



PLANNING STATEMENT

TO ACCOMPANY:

Householder planning application

BY:

Mr Ozlati

TO:

London Borough of Hillingdon Council's

FOR:

Erection of part single, part two storey side/rear extensions

AT:

15 The Avenue, Ickenham, Uxbridge, UB10 8NR

1.0 INTRODUCTION

- 1.1 This statement has been prepared on behalf of Mr Ozlatti in support of a planning application following the receipt of pre-application advice ref 10272/PRC/2024/241 for a part single, part two storey side/rear extensions and installation of rear dormer at no. 15 The Avenue in Ickenham.



Proposed Front Elevation
Scale 1:100

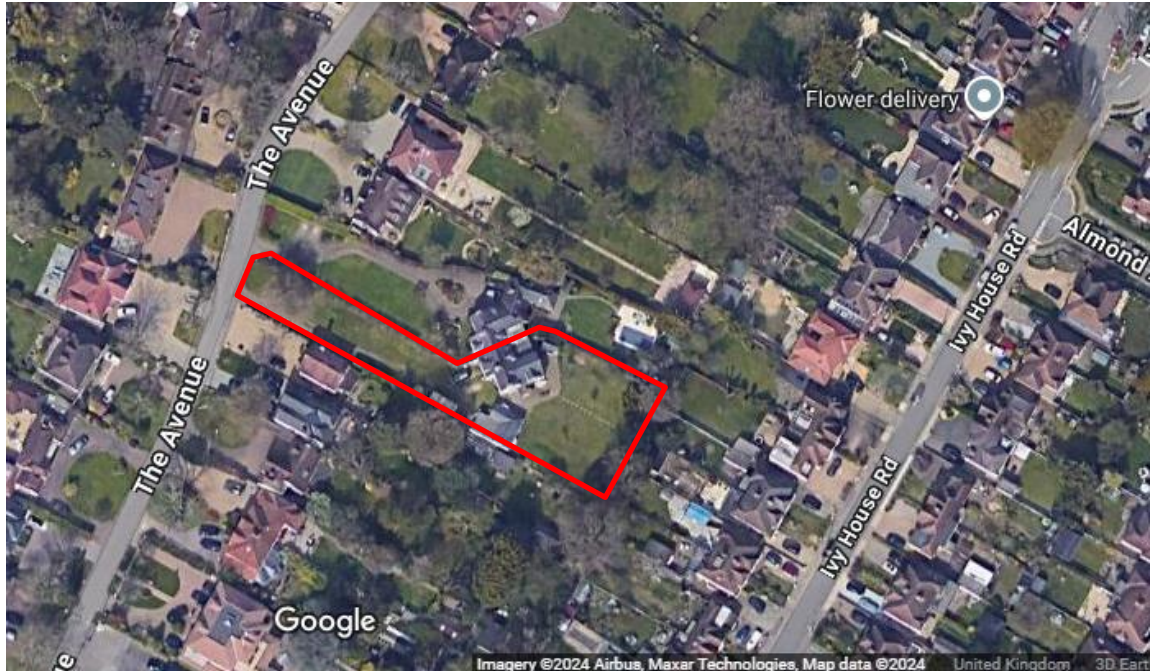


Proposed Side Elevation
Scale 1:100

- 1.2 Taking into account the feedback received, which stated that the proposal is generally acceptable, however, a few minor tweaks should be made prior to submission, the scale of the extensions to the side/rear have been reduced and the proposed dormer removed. Additionally, a pitched roof has been added to the flat roof element to the side.
- 1.3 The following statement will provide a description of the site, relevant planning policies before setting out the applicant's case for the proposed development which would accord with the criteria of the National Planning Policy Framework (2024), London Plan (2021), the Hillingdon Local Plan: Part 1 and Hillingdon Local Plan: Part 2.

2.0 SITE LOCATION AND PROPERTY

- 2.1 The application site is positioned on the southeastern side of The Avenue within the Ickenham Village Conservation Area.



- 2.2 The site comprises a semi-detached dwelling with detached outbuildings. Both nos. 13 and 15, and old wash house are Locally Listed Buildings dating from the late medieval period.



No. 15 The Avenue

3.0 RELEVANT PLANNING POLICY

- 3.1 The following paragraphs provide a brief summary of the relevant national, regional and local planning policies including the National Planning Policy Framework, policies D1, D3, D4 and HC1 of the London Plan 2021, policies BE1 and HE1 of the Hillingdon Local Plan: Part One – Strategic Policies (November 2012) and policies DMHB3, DMHB4, DMHB11 and DMHB12 of the Hillingdon Local Plan: Part Two – Development Management Policies.

National Planning Policy Framework (NPPF) (2024)

- 3.2 The National Planning Policy Framework set out the Government's planning policies for England and how these are expected to be applied. The following sections and paragraphs make reference to the parts of the NPPF which are directly relevant to this application.

Presumption in Favour of Sustainable Development

- 3.3 Paragraph 11 of the NPPF sets out that plans and decisions should apply a presumption in favour of sustainable development.

Decision-making

- 3.4 Paragraph 38 states that local planning authorities should approach decisions on proposed development in a positive and creative way.

Achieving well-designed places

- 3.5 Section 12 of the NPPF refers to design, with paragraph 131 describing how the Government attaches great importance to the design of the built environment, stating that *"Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities."*
- 3.6 Paragraph 135 states that planning policies and decisions should ensure that developments:
- a) *will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*
 - b) *are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;*
 - c) *are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);*

- d) *establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;*
- e) *optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and*
- f) *create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.*

Conserving and enhancing the historic environment

- 3.7 Section 16 of the NPPF refers to the conservation and enhancement of the historic environment. Paragraph 210 sets out that local planning authorities should take account of the desirability of sustaining and enhancing the significance of heritage assets and the desirability of new development making a positive contribution to local character and distinctiveness.
- 3.8 Paragraph 212 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.
- 3.9 Paragraph 214 states that local planning authorities should refuse consent if a proposed development would lead to substantial harm to (or total loss of significance of) a heritage asset.
- 3.10 Paragraph 215 of the NPPF states that where a development proposal would lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, where appropriate, securing its optimum viable use..

The London Plan 2021

- 3.11 The council embraces the sentiments of the London Plan which sets a clear context for considering development needs at local level taking full account of the borough's character. Policies D3, D4 and HC1 are considered relevant.

Policy D3: Optimising site capacity through the design-led approach

- 3.12 Development should enhance local context by delivering buildings and spaces that positively respond to local distinctiveness through their layout, orientation, scale,

appearance and shape, with due regard to existing and emerging street hierarchy, building types, forms and proportions.

Policy D4: Delivering good design

- 3.13 For residential development it is particularly important to scrutinise the qualitative aspects of the development design described in Policy D6 Housing quality and standards. The higher the density of a development the greater this scrutiny should be of the proposed built form, massing, site layout, external spaces, internal design and ongoing management.

Policy HC1: Heritage conservation and growth

- 3.14 Development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.

Hillingdon Local Plan: Part One – Strategic Policies (November 2012)

- 3.15 The Hillingdon Local Plan is the key strategic planning document for Hillingdon and has an ambition for Hillingdon to be an attractive and sustainable borough. Policies BE1 and HE1 are considered relevant.

Policy BE1: Built Environment

- 3.16 Policy BE1 states that the council will require all new development to improve and maintain the quality of the built environment in order to create successful and sustainable neighbourhoods, where people enjoy living and working and that serve the long-term needs of all residents.

Policy HE1: Heritage

- 3.17 Policy HE1 sets out the council plan to conserve and enhance Hillingdon's distinct and varied environment, its settings and the wider historic landscape.

Local Plan: Part Two – Development Management Policies (January 2020)

- 3.18 The Local Plan Part 2 Development Management Policies and Site Allocations and Designations were adopted as part of the borough's development plan at Full Council on 16 January 2020. Policies DMHB3, DMHB4, DMHB11, DMHB12, DMT2 and DMT6 are considered relevant to the proposal.

Policy DMHB 3: Locally Listed Buildings

- 3.19 There is a general presumption in favour of the retention of buildings, structures and features included in the Local List. The Council will take into account the effect of a proposal on the building's significance and the scale of any harm of loss when considering planning applications, including those for major alterations and

extensions. Proposals will be permitted where they retain the significance, appearance, character or setting of a Locally Listed Building.

Policy DMHB 4: Conservation Areas

3.20 New development, including alterations and extensions to existing buildings, within a Conservation Area or on its fringes, will be expected to preserve or enhance the character or appearance of the area. It should sustain and enhance its significance and make a positive contribution to local character and distinctiveness. In order to achieve this, the Council will:

- A) Require proposals for new development, including any signage or advertisement, to be of a high quality contextual design. Proposals should exploit opportunities to restore any lost features and/or introduce new ones that would enhance the character and appearance of the Conservation Area.
- B) Resist the loss of buildings, historic street patterns, important views, landscape and open spaces or other features that make a positive contribution to the character or appearance of the Conservation Area; any such loss will need to be supported with a robust justification.
- C) Proposals will be required to support the implementation of improvement actions set out in relevant Conservation Area Appraisals and Management Plans.

Policy DMHB 11: Design of New Development

3.21 All development, including extensions, alterations and new buildings will be required to be designed to the highest standards and, incorporate principles of good design including:

- i) harmonising with the local context by taking into account the surrounding:
 - scale of development, considering the height, mass and bulk of adjacent structures;
 - building plot sizes and widths, plot coverage and established street patterns;
 - building lines and setbacks, rooflines, streetscape rhythm, for example, gaps between structures and other streetscape elements, such as degree of enclosure;
 - architectural composition and quality of detailing;

- local topography, views both from and to the site; and
 - impact on neighbouring open spaces and their environment.
- ii) ensuring the use of high quality building materials and finishes;
 - iii) ensuring that the internal design and layout of development maximises sustainability and is adaptable to different activities;
 - iv) protecting features of positive value within and adjacent to the site, including the safeguarding of heritage assets, designated and un-designated, and their settings; and
 - v) landscaping and tree planting to protect and enhance amenity, biodiversity and green infrastructure.

Policy DMHB 12: Streets and public realm

3.22 Development should be well integrated with the surrounding area and accessible. It should:

- i) improve legibility and promote routes and wayfinding between the development and local amenities;
- ii) ensure public realm design takes account of the established townscape character and quality of the surrounding area;
- iii) include landscaping treatment that is suitable for the location, serves a purpose, contributes to local green infrastructure, the appearance of the area and ease of movement through the space;
- iv) provide safe and direct pedestrian and cycle movement through the space;
- v) incorporate appropriate and robust hard landscaping, using good quality materials, undertaken to a high standard;
- vi) where appropriate, include the installation of public art; and
- vii) deliver proposals which incorporate the principles of inclusive design. Proposals for gated developments will be resisted.

4.0 DESIGN, CHARACTER AND IMPACT ON THE STREET SCENE

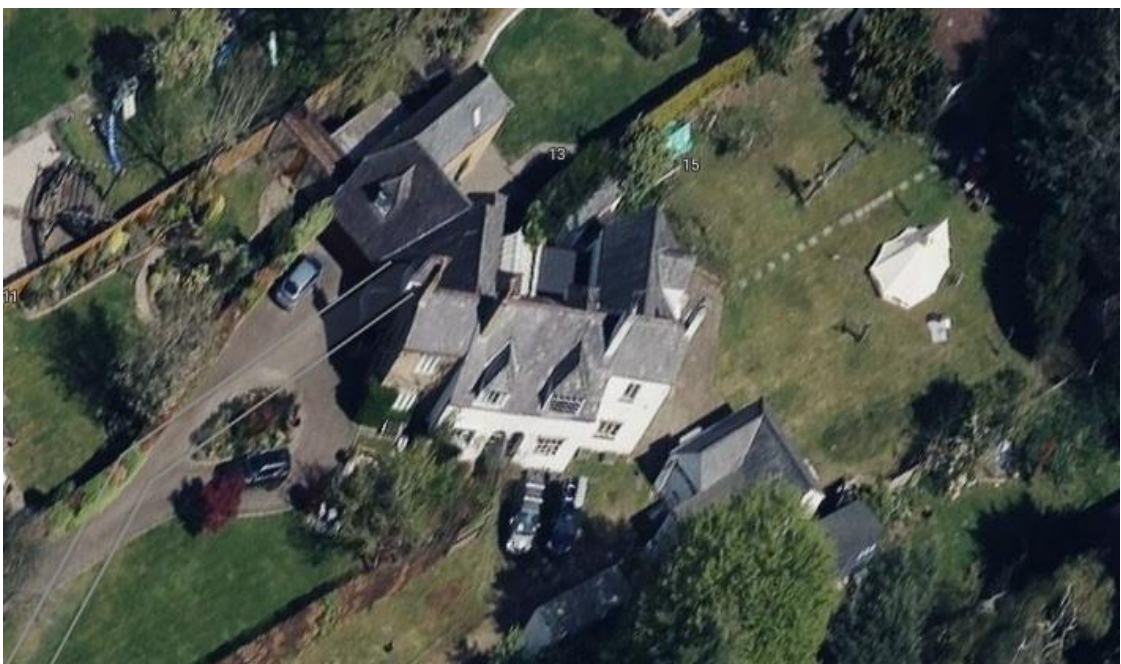
- 4.1 Paragraph 131 of the NPPF states that *“Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.”*
- 4.2 Paragraph 135 of the NPPF (2023) requires Local Planning Authorities to ensure that developments will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development; are visually attractive as a result of good architecture, layout and appropriate and effective landscaping and are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities).
- 4.3 London Plan policies D1 (London’s form, character and capacity for growth) and D4 (Delivering good design) expect development to understand the existing character and context of an area whilst policy HC1 (Heritage conservation and growth) requires development to conserve the significance of heritage assets by being sympathetic to the assets’ significance.
- 4.4 Local Plan policies DMHB 4 (Conservation Areas) and DMHB 11 (Design of new development) seeks to ensure that development harmonises with local context taking into account the surrounding scale of development, building lines, height, design and materials of the area.
- 4.5 Policy DMHB 3 (Locally Listed Buildings) states that proposals will be permitted where they retain the significance, appearance, character or setting of a Locally Listed Building.
- 4.6 The site comprises no. 15 which with its adjoining semi no. 13 are a pair of locally listed buildings.
- 4.7 The local listing states:

Statement of significance/ Reasons for designation

Architectural: Pair of semi-detached cottages date from the late-medieval period. Handed pair of timber framed one and half storey with rendered exterior and slate roof. Fabric much altered. Windows to the south west elevation are picturesque round headed timber casements of two to five lights. Probably mid C19, these have chamfered mullions under slender sloping canopies. Front entrance to No 15 has a round arched frame with continuous moulding. Adjoining wash house in white render and slate roof. No 13 extended northwards by a bay. Both with rear extensions.

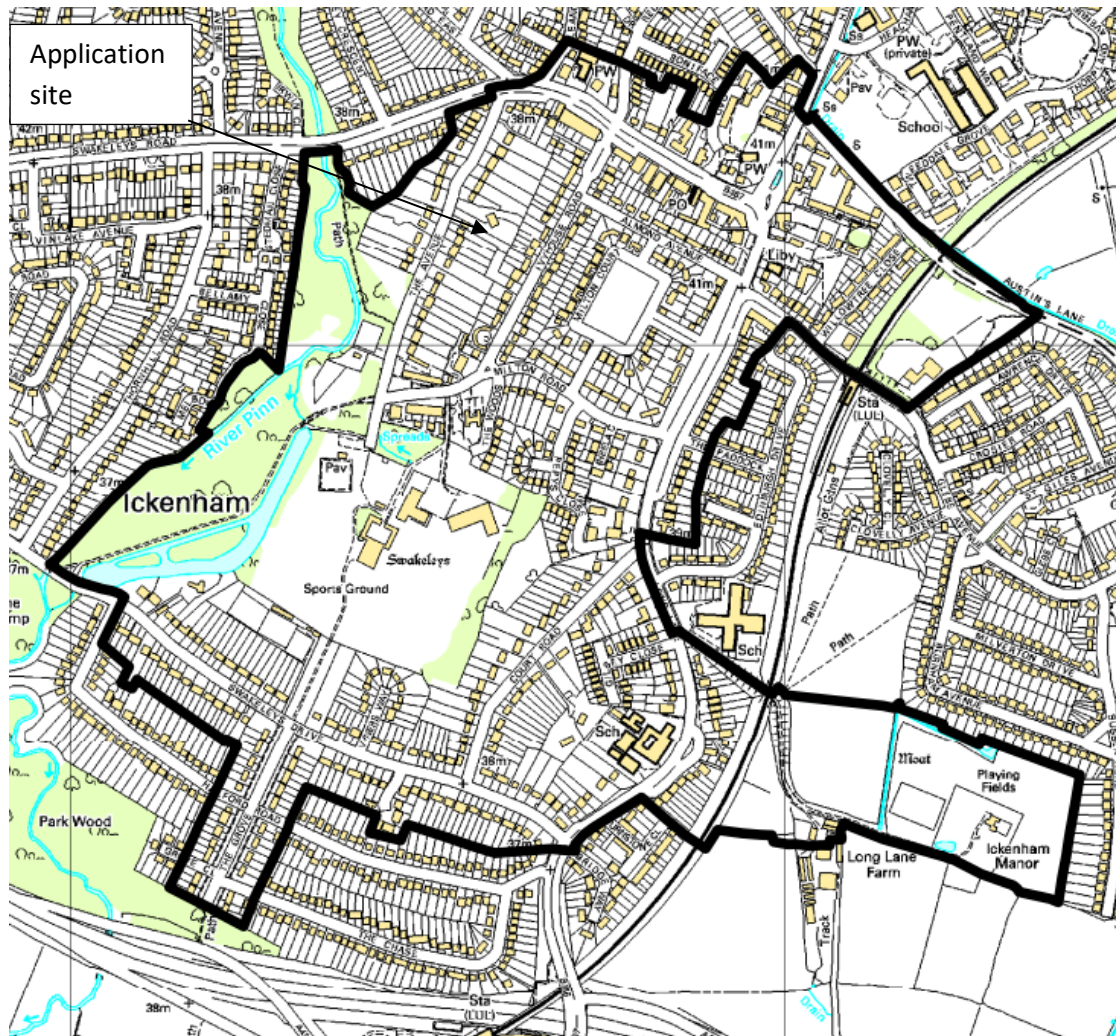
Townscape: Picturesque setting. Group value

Historic: Associated with the Swakeleys Manor- built as the butler's and gamekeeper's cottages.



Bing aerial imagery of nos. 13 and 15 The Avenue

4.8 The application site is also within the Ickenham Village Conservation Area.



Ickenham Village Conservation Area

- 4.9 Taking into account the Locally Listed status of the host building and its location with a Conservation Area the proposal has been carefully considered to ensure that it would at the very least conserve the qualities of the host building and the wider locale.
- 4.10 It should be noted that the adjoining semi, no. 13 The Avenue, gained planning consent under application 63682/APP2012/991 for '*Part two storey, part first floor rear extension involving raising of garage roof and installation of dormer to front and rooflight to rear*' on 20th June 2012.
- 4.11 As a consequence, the original uniformity the semi-detached pair has already been altered.
- 4.12 Notwithstanding this it is evident that no. 15 is in a very poor state of repair having been neglected for several years which is visible within the following images. The proposed works would significantly enhance the character of the property and its contribution to the wider conservation area.



Existing property

- 4.13 Policy DMHD 1 (Alterations and Extensions to Residential Dwellings) states that applications will be required to ensure that there is no adverse cumulative impact of the proposal on the character, appearance or quality of the existing street or wider area; and, all extensions in Conservation Areas and Areas of Special Local Character, and to Listed and Locally Listed Buildings, are designed in keeping with the original house, in terms of layout, scale, proportions, roof form, window pattern, detailed design and materials.
- 4.14 Policy DMHD 1 further states that side extensions should not exceed half the width of the original property, front extensions should not alter the overall appearance of the

house or dominate the character of the street, whilst rear extensions should not exceed 3.6m in depth where the plot width is 5m or more.

- 4.15 To recap, pre-application advice was sought ref 10272/PRC/2024 dated 11th February 2025. The Conservation Officer supported the principle of retaining the dwelling and extending it although had concerns regarding the bulk, massing, and design of the proposed extensions.

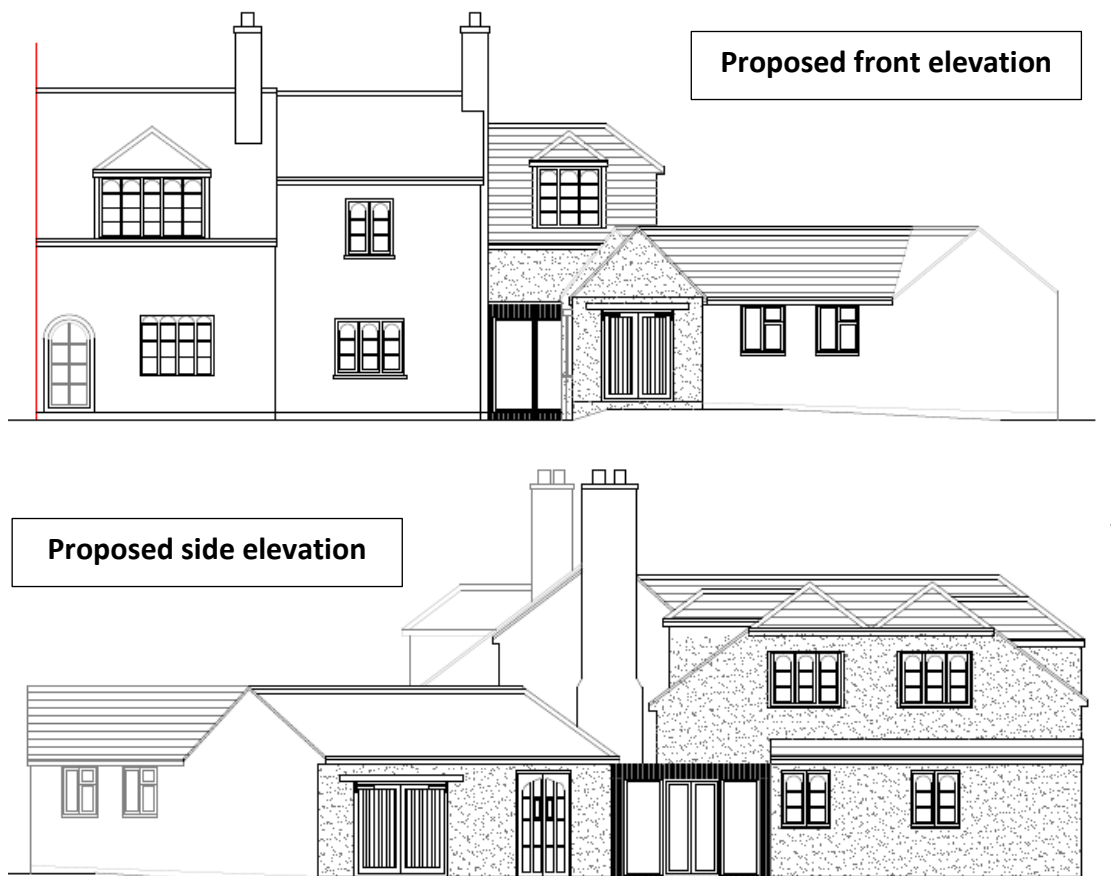
- 4.16 Recommendations in relation to design changes included:

“a set back between the link and the brick element of both the extension to the dwelling and the study.

The other minor change would be to narrow the proposed dormer window to the first floor extension to the façade. This would ensure it would remain subservient to the core building.

External materials to match existing except for the link.”

- 4.17 As a consequence, the overall scale of the development has been reduced, and a previously proposed dormer has been narrowed. The following illustrate the proposed development demonstrating that the scheme has achieved the recommendations of the pre-app advice.



Proposed rear elevation

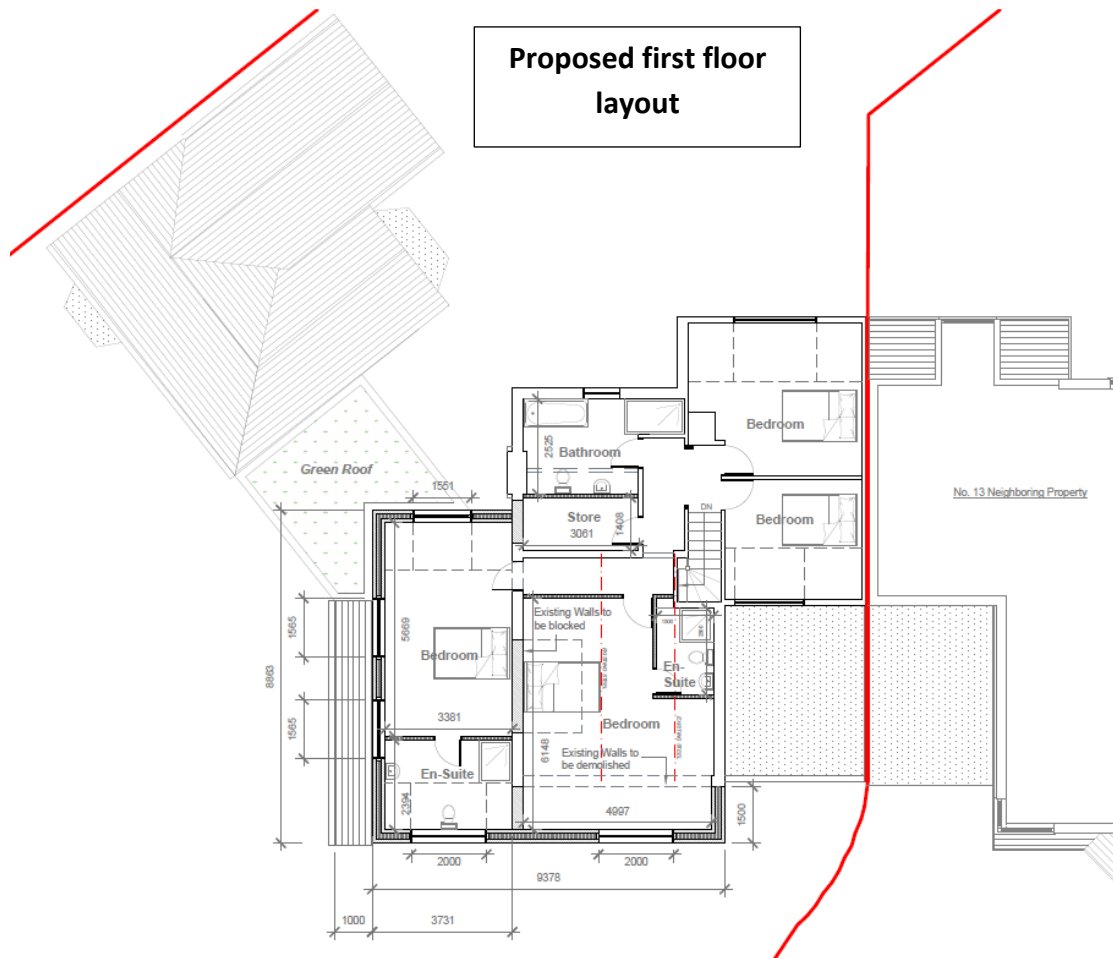
Proposed ground floor layout

The diagram shows the proposed ground floor layout of a building. Key areas and features include:

- Car Port** (+225) at the top left.
- Study** (+0) adjacent to the Car Port.
- Foyre** (entrance area) with a circular feature.
- Living Area** with a fireplace and seating.
- Lounge** area.
- Childrens Play Area**.
- Kitchen & Dining** area.
- Store** (2281).
- WC** (2000).
- Existing bay Window to be demolished**.
- Existing Porch Canopy to be demolished**.
- Existing Walls to be demolished** (indicated by dashed lines).
- Proposed Bay Window**.
- Existing Garage to be demolished** (indicated by a dashed outline).
- No. 13 Neighboring Property** (indicated by a red line).

Dimensions are provided for various sections:

- Overall width: 10378.
- Overall depth: 6443.
- Section widths: 1000, 1500, 1000, 2000.
- Section depths: 3697, 4254, 4596, 1141, 1500.



4.18 The recent design modifications ensure that the new development integrates successfully with the existing structures, appearing subordinate rather than competing with the scale of the original buildings. Meanwhile, the connection between the extension and the study introduces a striking contrast that enhances the visibility and appreciation of the historic elements.





Front of dwelling and outbuilding



Rear of dwelling and outbuilding

- 4.19 The two-storey side extension would not exceed half the width of the main dwelling and would be set back from the front elevation at first floor level extending to a depth of 8.863m. A two-storey rear extension would be added to the existing rear wing increasing its depth by only 1.5m. The roof of the two-storey side extension would be set lower than the existing roof and would step down to single storey to join the outbuilding. The single storey element linking the extension to the outbuilding would have a green roof. The proposed extensions would appear subordinate to the main dwelling.

- 4.20 The proposed extensions will seamlessly blend with the existing dwelling, ensuring that its proportions and design features are meticulously preserved. Key elements such as the half dormers, casement windows, white render, and slate roof tiles will be carefully respected. This thoughtful approach aligns perfectly with the aims of policy DMHD 1, ensuring that the character of the locally listed building is not only preserved but subtly enhanced.
- 4.21 Moreover, the development will safeguard the significance and setting of the semi-detached pair, maintaining their character and importance., overcoming the concerns raised in the pre-application response.
- 4.22 In summary, this proposal would adhere with the aims of the NPPF, Policies BE1 and HE1 of the Part One Plan, Policies DMHB 3, DMHB 4, DMHB 11, DMHB 12 and DMHD 1 of the Local Plan: Part Two.

5.0 IMPACT ON RESIDENTIAL AMENITY

- 5.1 Paragraph 135 f) of the NPPF states that planning policies and decisions should ensure that developments create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users.
- 5.2 London Plan policy D3 (Optimising site capacity through the design-led approach) requires development to deliver appropriate outlook, privacy and amenity.
- 5.3 Local Plan policy DMHB 11 (Design of new development) states that new residential development should not adversely impact on the amenity, daylight and sunlight of adjacent properties and open space.
- 5.4 The proposed scheme has been sensitively designed to ensure that it would not result in any detrimental impacts on the living conditions at neighbouring properties.
- 5.5 In this case, the site shares a common boundary with nos. 13 and 17 The Avenue, and nos. 36 and 38 Ivy House Road which are located to the southeast of the site.
- 5.6 By reason of the position and reduced scale of the proposed extensions these would not result in any adverse impacts on the living conditions of neighbouring occupiers in terms of loss of outlook, daylight and sunlight.
- 5.7 No. 17 is positioned forward of the application property by a significant margin and, as a consequence the development would not materially affect living conditions.



Neighbouring property no. 17 The Avenue (left)

5.8 In addition, whilst the existing rear wing would be extended by 1.5m and the property is angled towards the garden of no. 13 it would not give rise to an unreasonable loss of privacy or unacceptable loss of outlook. Moreover, the development would not breach 45-degree lines of sight drawn from the neighbours nearest habitable room windows.

5.9 In summary, considering the above points the proposed development would comply with the aims of the NPPF, London Plan policy D3 and Local Plan: Part Two policy DMHB 11 which collectively seek to preserve a high standard of amenity for neighbours of development.

6.0 TREES

6.1 The NPPF recognises at section 12 that trees make an important contribution to the character and quality of urban environments and can also help mitigate and adapt to climate change.

6.2 London Plan policy G7 (Trees and woodlands) states that development proposals should ensure that, wherever possible, existing trees are retained.

6.3 Local Plan policy DMHB 14 (Trees and landscaping) states:

A) All developments will be expected to retain or enhance existing landscaping, trees, biodiversity or other natural features of merit.

- B) Development proposals will be required to provide a landscape scheme that includes hard and soft landscaping appropriate to the character of the area, which supports and enhances biodiversity and amenity particularly in areas deficient in green infrastructure.*
- C) Where space for ground level planting is limited, such as high rise buildings, the inclusion of living walls and roofs will be expected where feasible.*
- D) Planning applications for proposals that would affect existing trees will be required to provide an accurate tree survey showing the location, height, spread and species of trees. Where the tree survey identifies trees of merit, tree root protection areas and an arboricultural method statement will be required to show how the trees will be protected. Where trees are to be removed, proposals for replanting of new trees on-site must be provided or include contributions to offsite provision.*

6.4 The applicant acknowledges the vital role that the trees play in defining the character and essence of the conservation area. Recognising their importance, the proposed development has been carefully designed to ensure that the health of these trees is not compromised, nor will there be an increased pressure to prune or remove trees from the site. Furthermore, the applicant is committed to implementing comprehensive tree protection measures, to safeguard these natural assets, thereby ensuring their continued contribution to the landscape for future generations to appreciate and enjoy.

6.5 In summary, the proposal would be compliant with the NPPF, London Plan policy G7 and Local Plan policy DMHB 14 which seek to protect existing trees.

7.0 PLAN AND DOCUMENT LIST

- | | |
|------------------------------|------------------------|
| • Existing site plan | Drawing no. 3788/01/JG |
| • Existing ground floor plan | Drawing no. 3788/02/JG |
| • Existing first floor plan | Drawing no. 3788/03/JG |
| • Existing roof plan | Drawing no. 3788/04/JG |
| • Existing elevations | Drawing no. 3788/05/JG |
| • Existing elevations | Drawing no. 3788/06/JG |
| • Proposed ground floor plan | Drawing no. 3788/07/JG |
| • Proposed first floor plan | Drawing no. 3788/08/JG |

- Proposed roof plan Drawing no. 3788/09/JG
- Proposed elevations Drawing no. 3788/10/JG
- Proposed elevations Drawing no. 3788/11/JG
- Proposed site plan Drawing no. 3788/12/JG
- Location Plan & Block Plan Drawing no. 3788/13/JG

8.0 CONCLUSIONS

- 8.1 The proposed extensions have been redesigned considering the pre-application response which includes the Conservation Officer's comments. Consequently, the development would respect the detailing, scale, height, massing and historical significance of the locally listed host building, its semi-detached neighbour and the wider Conservation Area.
- 8.2 The revised scheme would have a positive impact on the site significantly improving the existing character of the property and its contribution to the street scene.
- 8.3 Moreover, the resulting dwelling would provide improved accommodation, whilst thoughtfully ensuring that the residential amenities of neighbouring properties remain unaffected.
- 8.4 The NPPF states that decision-makers at every level should seek to approve applications for sustainable development where possible and that applications should be considered in the context of the presumption in favour of sustainable development. The proposed extensions to no. 15 The Avenue, Ickenham, UB10 8NR would conform with national, regional and local planning policy and, for the above reasons, it is politely requested that the application is approved.