

MICHAEL OAKES ARCHITECTS LTD.

Michael Oakes (Director) B.A. Hons Arch, Dipl. Arch, Registered Architect

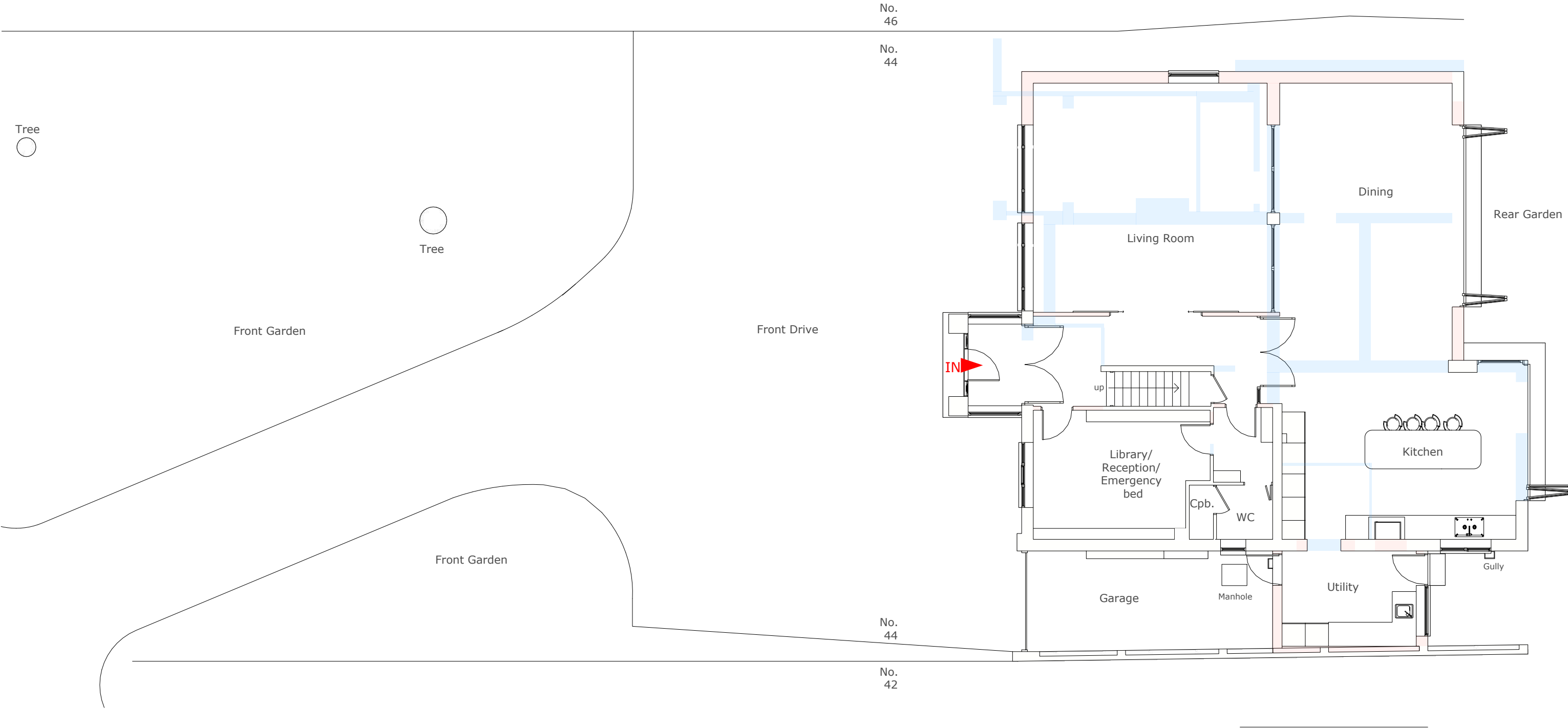
REGISTERED ARCHITECTS, DESIGNERS + ILLUSTRATORS

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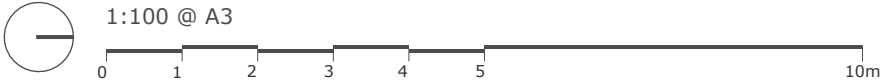
KEY

= Proposed structure

= Existing structure



Address	Client	Date
44 Sweetcroft Lane, Hillingdon, UB10 9LE	Malcom Leftley	March 2023



Drawing Title
As Proposed Ground Floor Plan

Project no. / Stage	Drawing no. / Revision
0400- PLA-	50_A
Revision notes:	Drawn by: IR
A - First Issue	

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Print all drawings in full colour at A3 size - Do not scale drawings

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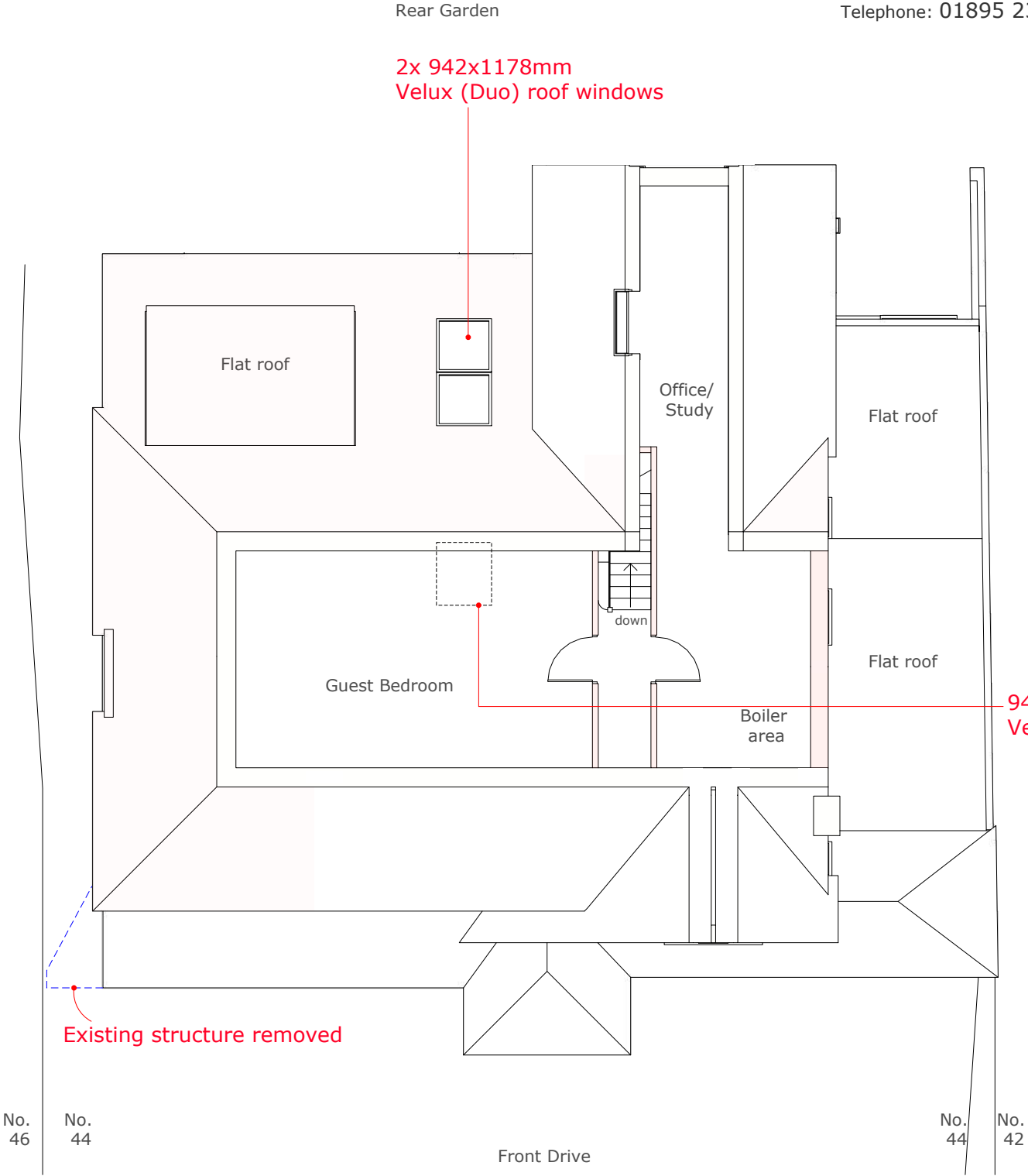
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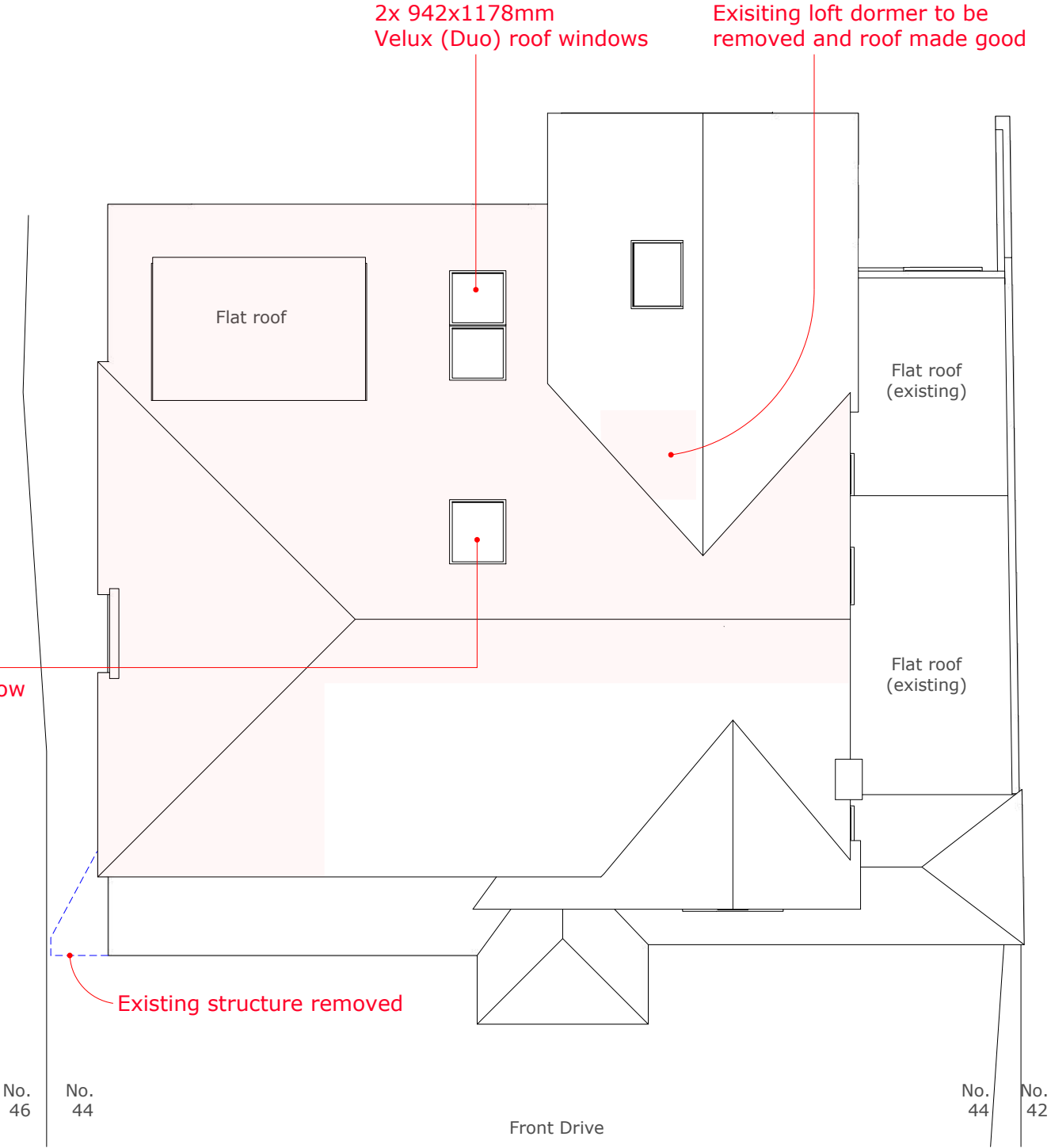
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Ground Floor Plan



First Floor Plan

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1:100 @ A3



Drawing Title
As Proposed Floor Plans

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MATERIALS KEY:

① Tiles to match existing in material, colour and texture

NOTE:
If pitch is min. 15° use Sandtoft 20/20 interlocking tiles to match existing in colour and texture




② Vertical hanging tiles to match existing in colour and size

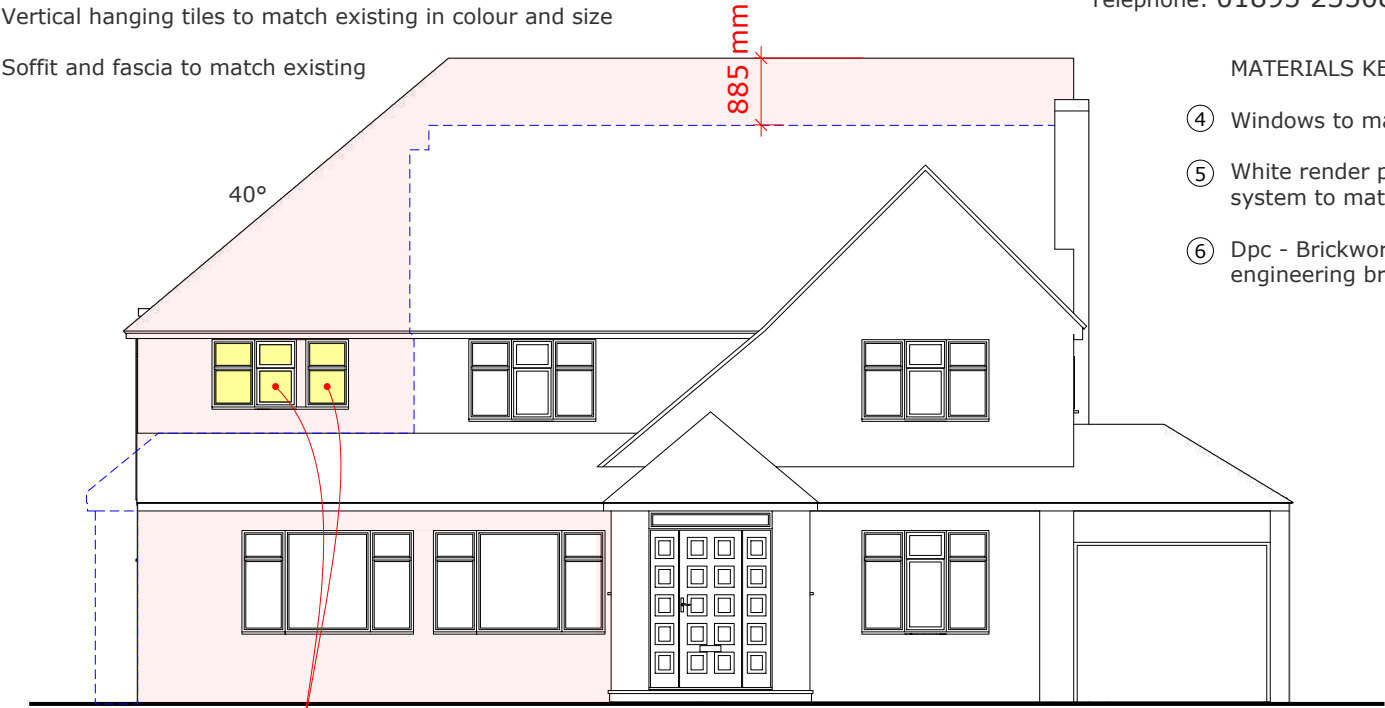
③ Soffit and fascia to match existing

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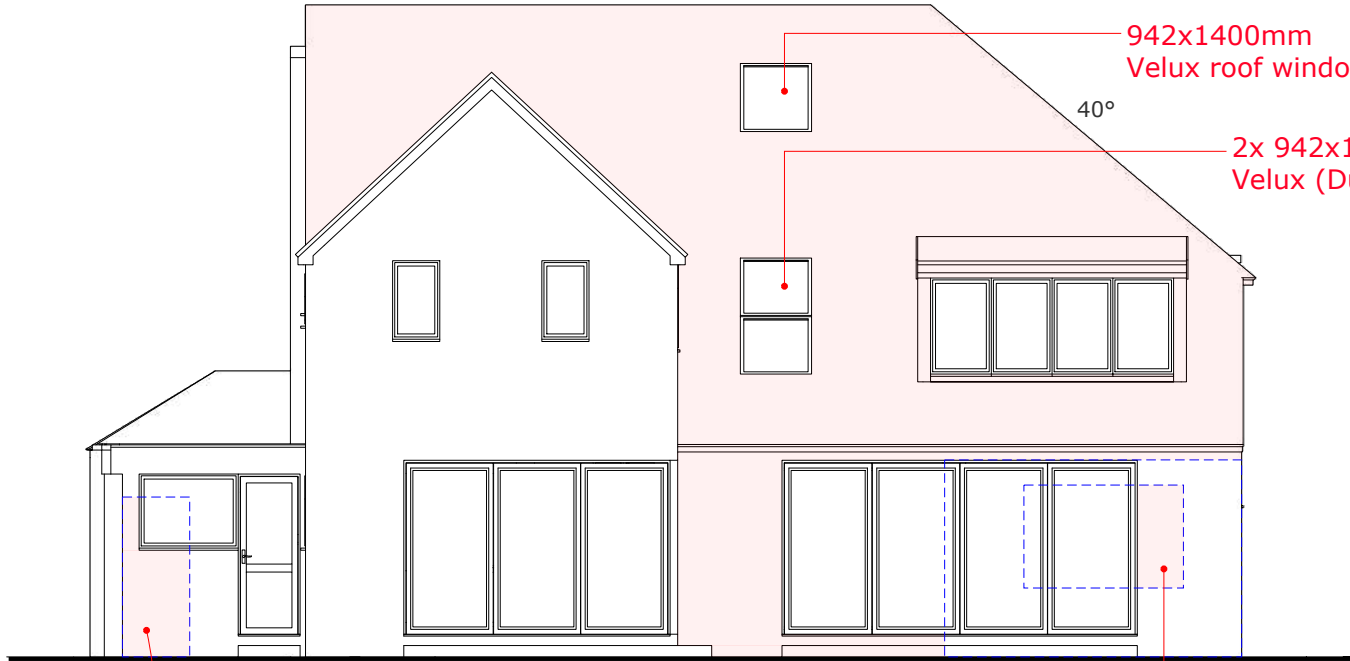
- MATERIALS KEY:
- ④ Windows to match existing in colour and material
- ⑤ White render proprietary 2 coat waterproof render system to match the existing in colour and texture
- ⑥ Dpc - Brickwork below dpc to be frost resisting engineering brick

- KEY
-  = Obscured glazing to windows (minimum scale for the Pilkington scale)
-  = Proposed structure
-  = Existing structure



Front Elevation

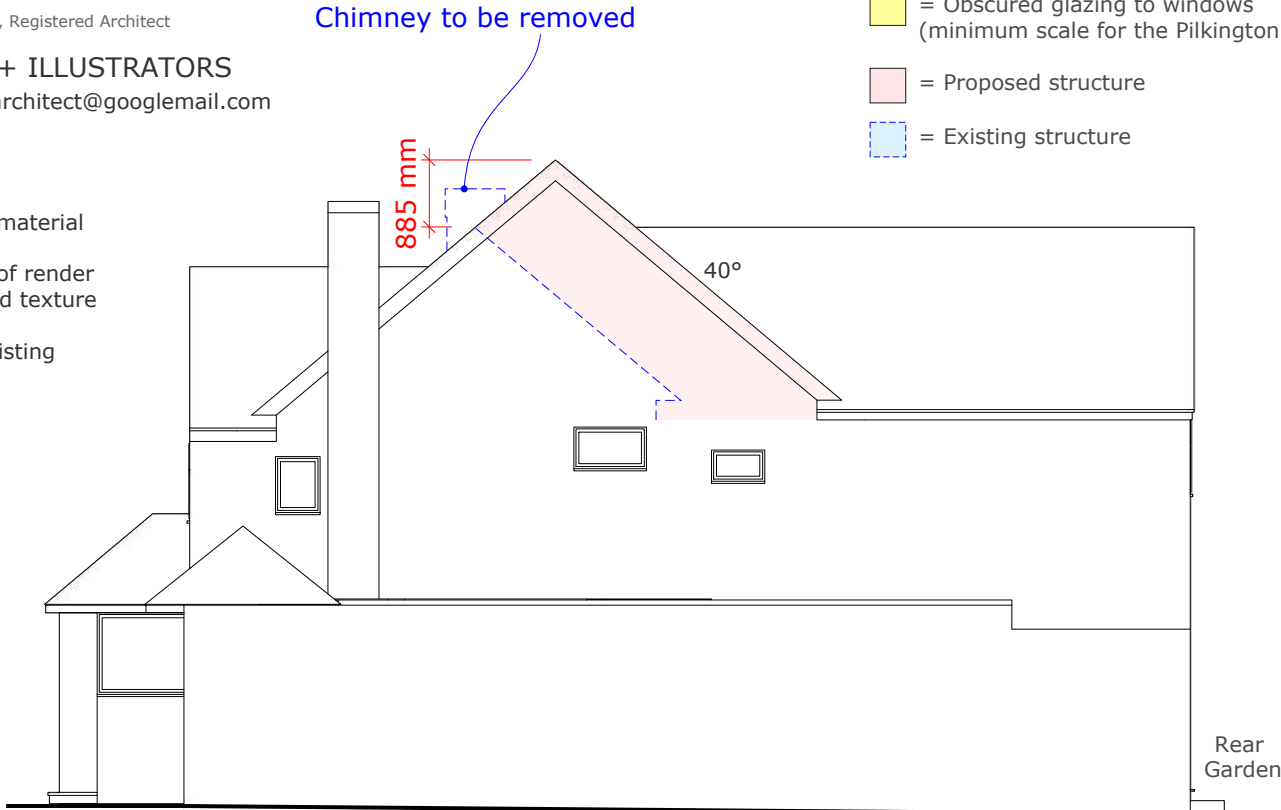
Due to proximity of neighbours rear facing windows and their rear amenity space, this new WC first floor windows will be obscured glass



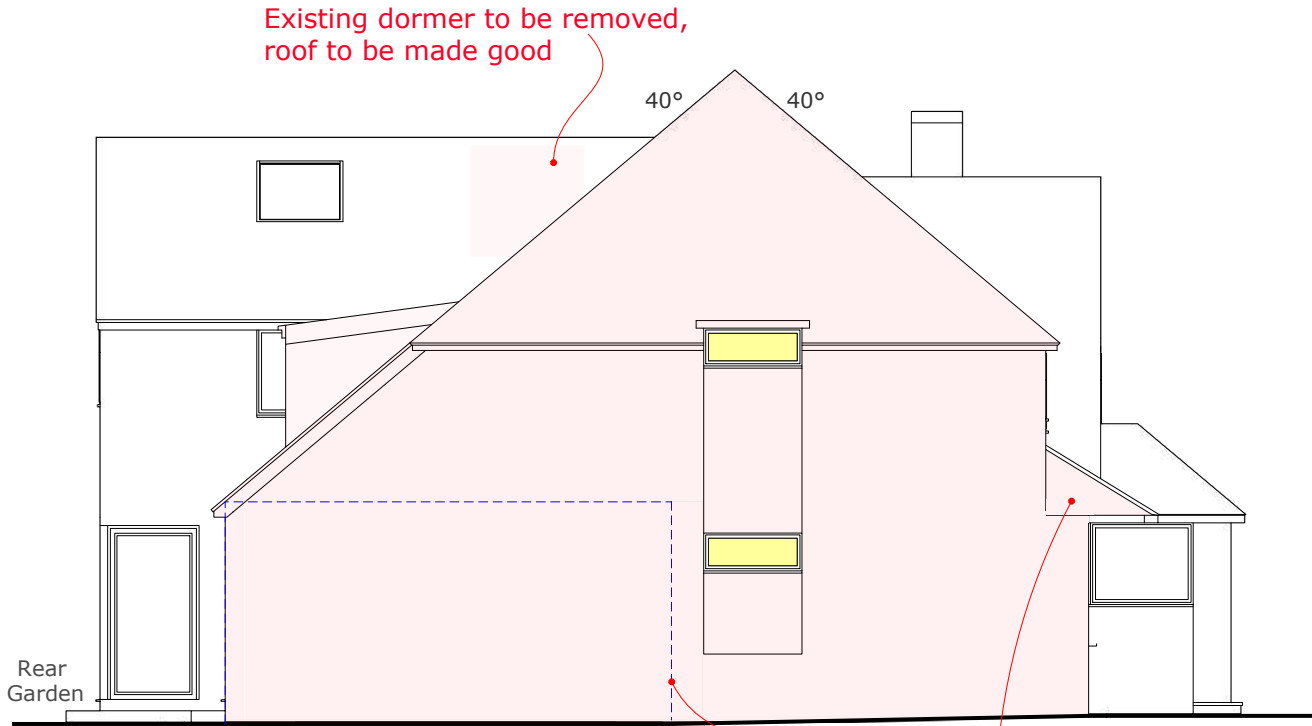
Rear Elevation

Existing door removed, wall made good

Existing window removed, wall made good



Side Elevation facing No. 42



Side Elevation facing No. 46

Existing dormer to be removed, roof to be made good

Existing structure removed + rebuilt

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1:100 @ A3

0 1 2 3 4 5 10m

Drawing Title

As Proposed
Elevations

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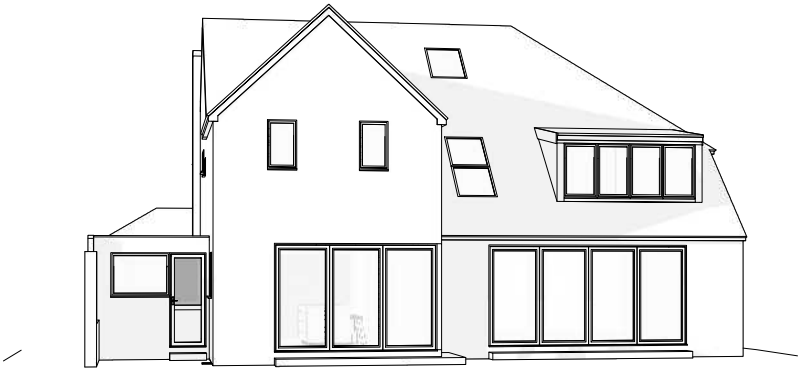
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3D View from Sweetcroft Lane



3D View from the rear garden



3D View from the rear garden

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As Proposed 3D Views

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