

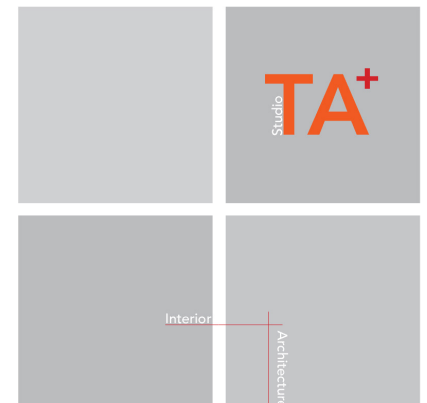


25 Burwood Avenue , London Ha5 2RY
Design & Access Statment
1.08.2022

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1.0 Introduction



TA+ studio has been appointed to prepare a proposal for a residential scheme located on 25 burwood Avenue HA5 2RY

This Design and Access Statement has been prepared as part of an application for planning permission for this site and is to be read in conjunction with all other submission documentation, including drawings, forms and Statement.

The property consists of two storeys, semidetached house, on the Eastcote Park Conservation Area.

The proposal as follows is for continued use as a single dwelling.

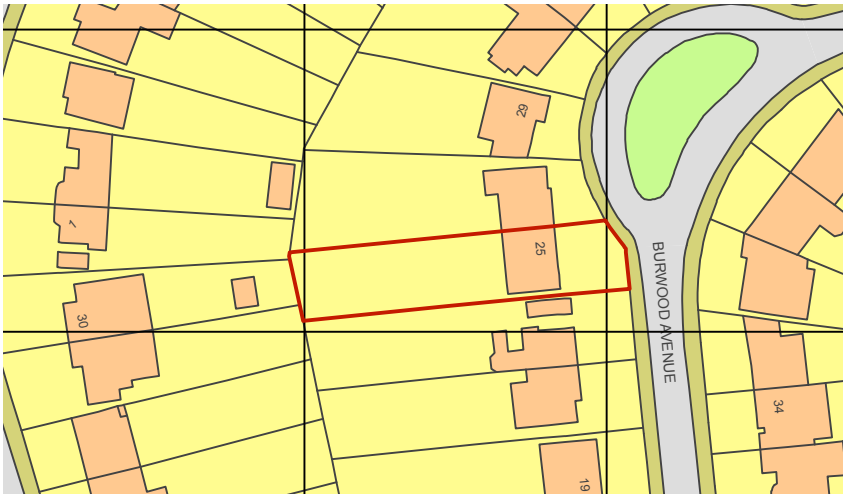
" Erection of Ground floor Rear extension with pitched roof and second floor side extension. Remodelling of the roof to mirror the shape of N0 27 Burwood Avenue. Loft conversion with introduction of a dormer on the rear side of the roof facing the garden."

The Design and Access statement seeks to explain the design thinking behind the application and to demonstrate our commitment to design that is accessible and inclusive to all.

2.0 Site Location and Context



Eastcote Park Conservation Area _ approximate site Location in red



25 Burwood Avenue With site marked in red

The application property is situated at 25 Burwood Avenue. It forms part of the Eastcote Park Conservation Area. The site orientation is roughly on the East- West .

The existing Property consists of a timber framed semi-detached house, pairing per style N0 27.

A typical cottage style double storey house. The main house is sigle fronted with brick layered ground floor front and black wooden frame and render on the floor above. The roof is double pitched roof with tiles.

The property has a good size front garden with the buildings considerably set back from the street. The front garden is maily pebbled with a tiled staggered path to the main door of the main house.

The rear of 25 Burwood Avenue cannot be seen from the public street or land and does not contribute to the character of the Conservation Area.

Both vehicular and pedestrian access is obtained from 25 Burwood Avenue.

The surrounding area of this site has excellent transport links to buses , over-ground and Tube.



View from the street



N0 23 through the fence



Rear View



View from rear Garden from the top

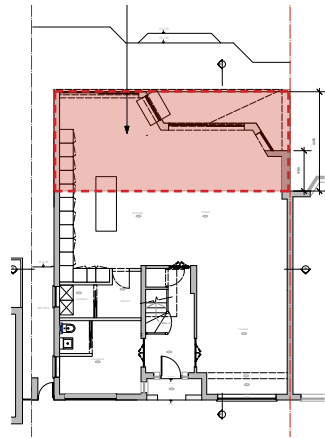


Rear Garden



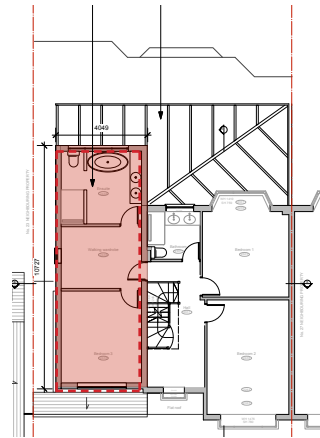
N0 27 through the garden

3.0 Design Proposal



Proposed Ground Floor Plan

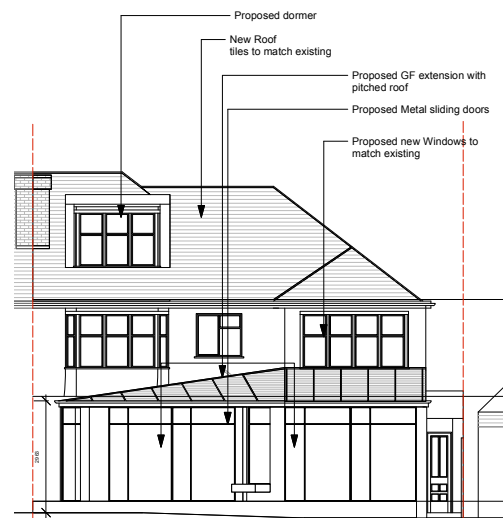
----- Proposal outline



Proposed First Floor Plan



Proposed Front Elevation



Proposed Rear Elevation

The proposal consists of three small development for each floor: Ground Floor rear extension, First-floor side extension and a loft conversion with a dormer facing the back of the house.

On the Ground Floor, an L-shaped one-storey extension is proposed with doors and windows facing the garden. The extension will feature a pitched roof that, together with the glazing, seek to create a seamless connection between the house and the garden.

The proposal also includes a one-storey side extension on the roof of the former garage. In this case, the proposal is set back from the main facade, to keep the outlines of the original house. The same extension is projected on the rear towards the back garden, this will match the geometry and the mass of the extension of N0 27.

Finishes, Windows and roof tiles will match the existing.

It is also proposed a Loft conversion with a dormer. For that reason, an extension of the roof is also proposed. The proposed roof will have a ridge lower than the existing one to maintain the original character of the building as recommended in the management plan of the Eastcote Park conservation area.

The shape, mass and height of the pitched roof will match the roof extension of N0 27.

The guidelines of this proposal are sympathetic to the extension of the N0 27 Burwood Avenue, already approved in 2004: **app 59021/app/04/1440**. Although the modern take of the rear ground floor extension, either the height of the side extension, the roof shape, together with the rear Lshape first floor extensions are seeking symmetry with N0 27.

We believe that the proposal will restore the mass balance between N0 25 & N0 27 from the street and also a sense of homogeneity and integrity with the character of the street, without being detrimental to the original feature of the house.

Similar proposals have been considered for the following approved planning applications: N0 27 Burwood Avenue, **app 59021/app/04/1440**.

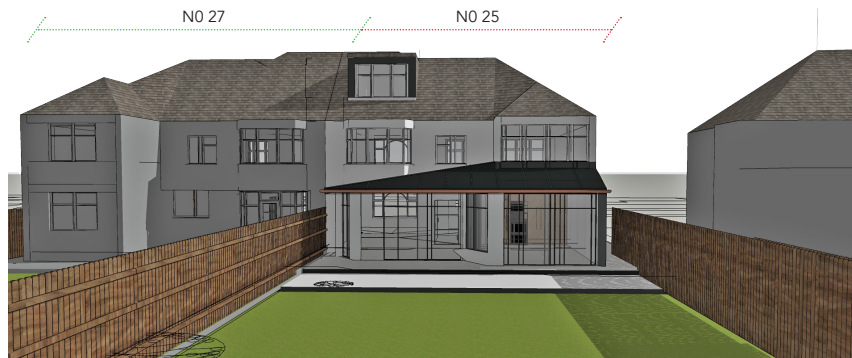
3.2 3D Mass study



3d Model of the existing



3d Model of the Proposed



3d Model of the existing

3.2 3D Model



3d Model of the Proposed Extension

5.0 Amount And Scale

Use

The existing property is a cottage style house within the Eastcote Park conservation area for residential use. It is believed that its use remained unaltered to date

Areas

Site area 623: SQM

Existing

Existing Property Footprint area:100 SQM

Amenity Space : 513 SQM

Of which rear 398 SQM

Proposed

Proposed additional built area: 35sqm

as Result:

Proposed building Footprint area: 135 SQM

Amenity Space : 578 SQM

Of which rear 363 SQM

6.0 Access

Access to and from the property is to be maintained as per the existing layout. There is existing access onto the rear garden from the side of the main house through a private halley.

There is no impact on the parking provision as a result of the proposal. The extension does not create additional on-street parking demands and does not increase the number of occupants in the house.

7.0 Landscaping

The current rear garden area consists of a mix of paved garden right outside the rear of the property continuing with turf and plantation all the way through. The new proposal would not include any area of new hard standing.

8.0 Design Strategy

The client's brief was to improve the layout of the Ground floor through a rear extension. This gave us the opportunity to rationalize the circulation of the living space seamlessly into the garden.

Also the first floor extension will add extra bedroom and a bathroom along the growth of the family. The intention for a more open rear space is balanced by a desire to retain the privacy of both the occupants and the neighbours.

9.0 Conclusion

We believe that the proposed works would improve the property, providing a better and more practical internal layout and additional usable floor space without being detrimental to the character of the existing building and local area. The proposed development would be to the highest building standards and will be an opportunity to create an outstanding extension project. All alterations will be carried out sympathetically to the original building to respect and enhance the existing conditions and context. The proposal will preserve the established character of the street and will be sympathetic in scale and design to its neighbours making a positive contribution to the overall area.