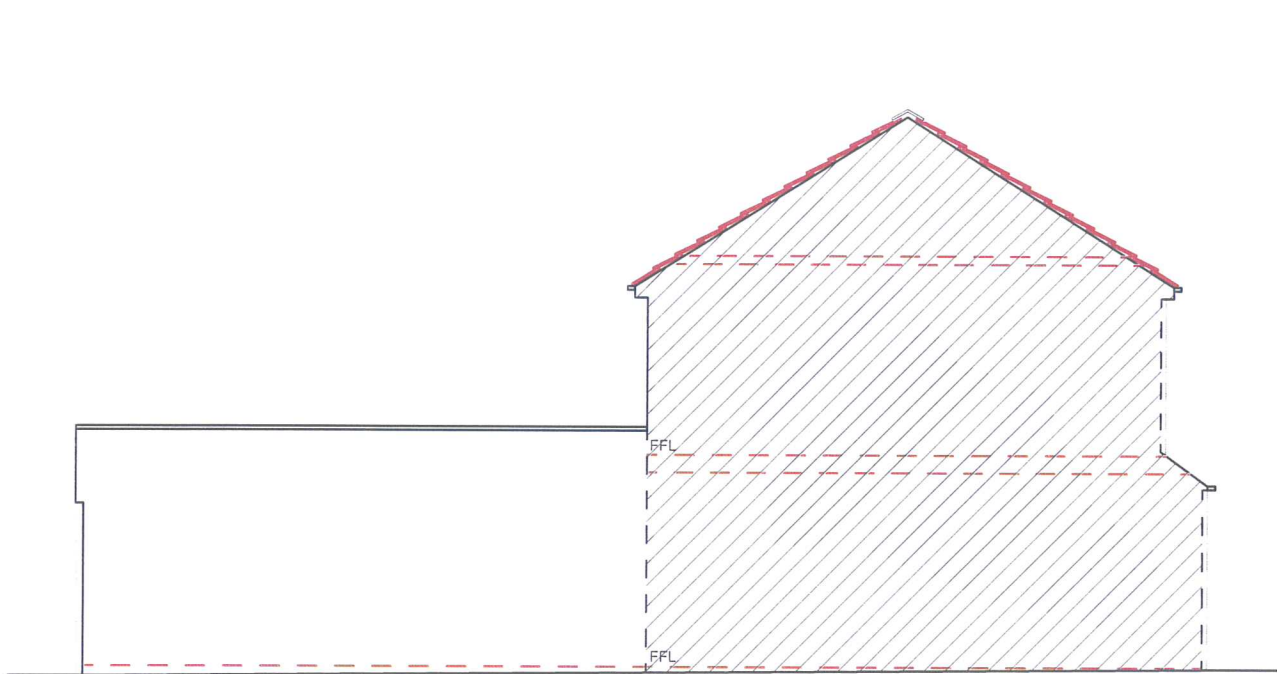
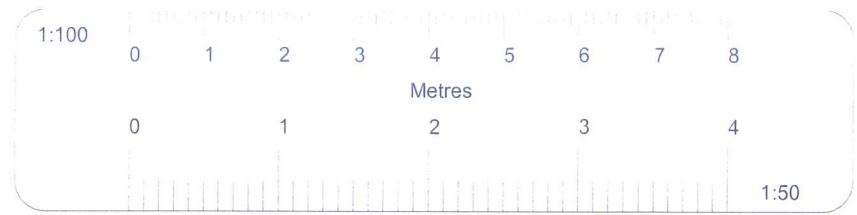
Thames Water  
All proprietary materials to manufacturers recommendations  
Works to boiler/Gas to be carried out by Gas Safe registered installer and to Gas Safe recommendations

All wiring and electrical work will be designed, installed, inspected and tested in accordance with the requirements of BS 7671:2001 (2004), the 17th edition Wiring Guidance and Building Regulation Part P (Electrical Safety) by a competent person registered with an electrical self-certification scheme, (BRE, BSI, ELECSA, NAPIT, or NICEIC), authorised by the Secretary of State

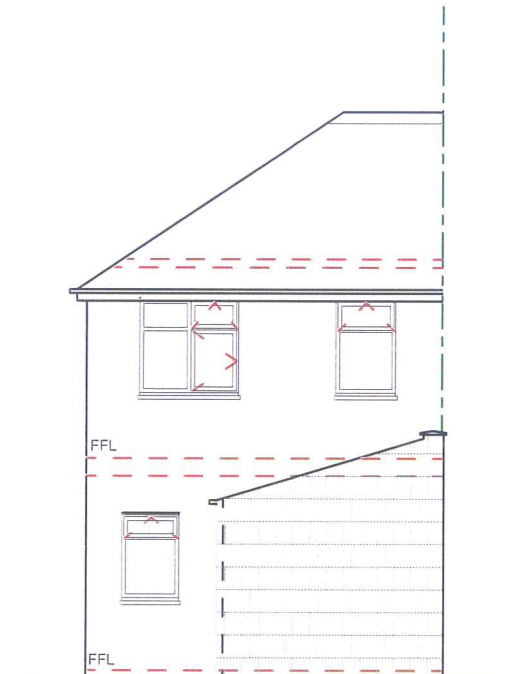
The competent person is to send a self-certification certificate to the Local Authority Building Control Department within 30 days of completion of the electrical works. The client must receive both a copy of the self-certification certificate and a BS 7671:2001 (2004) Electrical Installation Test Certificate and forward copies to the Local Authority Building Control Dept.

These drawings for planning permission purposes only. Owner to ensure all works remain within boundary/curtilage of site.

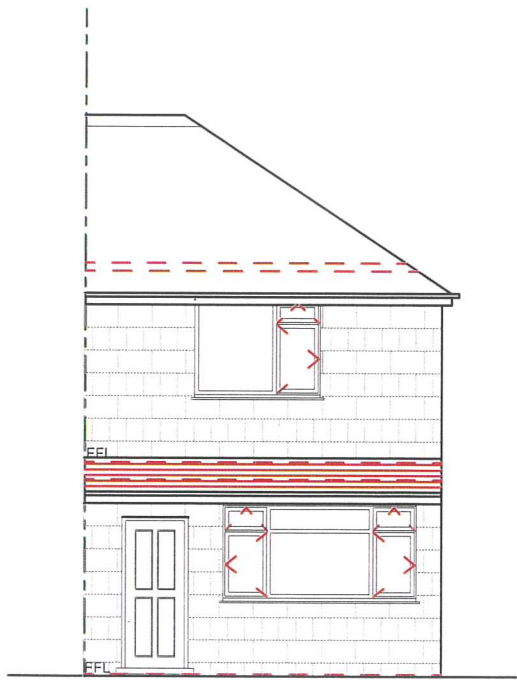
	DATE	REVISION
COPYRIGHT:		
JOB TITLE: 47 WARWICK CRESCENT HAYES		
DRAWING TITLE: EXISTING GROUND FLOOR PLAN, FIRST FLOOR PLAN, LOFT PLAN, BLOCK PLAN AND SECTION		
SCALE : 1:100		
DATE: 13-05-2025		DRAWN BY:
DRG. NO. 2025/47/WCH/1001	REV.	



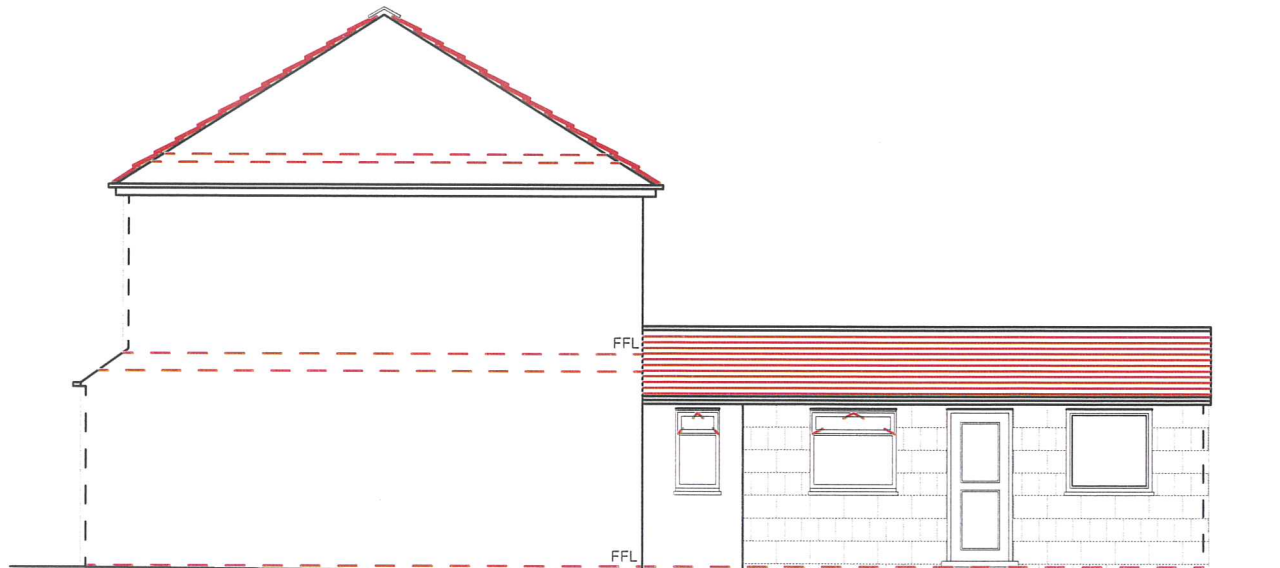
EXISTING LEFT SIDE ELEVATION



EXISTING REAR ELEVATION



EXISTING FRONT ELEVATION



EXISTING RIGHT SIDE ELEVATION

All dimensions verified on site.  
All work to comply with British Standards, Code of practice.  
All internal works to be in accordance with client instructions.  
All external surfaces to match existing.  
All work to be to the satisfaction of the local authority-building surveyor.  
Builder to serve building notice and comply fully in all respects.  
Owner responsible for compliance with 1.Party Wall etc Act 1996. 2. Thames water Build Over Agreement.  
Builder to ensure all work in compliance with Build Over agreement as approved by

Thames Water  
All proprietary materials to manufacturers recommendations  
Works to boiler/Gas to be carried out by Gas Safe registered installer and to Gas Safe recommendations

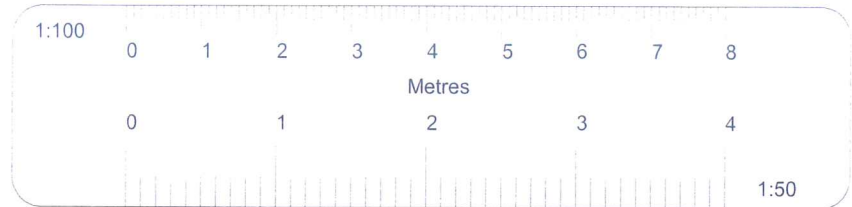
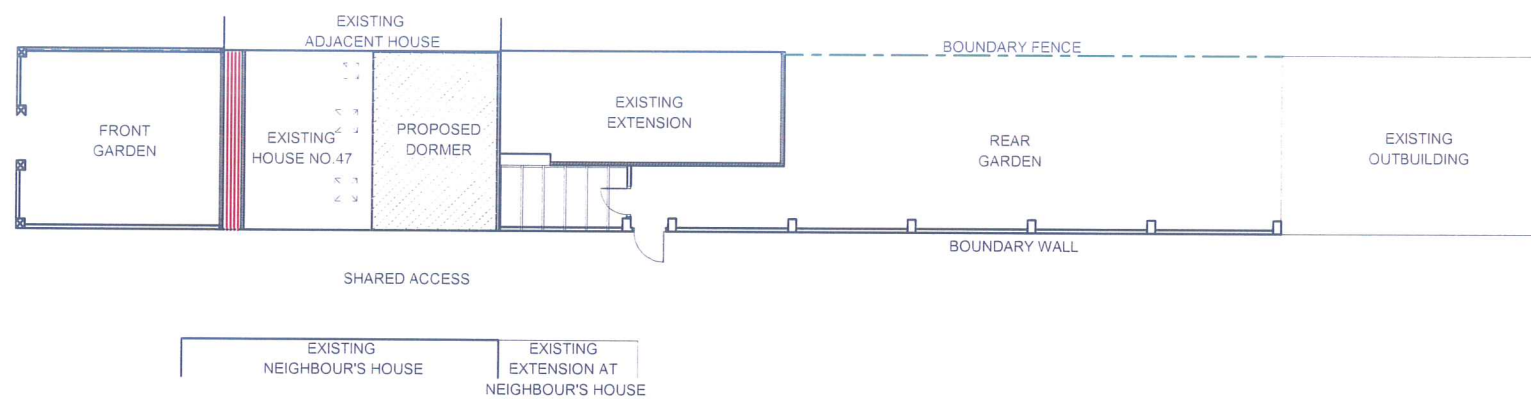
All wiring and electrical work will be designed, installed, inspected and tested in accordance with the requirements of BS 7671:2001 (2004), the 17th edition Wiring Guidance and Building Regulation Part P (Electrical Safety) by a competent person registered with an electrical self-certification scheme, (BRE, BSI, ELECSA, NAPIT, or NICEIC), authorised by the Secretary of State

The competent person is to send a self-certification certificate to the Local Authority Building Control Departement within 30 days of completion of the electrical works. The client must receive both a copy of the self-certification certificate and a BS 7671:2001 (2004) Electrical Installation Test Certificate and forward copies to the Local Authority Building Control Dept.

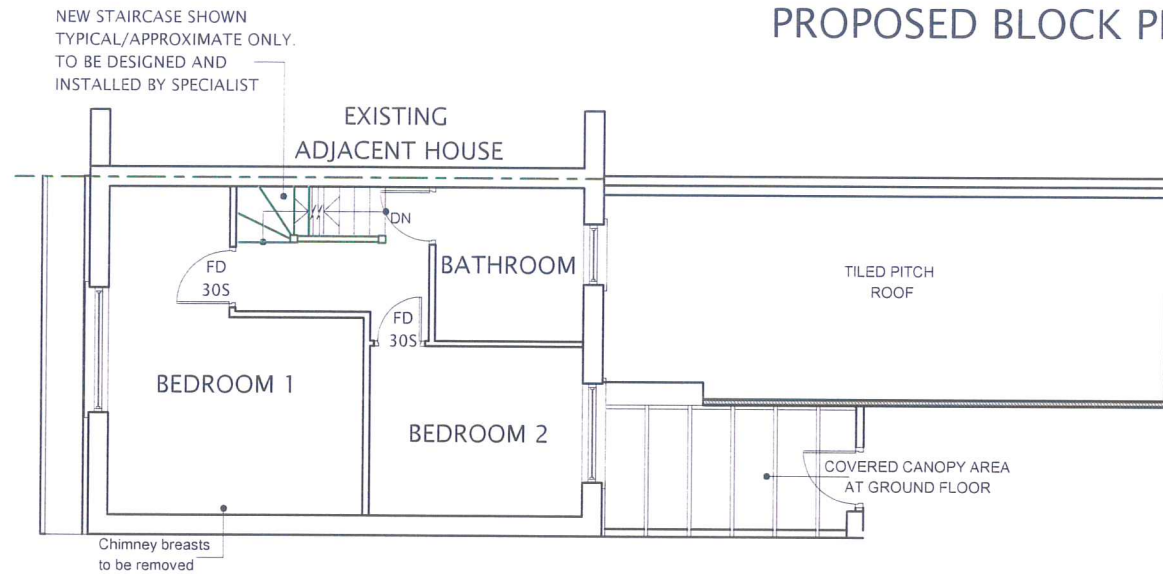
These drawings for planning permission purposes only. Owner to ensure all works remain within boundary/curtlage of site.

	DATE	REVISION
COPYRIGHT:		
JOB TITLE: 47 WARWICK CRESCENT HAYES		
DRAWING TITLE: EXISTING ELEVATIONS		
SCALE : 1:100		
DATE: 13-05-2025		DRAWN BY:
DRG. NO. 2025/47/WCH/1002		REV.

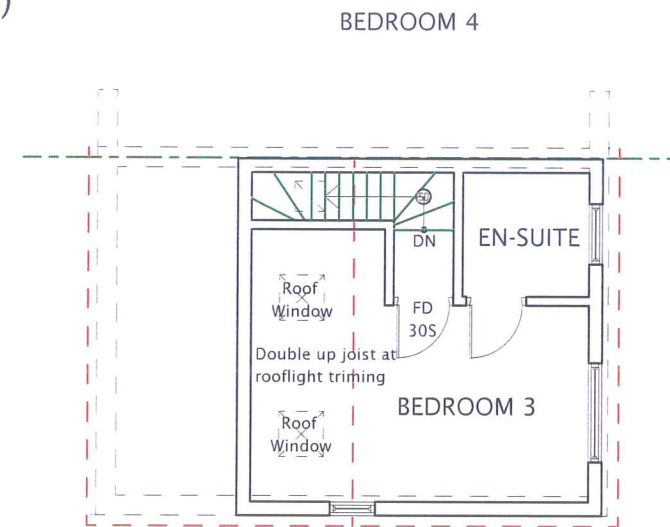




PROPOSED BLOCK PLAN (SCALE 1:200)

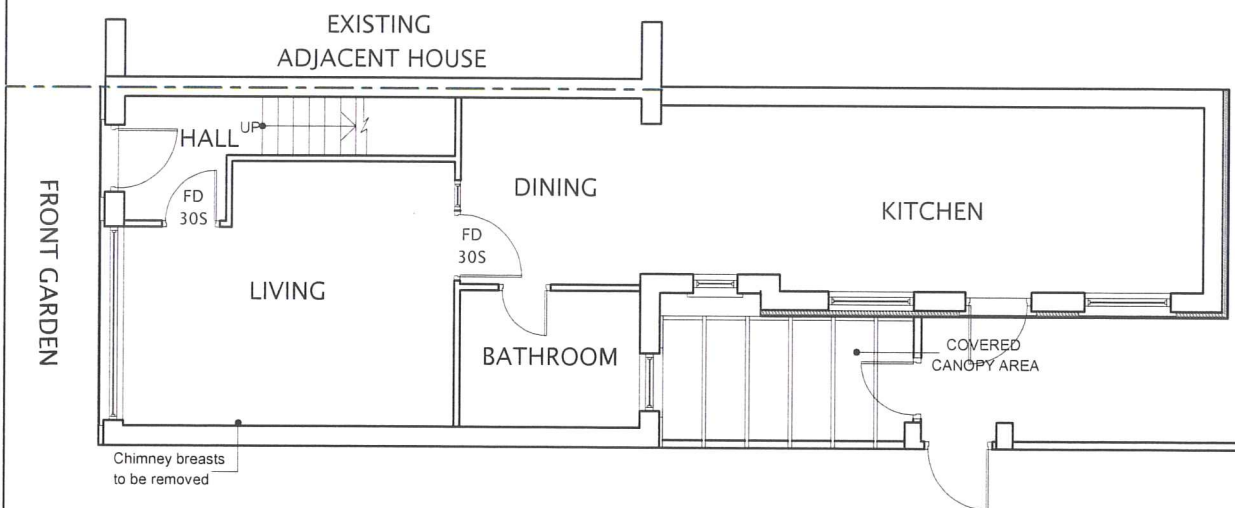


PROPOSED FIRST FLOOR PLAN

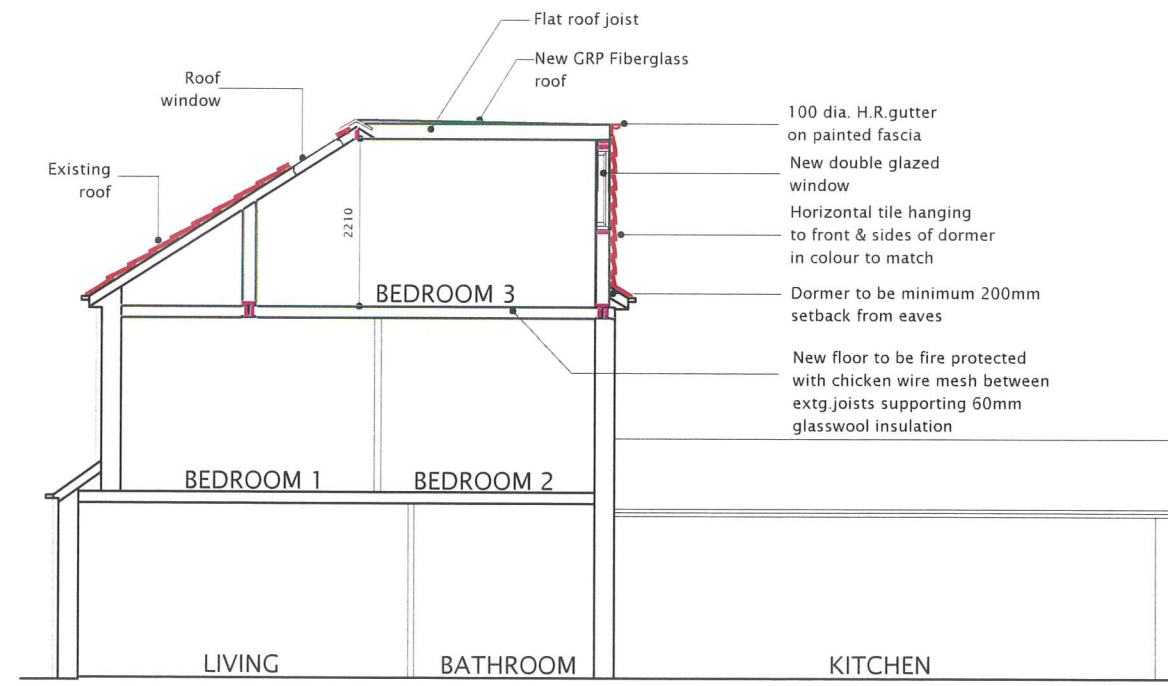


PROPOSED LOFT FLOOR PLAN

FD  
30S = 30 MINUTES FIRE CHECK DOOR  
☉ = SMOKE DETECTOR



PROPOSED GROUND FLOOR PLAN



PROPOSED SECTION

All dimensions verified on site.  
All work to comply with British Standards, Code of practice.  
All internal works to be in accordance with client instructions.  
All external surfaces to match existing.  
All work to be to the satisfaction of the local authority-building surveyor.  
Builder to serve building notice and comply fully in all respects.  
Owner responsible for compliance with 1.Party Wall etc Act 1996. 2. Thames water Build Over Agreement.  
Builder to ensure all work in compliance with Build Over agreement as approved by

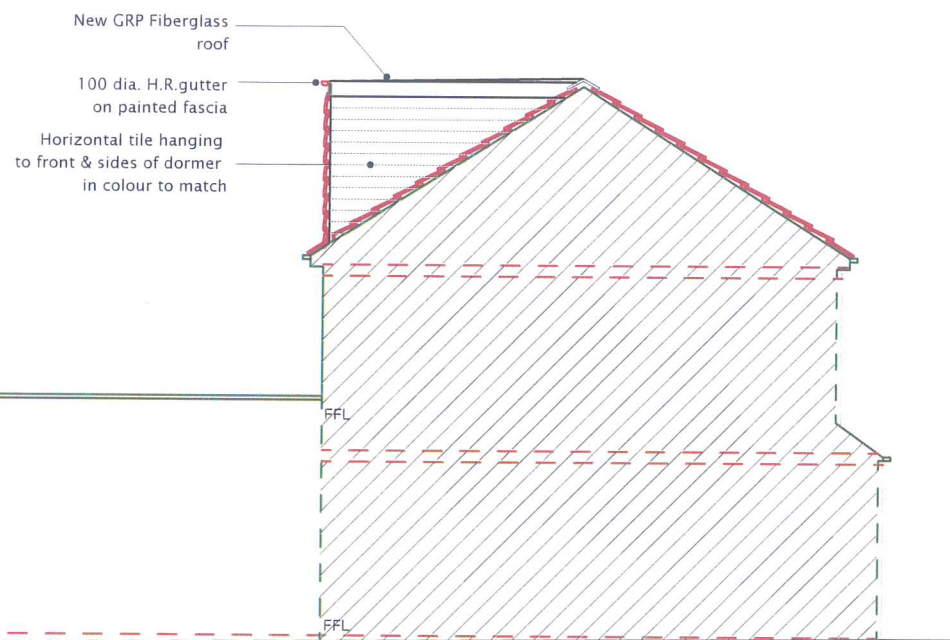
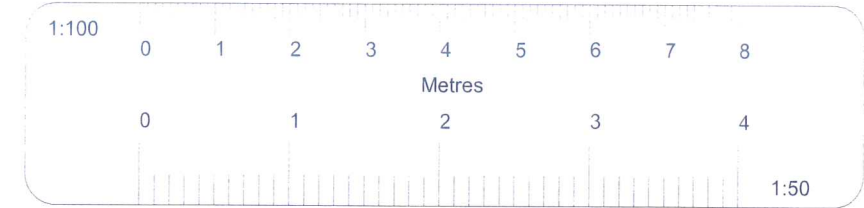
Thames Water  
All proprietary materials to manufacturers recommendations  
Works to boiler/Gas to be carried out by Gas Safe registered installer and to Gas Safe recommendations

All wiring and electrical work will be designed, installed, inspected and tested in accordance with the requirements of BS 7671:2001 (2004), the 17th edition Wiring Guidance and Building Regulation Part P (Electrical Safety) by a competent person registered with an electrical self-certification scheme, (BRE, BSI, ELECSA, NAPIT, or NICEIC), authorised by the Secretary of State

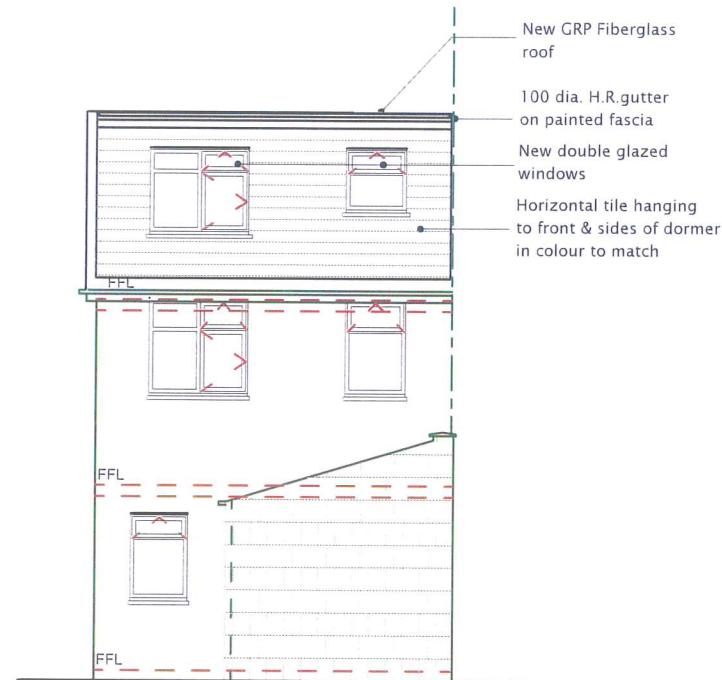
The competent person is to send a self-certification certificate to the Local Authority Building Control Departement within 30 days of completion of the electrical works. The client must receive both a copy of the self-certification certificate and a BS 7671:2001 (2004) Electrical Installation Test Certificate and forward copies to the Local Authority Building Control Dept.

These drawings for planning permission purposes only. Owner to ensure all works remain within boundary/curtilage of site.

	DATE	REVISION
COPYRIGHT:		
JOB TITLE: 47 WARWICK CRESCENT HAYES		
DRAWING TITLE: PROPOSED GROUND FLOOR PLAN, FIRST FLOOR PLAN, LOFT PLAN,BLOCK PLAN AND SECTION		
SCALE : 1:100		
DATE: 13-05-2025		
DRAWN BY:		
DRG. NO.	REV.	
2025/47/WCH/1003		



PROPOSED LEFT SIDE ELEVATION



PROPOSED REAR ELEVATION

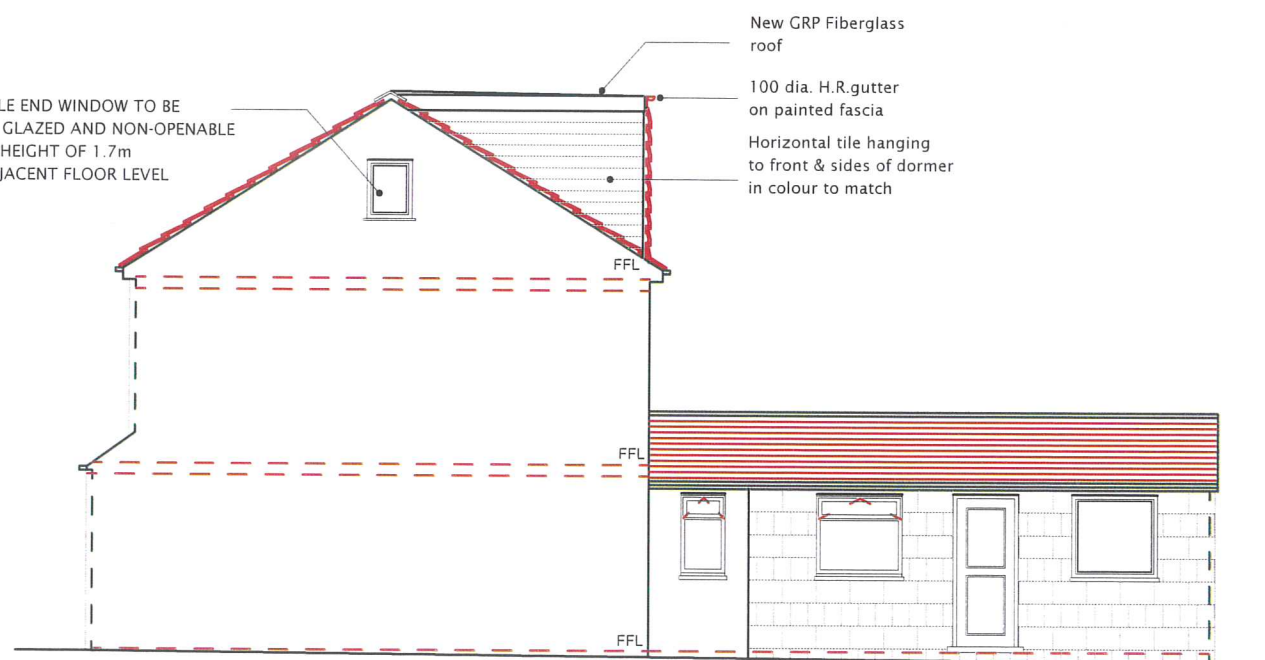
\* ROOF WINDOWS / VELUX  
Roof window shall not project more than 150mm above the roof slope it is installed on.

\* NO PART OF ROOF EXTENSION  
TO BE WITHIN 200mm OF  
EAVES OF EXISTING ROOF



PROPOSED FRONT ELEVATION

SIDE GABLE END WINDOW TO BE  
OBSCURE GLAZED AND NON-OPENABLE  
BELOW A HEIGHT OF 1.7m  
FROM ADJACENT FLOOR LEVEL



PROPOSED RIGHT SIDE ELEVATION

All dimensions verified on site.  
All work to comply with British Standards, Code of practice.  
All internal works to be in accordance with client instructions.  
All external surfaces to match existing.  
All work to be to the satisfaction of the local authority-building surveyor.  
Builder to serve building notice and comply fully in all respects.  
Owner responsible for compliance with 1. Party Wall etc Act 1996. 2. Thames water Build Over Agreement.  
Builder to ensure all work in compliance with Build Over agreement as approved by

Thames Water  
All proprietary materials to manufacturers recommendations  
Works to boiler/Gas to be carried out by Gas Safe registered installer and to Gas Safe recommendations

All wiring and electrical work will be designed, installed, inspected and tested in accordance with the requirements of BS 7671:2001 (2004), the 17th edition Wiring Guidance and Building Regulation Part P (Electrical Safety) by a competent person registered with an electrical self-certification scheme, (BRE, BSI, ELECSA, NAPIT, or NICEIC), authorised by the Secretary of State

The competent person is to send a self-certification certificate to the Local Authority Building Control Department within 30 days of completion of the electrical works. The client must receive both a copy of the self-certification certificate and a BS 7671:2001 (2004) Electrical Installation Test Certificate and forward copies to the Local Authority Building Control Dept.

These drawings for planning permission purposes only. Owner to ensure all works remain within boundary/curtilage of site.

	DATE	REVISION
COPYRIGHT:		
JOB TITLE:		
47 WARWICK CRESCENT HAYES		
DRAWING TITLE:		
EXISTING ELEVATIONS		
SCALE : 1:100		
DATE: 13-05-2025		DRAWN BY:
DRG. NO.		REV.
2025/47/WCH/1004		