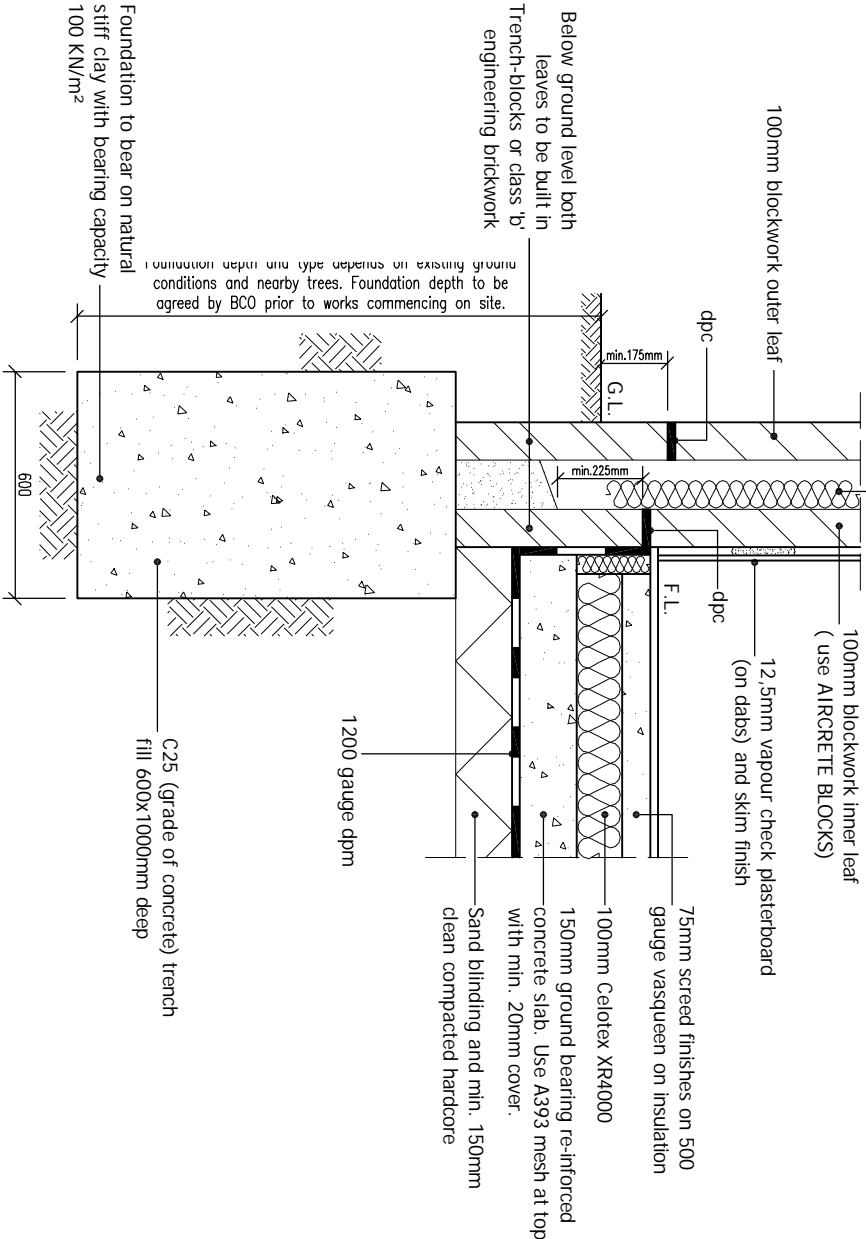
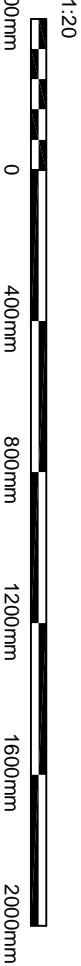


130mm cavity with 80mm Kingspan Kooltherm K108 Cavity Board insulation (partial fill cavity insulation), min. 50mm clear cavity between insulation and outer leaf to be maintained




TYPICAL FOUNDATION DETAIL

Scale 1:20



© This drawing and the works shown are the copyright of DISCOUNT PLANS LTD and may not be reproduced except by written permission

DRAWING STATUS				CONSTRUCTION	
REV.	DATE	NAME	DESCRIPTION		
Architectural Design Studio					
4 ST ANNES, DORIC WAY, EUSTON, LONDON NW1 1LG +44 07838 135 957					



GENERAL NOTES:
Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check, and co-ordinate all dimensions at the during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineers' calculations and any specialist supplier's drawings. However, it is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.

2. Inform the Building Control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.

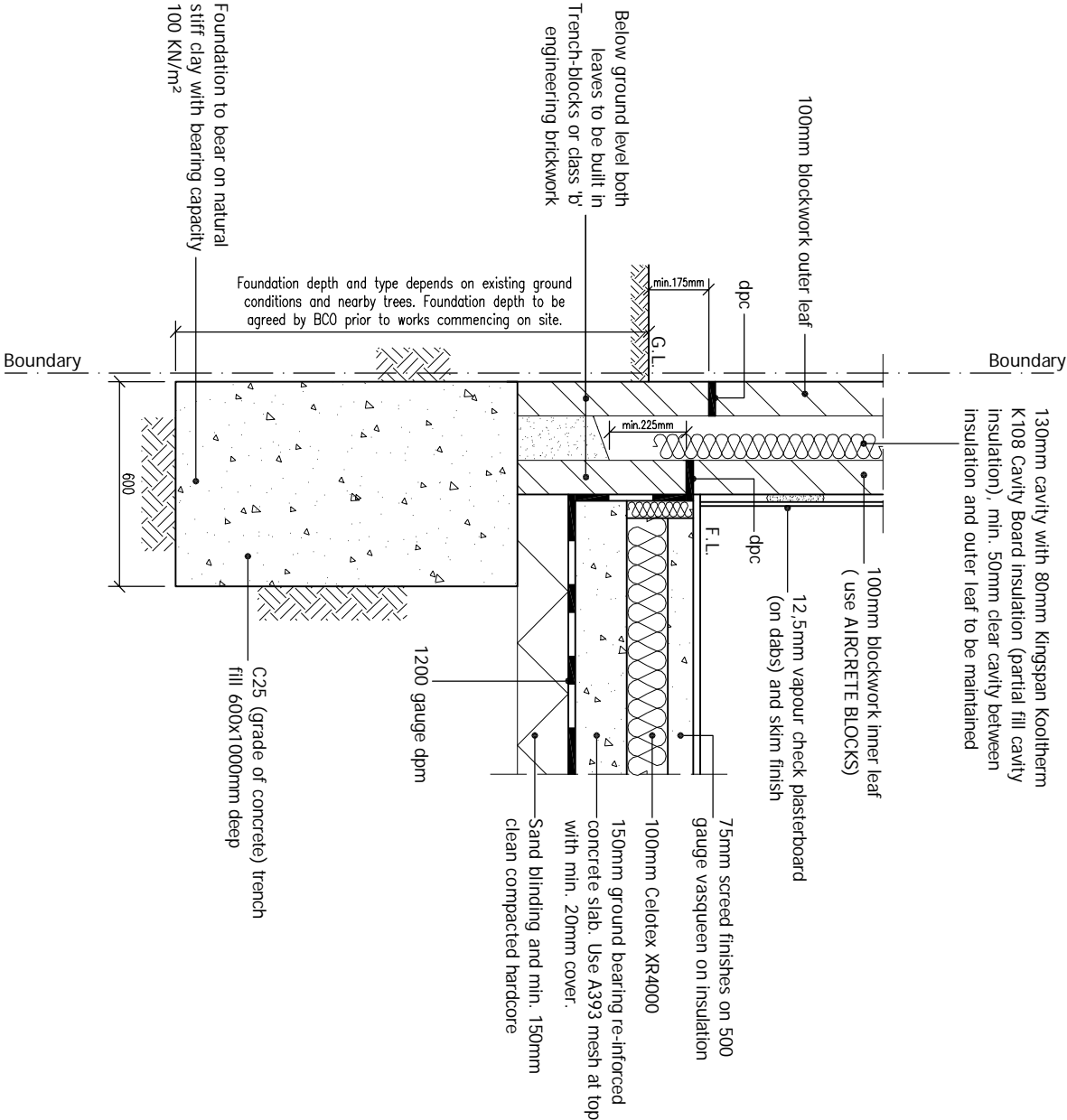
3. Verify boundary lines & ground conditions including checking positions and new connections of all gas, electrical, water & other services (drainage etc.) within the site prior to the commencement of construction. If uncertain a land search should be carried out by the homeowner/contractor.

4. DPL are not responsible for builders changing design methods from proposed works. The client is responsible for ensuring that any changes to the design are agreed in writing with the architect/engineer.

5. Owner is responsible for purchasing additional materials and covering extra engineering design costs by building control or any other third party's Institution during building works.

6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Client's responsibility)

130mm cavity with 80mm Kingspan Kooltherm K108 Cavity Board insulation (partial fill cavity insulation), min. 50mm clear cavity between insulation and outer leaf to be maintained



FOUNDATION DETAIL ON BOUNDARY

Scale 1:20

ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

7. Where works involve excavation to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.

8. Works carried out under a building notice or prior to approval of drawings are of the contractor's/owner's risk. (All DPL drawings must be approved before works commence) and the contractor/owner must ensure that all necessary propping and temporary supports are in place and that the drawings are fully responsible for the likelihood of condemned works.

9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or suppliers drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works. If the discrepancy is not brought to DPL attention straight away before works commence and purchase of materials be made so an alternative design can be rectified and approved by building control or the engineer before works can commence.

10. All DPL structural drawings are subject to building control in writing. If however the existing foundation type and building control will need to advise on a different method of construction. If requested by an engineer to be involved on site being implemented on site, all work must be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

11. All work must be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations. If not, load bearing then steel's should not be ordered. No refund or claim can be given against DPL on the design/materials charged for these steel's.

12. All drawings connections is assumed & is subject for checking by builder, insurance work & building control, and approved by the relevant authorities before works commence.

13. All drawings connections is assumed & is subject for checking by builder, insurance work & building control, and approved by the relevant authorities before works commence.

OTHER NOTES:

All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed alterations to the building must be shown on this drawing. All new proposed alterations to the building must be shown on this drawing. All new proposed alterations to the building must be shown on this drawing.

14. All new proposed alterations to the building must be shown on this drawing. All new proposed alterations to the building must be shown on this drawing. All new proposed alterations to the building must be shown on this drawing.

15. All new proposed alterations to the building must be shown on this drawing. All new proposed alterations to the building must be shown on this drawing. All new proposed alterations to the building must be shown on this drawing.

16. All new proposed alterations to the building must be shown on this drawing. All new proposed alterations to the building must be shown on this drawing. All new proposed alterations to the building must be shown on this drawing.

17. All new proposed alterations to the building must be shown on this drawing. All new proposed alterations to the building must be shown on this drawing. All new proposed alterations to the building must be shown on this drawing.

18. All new proposed alterations to the building must be shown on this drawing. All new proposed alterations to the building must be shown on this drawing. All new proposed alterations to the building must be shown on this drawing.

SITE ADDRESS

157 QUEENS WALK,
RUISLIP, MIDDLESEX, HA4 0NW

DRAWING TITLE

PROPOSED DRAWINGS - rear extension

DRAWN AT HEAD OFFICE

SCALE as shown @ A3 21. NOV. 2022

DRAWING NO. DPL.09. REVISION -