

MICHAEL OAKES ARCHITECTS LTD.

Michael Oakes (Director) B.A. Hons Arch, Dipl. Arch, Registered Architect

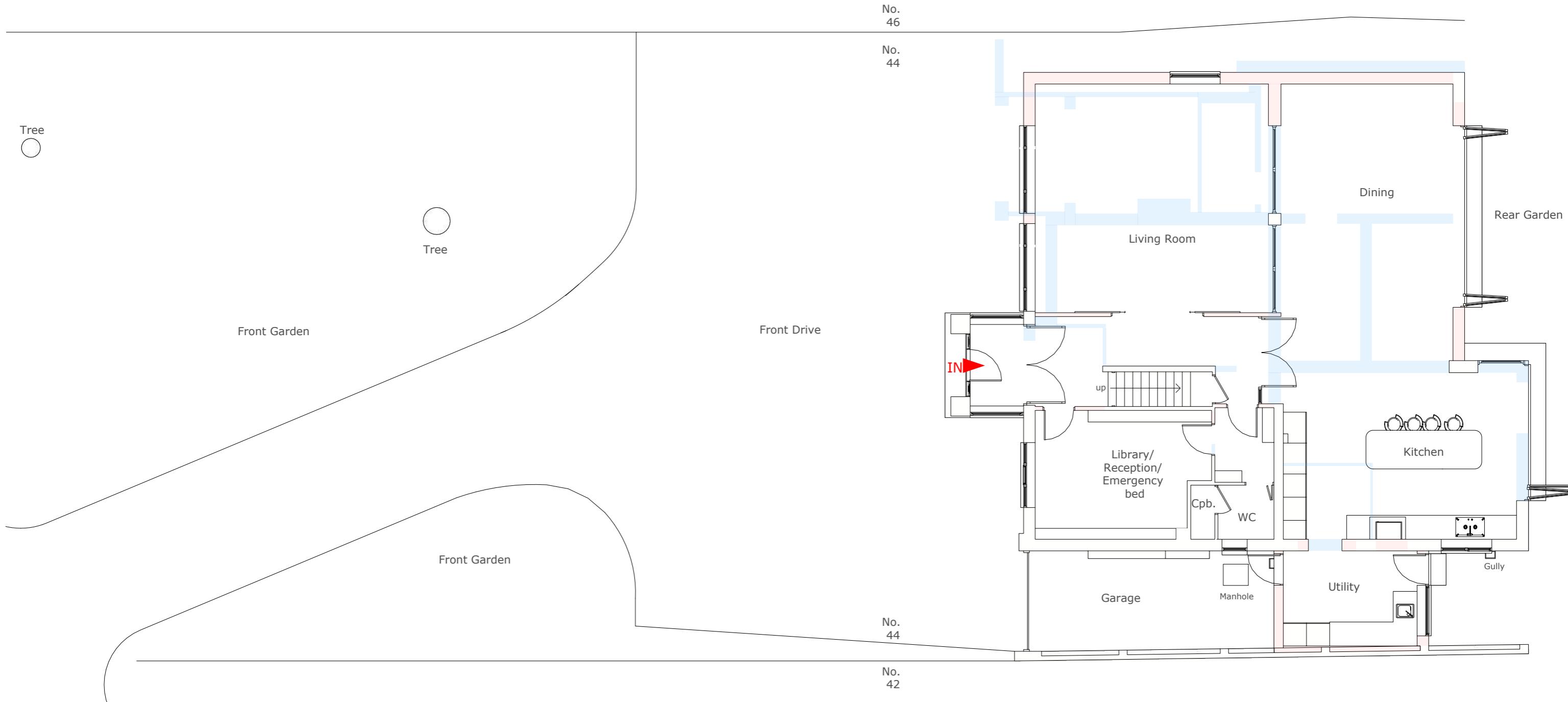
REGISTERED ARCHITECTS, DESIGNERS + ILLUSTRATORS

Telephone: 01895 235089 - E-mail: michaeloakesarchitect@googlemail.com

KEY

= Proposed structure

= Existing structure



Address

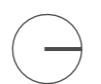
44 Sweetcroft Lane,
Hillingdon, UB10 9LE

Client

Malcom Leftley

Date

March
2023



1:100 @ A3

0 1 2 3 4 5 10m

Drawing Title

As Proposed
Ground Floor Plan

Project no. / Stage

0400- PLA-

Revision notes:

A - First Issue

Drawing no. / Revision

50_A

Drawn by: IR

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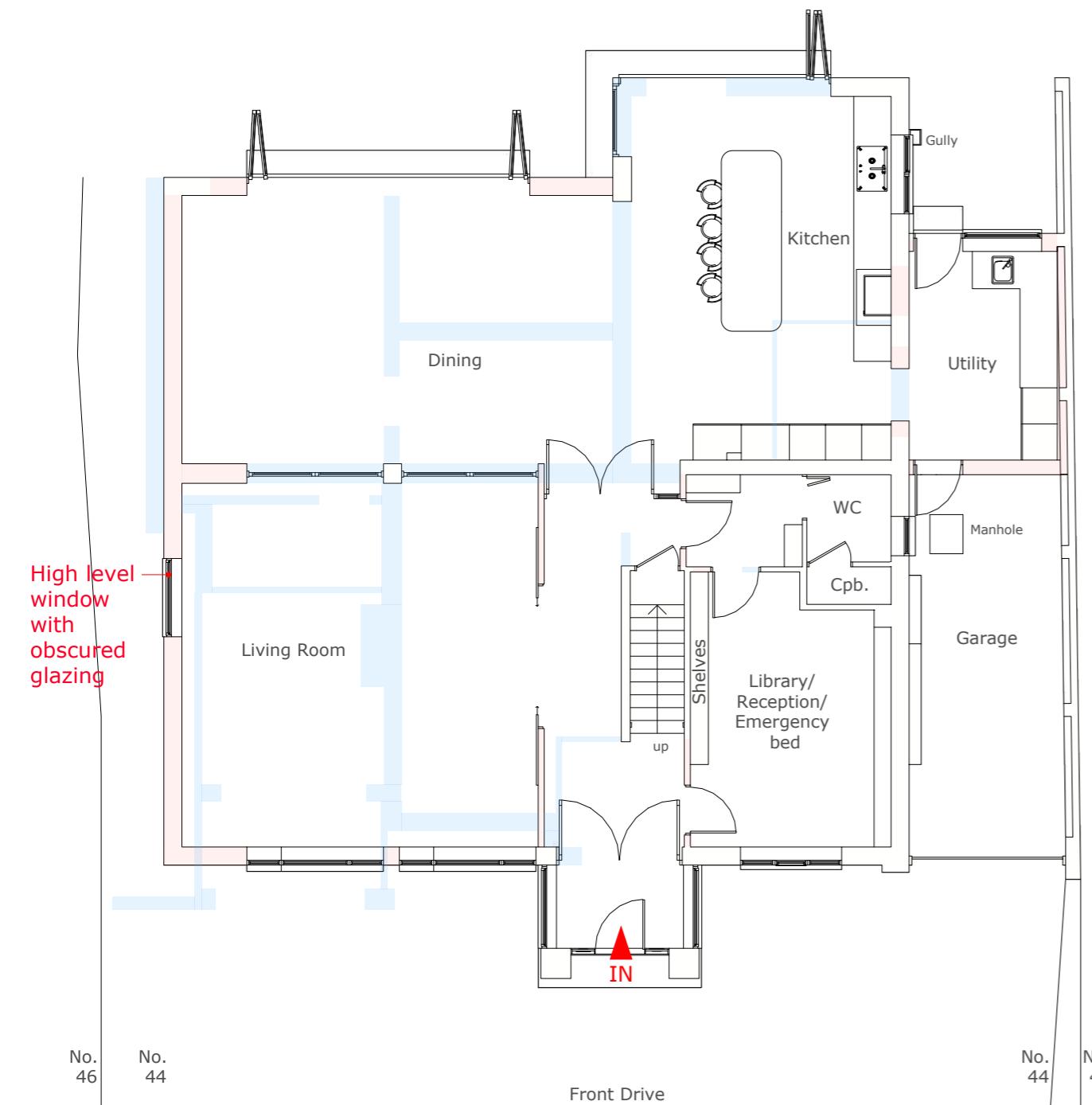
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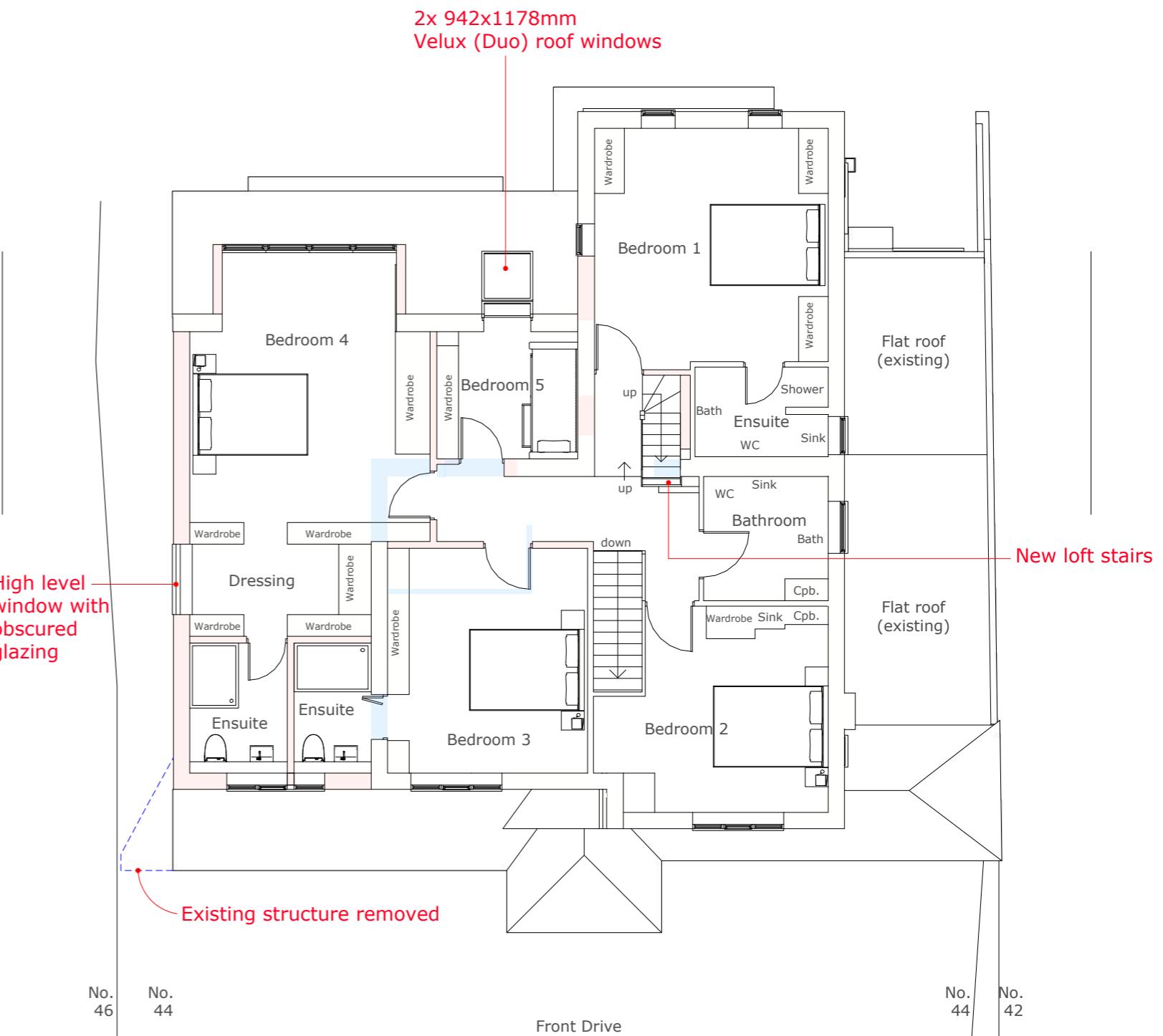
= Existing structure

Rear Garden

Rear Garden



Ground Floor Plan



First Floor Plan

Address

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0 1 2 3 4 5 10m

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KEY

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Rear Garden

2x 942x1178mm
Velux (Duo) roof windows

Flat roof

Office/
Study

Flat roof

Guest Bedroom

Boiler
area

Flat roof

Existing structure removed

No.
46
No.
44

Front Drive

Ground Floor Plan

2x 942x1178mm
Velux (Duo) roof windows

Existing loft dormer to be
removed and roof made good

Flat roof

Flat roof
(existing)

Flat roof
(existing)

942x1400mm
Velux roof window

No.
46
No.
44

Front Drive

First Floor Plan

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52_A

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MATERIALS KEY:

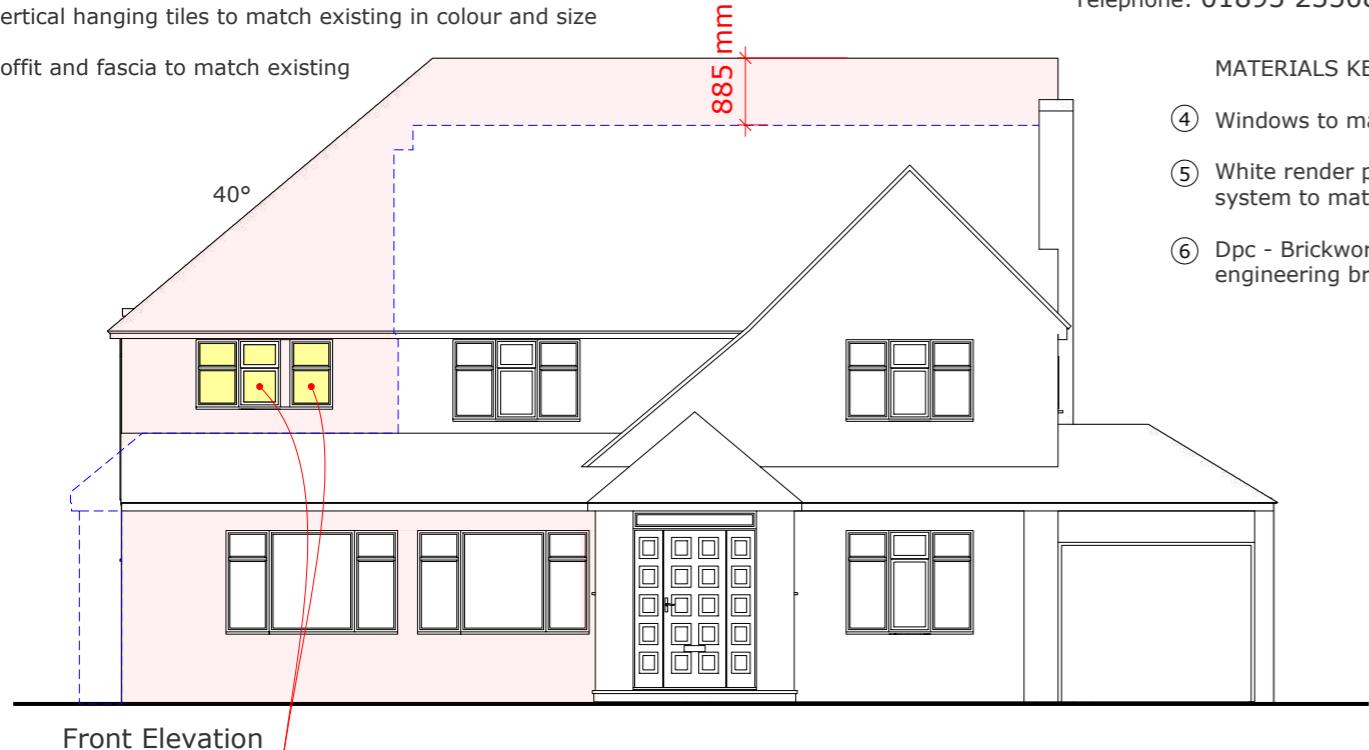
① Tiles to match existing in material, colour and texture

NOTE:

If pitch is min. 15° use Sandtoft 20/20 interlocking tiles to match existing in colour and texture

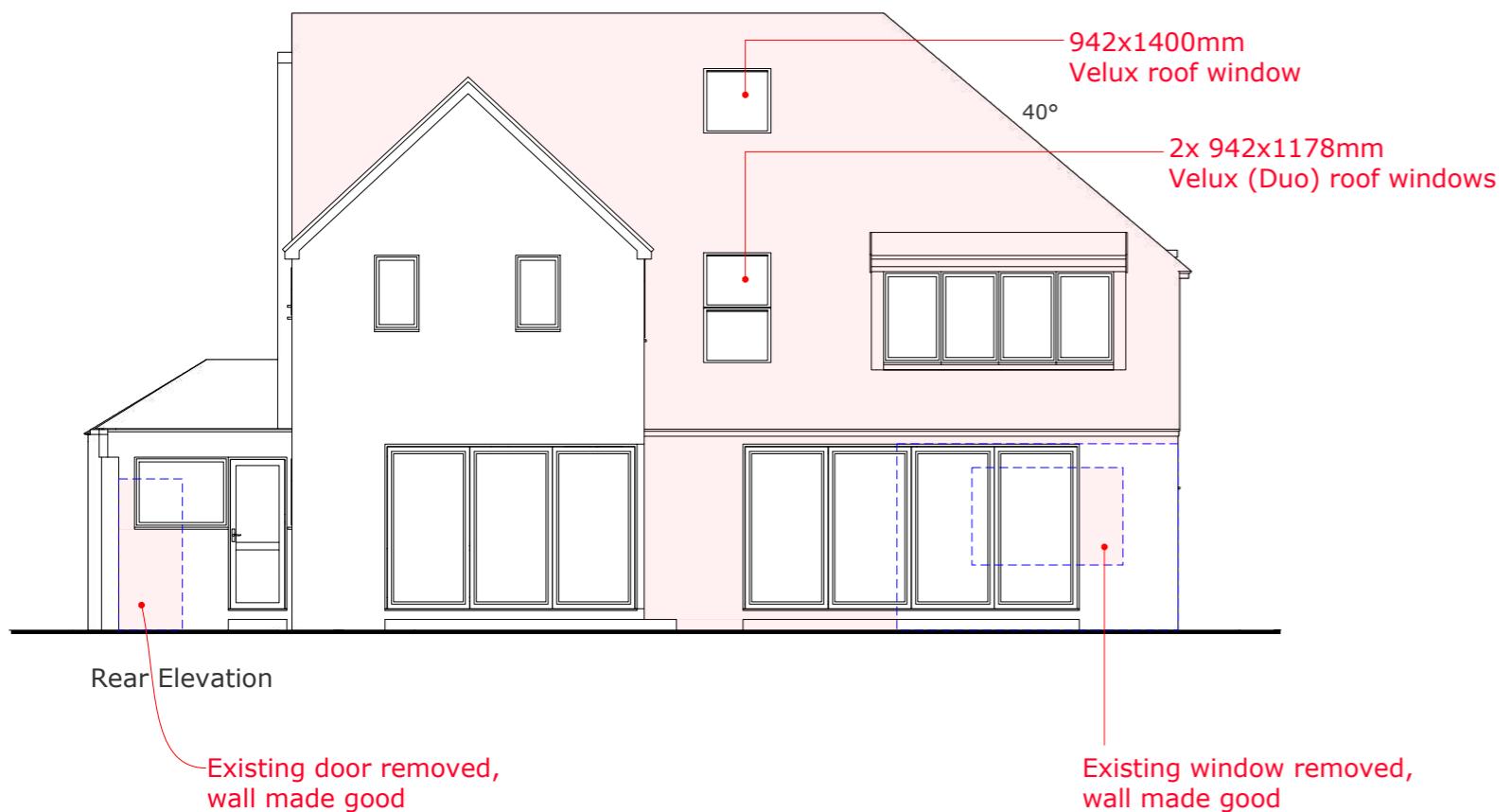
② Vertical hanging tiles to match existing in colour and size

③ Soffit and fascia to match existing



Front Elevation

Due to proximity of neighbours rear facing windows and their rear amenity space, this new WC first floor windows will be obscured glass



Rear Elevation

Existing door removed,
wall made good

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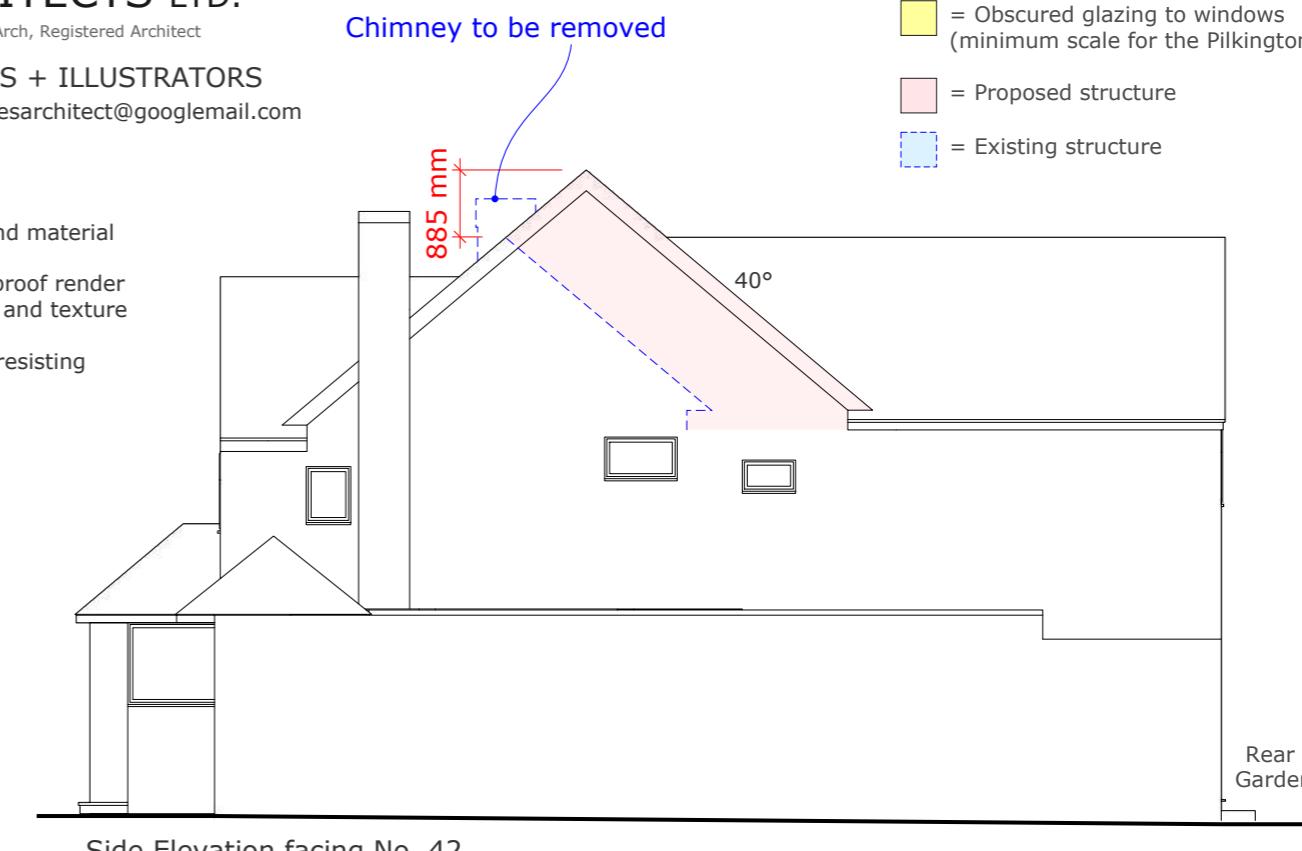
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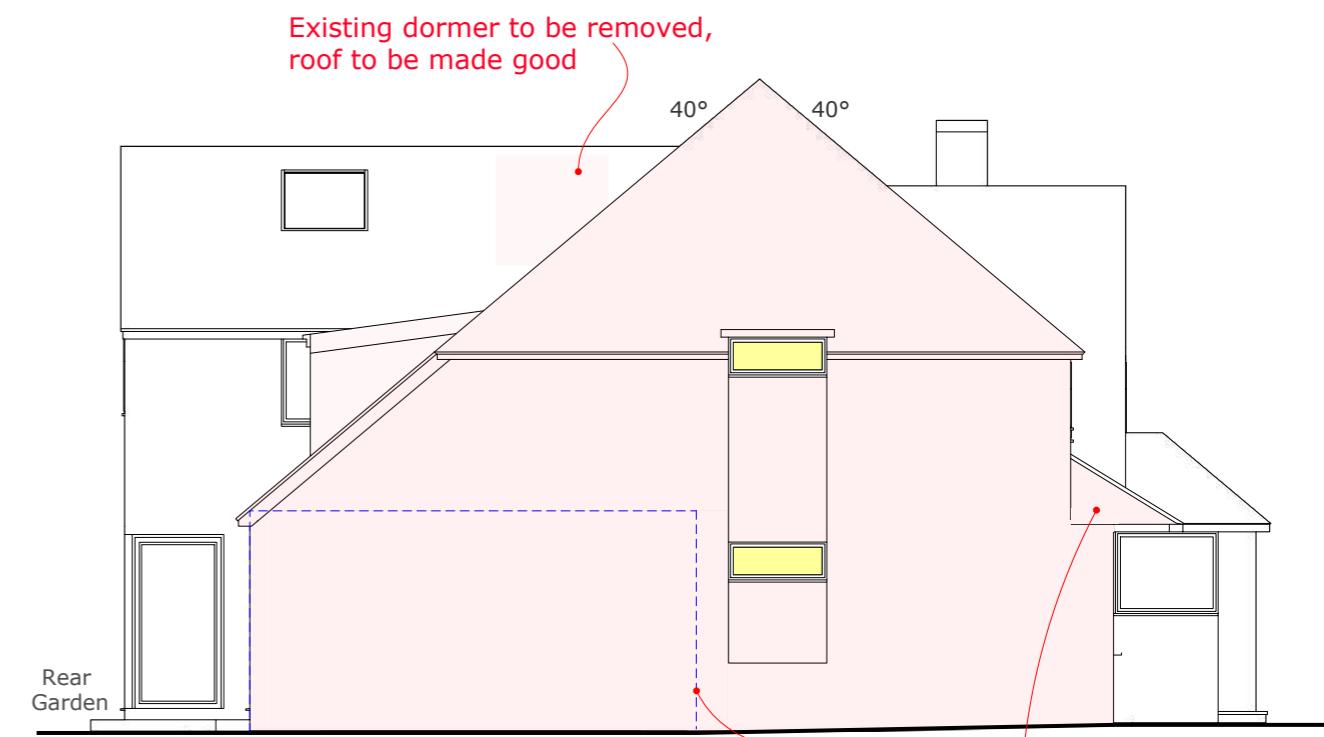
④ Windows to match existing in colour and material

⑤ White render proprietary 2 coat waterproof render system to match the existing in colour and texture

⑥ Dpc - Brickwork below dpc to be frost resisting engineering brick



Side Elevation facing No. 42



Side Elevation facing No. 46

KEY

 = Obscured glazing to windows (minimum scale for the Pilkington scale)

 = Proposed structure

 = Existing structure

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Drawing Title

As Proposed
Elevations

Project no. / Stage

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3D View from Sweetcroft Lane



3D View from the rear garden



3D View from the rear garden

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As Proposed
3D Views

Project no. / Stage

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54_A

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