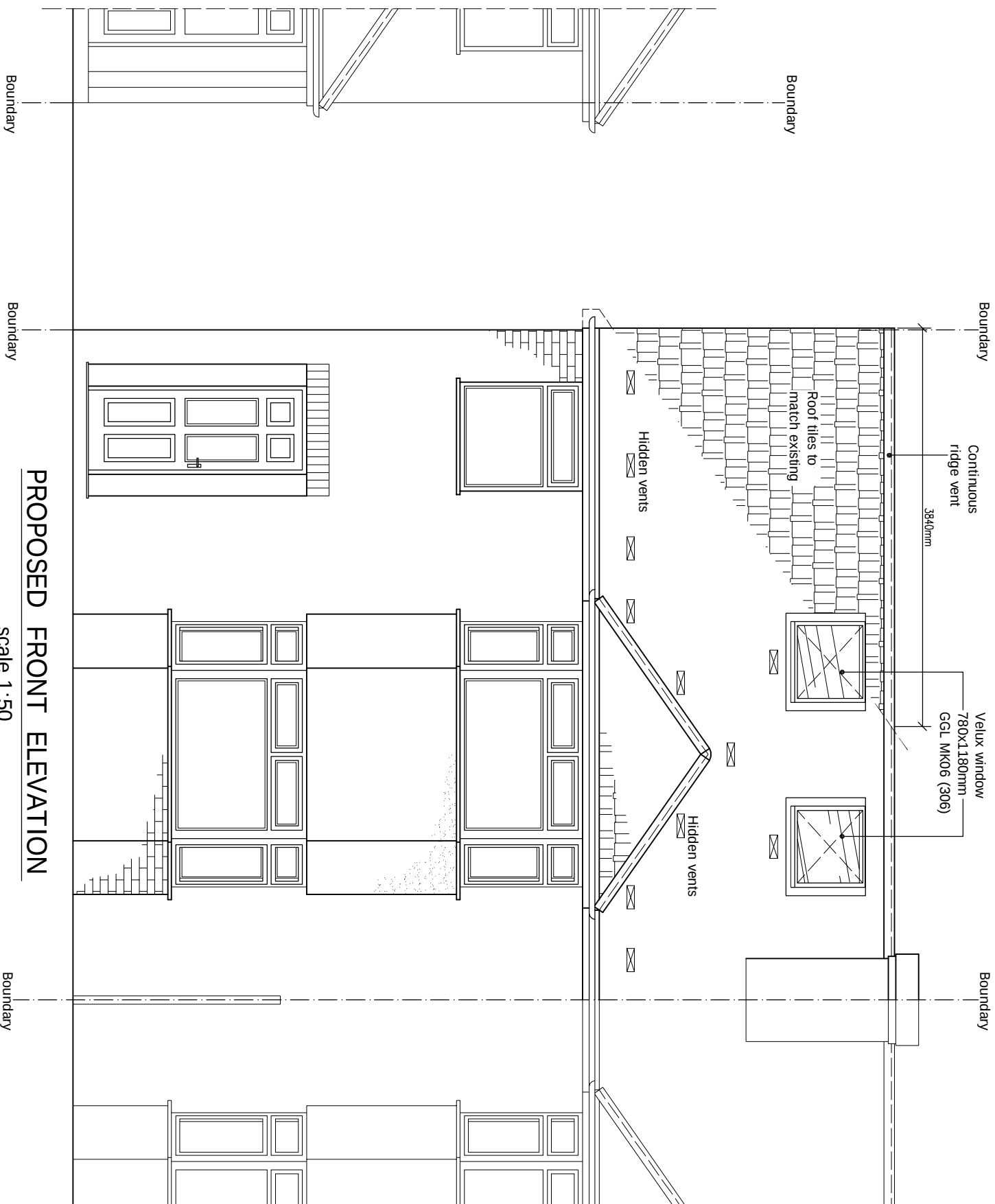




PROPOSED FRONT ELEVATION

scale 1:50



DRAWING STATUS		CONSTRUCTION	
REV.	DATE	NAME	DESCRIPTION

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ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.	OTHER NOTES:	DATE
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GENERAL NOTES:
Any dimensions shown

This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural

1. Ensure that all working drawings and calculations are completed, approved by Building Control or

2. Inform the Building control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.

3. Very boundary ties & ground conditions including checking positions and new connections of all gas; electrical, water & other services drainage etc., with the site prior to the commencement of excavations. Owner is responsible for establishing own boundary lines on DPL are not responsible for checking land ownership even if drawings have been approved by the planning and building control departments, if uncertain a land search should be carried out by the homeowner/contractor.

5. Owner is responsible for purchasing additional materials and covering extra engineering design costs for any additional structural design changes on site from the start to end of building works requested by building control or any other third party's instruction during building works.

6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (clients responsibility)

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7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary

supports are in place, "do not scale off this drawing as the scaling may be off"

contractors/owners risk. (all DPL drawings must be approved before works commence). Builders building without plans being approved by planning & building control departments are fully responsible for the likelihood of condemned works.

9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or suppliers drawings, should be brought to the immediate attention of the design team.

attention of DPL before executing the structural, drainage, mechanical and electrical works. This includes types of materials if materials shown on drawings do not match which is on site then this will need to be brought to DPL attention straight away before works commence and purchases of materials be made so an alternative design can be rechecked and approved by building control or the engineer before works can commence.

10. All of DPL structural designs are subject to footings being 1m deep, if however the existing foundation is different a trial-hole will need to be dug to establish the existing foundation type and building control will need to advise on a different method of construction, if requested by building control either a raft or piled foundation, this

11. All work/s which have been designed to be removed on plans are to be checked on a by building control inspector/builder for load bearing or non-load bearing status before any purchase of steel/s. If non-load bearing then steel/s should not be ordered. No return/s or claim can be given against DPL on the design/materials charged for these steel/s.

OTHER NOTES:

All new proposed end and wall finishes on this drawing to match existing materials. All new proposed skylights shown on this drawing will be designed not protrude more than 150mm from the existing roof profile. All new proposed windows shown on this drawing will overlook other property's cars designed to be non opening and obscure glazing. For a permitted development loft design the dormer designed on this drawing is set back from the eaves by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results. ALL DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.

[illegible]

PRINT @ A3 SHEET SIZE

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THIS DRAWINGS CONTENT INCLUDING NOTES IS BOND TO SIGNED
 AGREED CONTRACT BETWEEN CLIENT & DISCOUNT PLANS LTD

SITE ADDRESS

157 QUEENS WALK,
RUISLIP, MIDDLESEX, HA4 0NW

DRAWING TITLE

PROPOSED DRAWINGS - Ioff conversion

DRAWN AT	HEAD OFFICE	DRAWN
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SCALE as S

DRAWING NO

DPL.09. www.discountplansld.com